



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Staff Report

Site Plan Review

SP-08-23

June 26, 2023

Summary

Site Plan Review application SP-08-23 proposes to construct six apartment units with associated parking and landscaping improvements. The proposed apartment building will be three stories in height and consist of six, two-bedroom apartments.

The Site Plan Review application is a Type I-L procedure and is reviewed at the staff level. This report evaluates the proposal for conformance with the applicable Site Plan Review criteria in Section 2.450 in the ADC. The analysis finds all applicable standards and criteria for a Site Plan Review are met with conditions of approval outlined in this report.

Application Information

Proposal:	Site Plan Review to construct a multi-dwelling, six-unit apartment complex.
Review Body:	Staff Level Review (Type I-L)
Applicant / Owner:	Sly Toran; 12309 Miller Road, Gervais, OR 97026
Applicant's Representative:	Multi-Tech; C/O Brandie Dalton; 1155 SE 13th Street, Salem, OR, 97302
Address/Location:	Unassigned; 1st Avenue, Albany, OR 97321
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-06DC; Tax Lots 5600 & 5700
Zoning:	Mixed Use Residential (MUR)
Overlay:	None
Total Land Area:	Tax Lot 5600 – 14,795 square feet, Tax Lot 5700 – 7,322 square feet
Surrounding Zoning:	North: Mixed Use Residential (MUR) East: Waterfront (WF) South: MUR West: MUR
Surrounding Uses:	North: Residential (low/medium density) East: Commercial South: Residential (low/medium density) West: Residential (low/medium density)
Comprehensive Plan:	Village Center
Existing Conditions:	Vacant

Notice Information

A notice of filing was mailed to property owners located within 1,000 feet of the subject property on May 12, 2023. At the time of drafting this report, the Albany Planning Division received one comment from the public.

COMMENT 1:

Jim Baerg, of 536 1st Avenue SE, submitted written comments detailing their concerns of the proposal. Their concerns are detailed below, and the comments are included as Attachment H.

- MUR requires site plan approval, so I think you are in a good position to require improvements to the proposed site plan.
- The layout of the lot should be changed so that the apartment building fronts on 1st Avenue and the access to the parking lot is onto Thurston Street. First Avenue SE is much too busy for the proposed traffic pattern. An additional, high traffic driveway will impede traffic does your parking code require 2 spaces per living unit? We previously lived in a large, newish apartment complex (largely 2-bedroom units) on the South side of Albany, which only provided 1 space per apartment with a few additional guest spaces. I would recommend reducing the number of spaces.
- The parking lot should be placed at the rear of the lot so that the building becomes a visual shield to the street. The parking lot plan should maximize landscaping buffers.
- There are a lot of very attractive, new apartment buildings in the neighborhood that front the street, this pattern should be continued.
- If allowed in your ordinances, please specify boulevard tree planting and landscaping of side yards.

STAFF RESPONSE:

- The proposed site plan review is classified as a Type I-L review. The Albany Development Code Article 1.220 entails the Type I-L procedures.
- Thurston Street is currently not improved to city standards for a local street and is not proposed to be improved to local street standards. There is a drainage channel in the middle of Thurston Street right-of-way, with a narrow access way along each side of the right-of-way. It is not possible to cross over the channel, so each side is essentially one lane wide. Access to and from the development's parking lot will need to accommodate two-way movements (both in and out traffic). The City Council adopted CALUTS Plan, which calls for the eventual establishment of a promenade along the Thurston right-of-way, with an improved native riparian style open channel. The Public Works Department has addressed additional transportation impacts and standards in the report below in Criterion Eight.
- The Albany Development Code Article 9 contains parking standards. On January 1, 2023, new parking guidelines came into effect which eliminated required parking spaces for most developments within a half-mile of a bus route. Multi-dwelling unit development at market rate is required to provide one parking space per dwelling unit. Currently, the city does not have a maximum parking standard. Additional findings addressing the proposed parking and parking standards are contained under Criterion 6 in the following report.
- The proposed parking lot is an accessory use to the multi dwelling unit development. Multi-dwelling unit development abutting a residential zone with an existing dwelling is required to have a 10-foot-wide buffer. Additionally, a multi-dwelling development along an arterial right-of-way requires a 10-foot-wide buffer. The location of the parking lot will be buffered to the north, south, and west, with the apartment building to the east.
- The proposed apartment building will have the main entrance facing 1st Avenue. Additional findings addressing this building orientation are detailed under Criterion Four in the following report.
- The proposed development is required to landscape the front and interior setbacks. In addition to the landscaping requirements the development requires a ten-foot buffer along 1st Avenue, and along the south and west property lines.

Appeals

A Site Plan Review decision is a limited land use decision and may be appealed in accordance with Sections 1.220 and 1.410.

Analysis of Development Code Criteria – Site Plan Review

Albany Development Code (ADC or Development Code) includes the following approval review criteria in Section 2.450 (identified below). These criteria apply in review of case file SP-08-23. Development Code criteria are shown in ***bold italic*** followed by findings and conclusions. Certain findings explain how the proposed development can meet review criteria through conditions of approval, where determined feasible.

Criterion 1

The application is complete in accordance with the applicable requirements.

Findings of Fact and Conclusions

- 1.1 In accordance ADC 1.160, the application was deemed complete as of May 12, 2023.
- 1.2 This criterion is met without conditions.

Criterion 2

The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

Findings of Fact and Conclusions

- 2.1 Zoning. The subject property is located within the MUR (Mixed Use Residential) zoning district. The Article 5 *Table Schedule of Permitted Use* identifies residential multi-dwelling unit development as an allowed use subject to Site Plan Review. The applicant proposes to construct an apartment complex consisting of six, two-bedroom, apartment units. The subject properties have been approved for a re-plat to consolidate tax lots 5600 and 5700 into one unit of land. Because the proposed development would straddle the property line and the multi-dwelling unit development is contingent on the parcel size and configuration, a condition of approval has been included to require the final plat is recorded prior to issuance of a building permit for the development.
- 2.2 Minimum Lot Size. The minimum lot size for multi-dwelling unit development is dependent upon the number and bedroom size of the units. ADC Table 5.090-1 provides the minimum property size of 1,800 square feet per unit for multi-dwelling unit developments. Provisions in ADC 3.220 may reduce the minimum area requirements for residential developments. ADC 3.220(2) allows a 10 percent reduction in area per unit in buildings that are within 200 feet of a designated arterial. This lowers the area per unit requirement to 1,620 square feet for two-bedroom units. The minimum lot size required, incorporating the 10 percent reduction, based upon the proposed development is 9,720 square feet. As proposed, the property is 22,118 square feet in size, exceeding the minimum lot size for the proposed use.
- 2.3 Lot Coverage. ADC Table 5.090-1 identifies a maximum lot coverage of 70 percent in the MUR zone. Per ADC Section 22.400 Definitions, lot coverage for multi-dwelling unit development includes the portion of the lot covered by building, structure, pavement, or any area not vegetated. The applicant's narrative states the proposed building covers 2,136 square feet (13%) of the total site, with a total of 6,138 square feet (38%) of paved area throughout the site; including the parking area and sidewalks. (Attachment F). Based upon the submitted site plan and narrative the proposed lot coverage is approximately 51 percent, meeting the maximum lot coverage standard for the MUR zoning district.
- 2.4 Density/Intensity/Height. ADC Table 5.090-1 identifies a maximum building height of 45 feet in the MUR zone. The proposed elevation drawings show the building height of 34.5 feet and an overall height of 40 feet. The MUR zoning district does not have a density standard. The proposed development will consist of a total of six, two-bedroom apartments upon the consolidated 22,118-square-foot lot.
- 2.5 Setbacks. The MUR zoning district has a minimum 15-foot front setback, and an interior setback of 10 feet. The Transition to Lower Density uses per ADC 8.270 is applicable to this development as the abutting lots are located within a residential single-dwelling unit zoning district and is developed with a single-dwelling unit or middle housing. Per the applicant's submittal, the proposed apartment building is set back 20 feet from the north (front) property line; 15 feet from the east (front) property

- line; 46 feet from the south (interior) property line abutting single-dwelling unit development; with the parking lot located approximately 7.67 feet from the west (interior) property line.
- 2.6 Minimum Parking Spaces. Staff refer to the findings provided in response to Criterion Six, below, pertaining to Article 9, Table 9.020-1, describing the off-street parking space requirements, which are incorporated herein by reference.
- 2.7 Open Space, Landscaping, Buffering, and Screening. Staff refer to the findings provided in response to Criterion Six below pertaining to Article 9, which are incorporated herein by reference.
- 2.8 Screening of Refuse Containers. ADC 3.390 requires refuse containers for multi-dwelling unit development must be screened by a sight-obscuring fence, wall, or hedge at least six feet in height. The applicant has provided the location of the refuse containers, but not a sight-obscuring fence, wall, or hedge at least six feet in height.
- 2.9 Conclusion: These review criteria are met with the following conditions.

Conditions

- Condition 1 Site Improvements.** Before the City will issue a final certificate of occupancy for the proposed structure(s), all proposed and site improvements identified to the site plan (e.g., driveways, landscaping, lighting, etc.) shall be constructed and completed in accordance with approved plans. Landscaping may be financially secured through a completion guarantee, per ADC 9.190.
- Condition 2 Screening of Refuse Containers.** Before the City will issue a final certificate of occupancy for the proposed structure(s), the applicant must provide screening of the refuse containers in compliance with ADC 3.390.

Criterion 3

Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact and Conclusions

- 3.1 Article 4: Airport Approach. Figure 4-1 of ADC Article 4 shows the subject property is located in the Airport Approach District. This district is comprised of several imaginary surfaces above which aircraft are allowed to operate.
- The proposed development will be under the outermost surface called the Conical Surface. The Conical Surface begins at the outer boundary of the Horizontal Surface, at an elevation of 372 feet (NGVD 1929) above the airport elevation. The existing ground elevation is approximately 208 feet (NGVD 1929), and the maximum height limit of the MUR zone is 45 feet above grade for a total elevation of 253 feet, which is 119 feet below the maximum height (372 feet) established by the Conical Surface.
- There are no design features of the proposed development with navigational signals or radio communications, or that would induce confusing light patterns, or create bird-strike hazards that would endanger or interfere with aircraft intending to use the airport. Sound buffering features are not warranted because the location of the proposed development is located outside the “noise sensitivity property” defined by 55 and 60 ldn noise contours.
- 3.2 Article 6: Significant Natural Vegetation and Wildlife Habitat. *Comprehensive Plan Plate 3: Natural Vegetation and Wildlife Habitat*, does not show any areas of vegetation or wildlife habitat on the property.
- 3.3 Article 6: Riparian Corridor. *Comprehensive Plan Plate 6: Natural Vegetation and Wildlife Habitat*, does not show any areas of vegetation or wildlife habitat on the property.
- 3.4 Article 6: Floodplains. *Comprehensive Plan Plate 5: Floodplains*, does not show a 100-year floodplain on this property. FEMA/FIRM Community Panel No. 41043C0213H, dated December 8, 2016, shows this property is in Zone X, an area determined to be outside the 500-year floodplain.
- 3.5 Article 6: Wetlands. *Comprehensive Plan Plate 6: Wetland Sites*, does not show any wetlands on the subject property; and the National Wetlands Inventory does not show any wetlands on the property.

- 3.6 Article 6: Topography. *Comprehensive Plan, Plate 7: Slopes*, does not show any steep slopes on this property.
- 3.7 Article 7: Historic and Archaeological Resources. *Comprehensive Plan, Plate 9: Historic Districts*, shows the property is not located in a historic district. There are no known archaeological sites on the property.
- 3.8 Conclusion: This review criterion is met with the following condition.

Criterion 4

The application complies with all applicable Design Standards of Article 8.

Findings of Fact and Conclusions

- 4.1 Applicability. According to ADC 8.205, standards of ADC 8.220 through 8.300 apply to the development of new multi-dwelling unit developments.
- 4.2 Relationship to Historic Overlay Districts. As previously stated, the subject property is not located within a historic district and does not contain a historic resource. Accordingly, this standard is not applicable.
- 4.3 Recreation / Common Open Space in the RMA Zoning District. The subject property is located within the MUR zoning district. ADC Table 8.220-1 does not require common open space, a children's play area, or private open space for developments with fewer than 10 units in the MUR zoning district. The applicant's site plan (Attachment B) shows a total of 7,354 square feet of common space is provided on the site.
- 4.4 Private Open Space. Per ADC Table 8.220-1 private open space is not required in the MUR zoning district. The applicant has provided private open space for all units. Ground floor units are proposed to have patios approximately 100 square feet in size. All private open space areas located above grade (second and third stories) will be provided with decks approximately 56 to 60 square feet in size.
- 4.5 Building Orientation. According to ADC 8.240(3), subsections (a) and (b) are only applicable to sites with frontage on a collector or local public street. The subject site has frontage on 1st Avenue, which is classified as a minor arterial; therefore, these standards are not applicable to this application.
- 4.6 Street-Facing Windows. According to ADC 8.255(1), the standards in this section pertain to any façade that faces towards or within 45 degrees of a front lot line, except where there is more than one building on the site. In this instance, the proposed development does not have any buildings that are separated from the front lot line by another building. As shown on the applicant's building elevations (Attachment D), the regulated facades of the proposed buildings meet or exceed the façade design and articulation standard that requires a minimum of two architectural features and street facing windows equating to at least 15 percent of the regulated façade area.
- 4.7 Transition to Lower Density Uses. Per ADC 8.270(3), multi-dwelling unit development shall be setback at least one foot for each foot in building height from a shared property line, up to a maximum required setback of 30 feet, when the abutting lot sharing the property line meets criteria (a) or (b) below, or both. Building height is measured from the average grade to the top of the wall facing the property line or to the top of the highest window or door, whichever is higher.
- a) The abutting lot is in a residential single-dwelling unit zoning district or in the HM zoning district and is developed with single-dwelling unit residential or middle housing uses or is underdeveloped or vacant.
 - b) The abutting lot has a pre-existing single-dwelling home and is in a zoning district other than the NC, CC, RC, LI, HI, or IP zone. For the purposes of this section, a "pre-existing single-dwelling home" is one constructed prior to January 1, 2021.

The subject property abuts 1st Avenue to the north, Thurston Street to the east, and MUR zoned properties developed with single dwelling units to the south and west. The minimum setback for this development would be 30 feet from the south and west property lines. The submitted site plan

(Attachment B) indicates the apartment complex will be located more than 30 feet from the south and west property lines.

- 4.8 Pedestrian Connections. ADC 8.280 requires an internal pedestrian circulation system and connectivity between the development and each adjacent street and sidewalk for every 200 linear feet of street frontage. The site plan provided by the applicant indicates an internal sidewalk system with connections to the public sidewalk within the 1st Avenue right-of-way. The applicant states the sidewalks will be raised above the surface of the travel lanes and pedestrian crossings will make use of drop curbs to facilitate handicap access. The proposed development will provide lighting along the pedestrian pathways.
- 4.9 Vehicular Circulation and Parking. Staff refer to the findings provided in response to Criterion Six and Criterion Eight below pertaining to Article 9 and 12, which are incorporated herein by reference.
- 4.10 Parking and Access in DMU, CD, HD, and WF Zoning Districts. The subject property is located in the MUR zoning district; therefore, this standard is not applicable.
- 4.11 Conclusion: As proposed, all applicable multi-dwelling design standards in Article 8 are met.

Criterion 5

The application complies with all applicable Design Standards of Article 10.

Findings of Fact and Conclusion

- 5.1 Article 10 pertains to manufactured homes, manufactured home parks, and RV parks. These uses do not pertain to the proposal.
- 5.2 Conclusion: This standard is not applicable.

Criterion 6

The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Findings of Fact and Conclusions

- 6.1 Off-Street Parking (ADC 9.020). Per ADC 9.020(1), for the purposes of calculating floor area for parking, vent shafts, courtyards, stairwells, elevator shafts, restrooms, storage rooms and rooms designed and used for the purpose of storage and operation of maintenance equipment, and covered or enclosed parking are deducted from floor area.

Oregon Administrative Rule 660-012-0440 reduced the parking requirements for new development. Any provided parking must continue to meet the parking standards in Article 9. The applicant proposes a total of fifteen parking spaces consisting of: eight compact spaces, six standard parking spaces, and one ADA parking space.

Per ADC 8.300, provided parking must be located within 100 feet of the building entrances for a minimum of 50 percent on the units in the development. The submitted site plan (Attachment B) indicates this standard is met.

Parking Area Improvements. ADC 9.120 provides standards for parking area improvements for multi-dwelling unit developments.

- 6.2 ADC 9.120(3) requires parking areas to have a durable, dust-free surface. The applicant's site plan indicates the entirety of the parking area will be paved.
- 6.3 ADC 9.120(4) requires all parking lots provide a drainage system to dispose of stormwater runoff. Findings regarding the proposed stormwater system are found in this section under Criterion Seven and incorporated here by reference.
- 6.4 ADC 9.120(5) requires perimeter curbing around all parking areas. The applicant's site plan indicates perimeter curbing has been provided along the entirety of the parking lot. This standard is met.
- 6.5 ADC 9.120(6) requires wheel bumpers be used when parking stalls front a sidewalk, alleyway, street, or property line. If the sidewalk is widened to seven feet six inches to allow for vehicle encroachment,

- no wheel bumpers are required. The applicant's site plan indicates seven-foot and six-inch-wide sidewalks along parking stalls along the eastern boundary of parking lot and seven feet and six-inch wide strip of land to the west of the parking lot; therefore, wheel bumpers are not required.
- 6.6 ADC 9.120(7) requires parking spaces be located and served by an aisle or turnaround so their use will require no backing movements or other maneuvering in a street right-of-way other than an alley. This standard is met.
- 6.7 ADC 9.120(8) requires parking stalls to be permanently and clearly striped. The site plan indicates the parking lot will be striped.
- 6.8 ADC 9.120(9) requires parking lots to connect to adjacent existing or future parking areas. No parking lot connections are proposed with this development.
- 6.9 ADC 9.120(10) requires conformance with the parking lot landscaping standards found in ADC 9.150. These are discussed in findings below.
- 6.10 ADC 9.120(11) allows up to 40 percent of the required parking stalls to be compact, which would allow for a maximum of six compact spaces. The submitted site plan (Attachment B) indicates a total of eight compact parking spaces with a depth of 15 feet and a width of eight feet and six inches wide. Table 9.130-1 indicates the minimum stall width for compact spaces is eight feet in width and 16 feet in depth. Additionally, all compact spaces must be signed and/or the space painted with the words "Compact Car Only". As proposed, the parking stalls do not meet this parking standard. Prior to the issuance of building permits, the applicant shall submit a revised parking plan detailing conformation to standards in ADC 9.130.
- 6.11 ADC 9.120(12) requires accessible parking be provided in conformance with the Oregon Specialty Code. As indicated on the applicant's site plan, accessible parking and an accessible route to the building is proposed with the development. Conformance with the Oregon Specialty Code will be assessed at the time of building permits.
- 6.12 ADC 9.120(13)(a) requires multiple dwelling unit developments to provide at least one bicycle parking space per four units. Based on the applicant's submittal, there will be a requirement of two spaces. ADC 9.120(13)(h) requires at least one half of the required bicycle parking spaces to be sheltered. The applicant's site plan indicates bicycle parking spaces will be provided in the stairways and in the front of the building. Prior to any occupancy, the applicant will need to demonstrate how the bicycle parking spaces adhere to ADC 9.120(13)(f) and (g).
- 6.13 ADC 9.120(14) requires lighting to be arranged to reflect light away from any abutting or adjacent properties. The applicant did not submit their lighting plans. As a condition of approval, the applicant must demonstrate how the light will be reflected away from any abutting or adjacent properties.
- 6.14 ADC 9.120(15) requires walkways and accessways to be provided in all new off-street parking lots and additions to connect sidewalks adjacent to new development to the entrances of new buildings. The site plan indicates a sidewalk and access path will be provided from the public sidewalk adjoining 1st Avenue right-of-way and main building entrances.
- 6.15 ADC 9.120(16) addresses employee parking areas. No employee parking areas are proposed; therefore, this standard is not applicable.
- 6.16 Off-Street Parking Lot Design. ADC 9.130 provides the standards for parking lots over 1,000 square feet (contiguous) as set forth in Table 9.130-1.

**TABLE 9.130-1.
PARKING LOT DESIGN (in feet)**

A Parking Angle	B Stall Width	C Curb Width	D Aisle Width	E Stall Depth	F Bumper Overhang	G Dead-end Backup
(Parallel)	8.0 feet	8.0 feet	N/A	25.0 feet	N/A	N/A
45°	8.5	12.0	13.0	17.5	2.0	5.0
	9.0	12.7	12.0	17.5	2.0	5.0
	9.5	13.4	11.0	17.5	2.0	5.0
	10.0	14.1	11.0	17.5	2.0	5.0
60°	8.5	9.8	18.0	19.0	2.5	5.0
	9.0	10.4	16.0	19.0	2.5	5.0
	9.5	11.0	15.0	19.0	2.5	5.0
	10.0	11.6	14.0	19.0	2.5	5.0
Compact	8.0 C	8.0 C	26.0 C	16.0 C	3.0	5.0
90°	8.5	8.5	26.0	18.5	3.0	5.0
	9.0	9.0	26.0	18.5	3.0	5.0
	9.5	9.5	26.0	18.5	3.0	5.0
	10.0	10.0	24.0	18.5	3.0	5.0

The submitted site plan contains the dimensions of the parking stalls and the travel aisle for the proposed parking lot as follows:

	Stall Width (feet)	Aisle Width (feet)	Stall Depth (feet)
Compact	8.5	25	15
Standard	9	25	16.5

The proposed parking stalls and aisle width are not compliant with the parking lot design standards of ADC 9.130. As a condition of approval, the applicant shall provide an updated parking plan showing compliance with the standards of ADC 9.130 prior to the issuance of a building permit.

6.16 Landscaping. ADC 9.140(1) provides required landscaping for residential development criteria. ADC 9.140(2) requires all front and interior setback (exclusive of access ways and other permitted intrusions) shall be landscaped prior to any occupancy permits will be issued unless the landscaping is guaranteed in accordance with ADC 9.190. The subject property contains two frontages, 1st Avenue to the north and Thurston Street to the east. The subject property contains approximately 111 linear feet of frontage on Thurston which is subject to the following landscaping standards: two trees at least six feet tall; eight one-gallon shrubs or accent plants; the remaining area treated with ground cover (e.g., lawn, bark, rock, ivy, and evergreen shrubs).

First Avenue is classified as an arterial right-of-way; therefore, the landscaped buffer requirements are more restrictive and addressed below in Finding 6.18.

6.17 Tree Protections. ADC 9.202 through 9.206 provides criteria for tree protections. The applicant proposes no tree felling with the application; therefore, these standards do not apply.

6.18 Buffering. ADC 9.210, Table 9.210-1, and ADC 9.240 requires a 10-foot-wide landscape buffer, but not screening, when a multiple dwelling unit development abuts a dwelling(s) in a residential zone, and a 10-foot-wide landscape buffering when multiple dwelling unit development abuts an arterial street. The subject property abuts existing dwellings in the MUR zone to the south and west of the subject property; therefore, a 10-foot-wide landscape buffer is required.

ADC 9.240 states: “The minimum improvements within a buffer consist of the following: (a) One row of trees. These trees will not be less than ten feet high at the time of planting for deciduous trees and spaced not more than 30 feet apart, and five feet high at the time of planting for evergreen trees and spaced not more than 15 feet apart; (b) Five 5-gallon or ten 1-gallon shrubs, trees or accent plants for each 1,000 square feet of required buffer area; (c) The remaining area treated with suitable living ground over, lawn, or decorative treatment of bark, rock, or other attractive ground cover.”

The subject property has approximately 200 feet of frontage along 1st Avenue, less 33 feet for access, which equates to 167 feet of frontage and 1,670 square feet of required landscaped buffer area. Thus, the landscaping requirements along 1st Avenue are as follows: 5 deciduous trees at least ten feet tall or 10 evergreen trees at least five feet tall, 5 five-gallon shrubs or 10 one-gallon shrubs, and the remaining area treated with groundcover.

The subject property abuts dwellings in the MUR district to the south and west of the subject property. The subject property has 200 linear feet along the south property line which equates to 2,000 square feet of required landscaped buffer area. Thus, the landscaping requirements along the south property line are as follows: 6 deciduous trees at least ten feet tall or 12 evergreen trees at least five feet tall, 10 five-gallon shrubs or 20 one-gallon shrubs, and the remaining area treated with ground cover.

The subject property has 111 linear feet along the west property line which equates to 1,110 square feet of required landscaped buffer area. Thus, the landscaping requirement along the west property line are as follows: 3 deciduous trees at least ten feet tall or 7 evergreen trees at least five feet tall, 5 five-gallon shrubs or 10 one-gallon shrubs, and the remaining area treated with groundcover.

The applicant's preliminary landscaping plan indicates the number, size, and type of vegetated material proposed. The preliminary landscaping plan (Attachment E) is not compliant with the required landscaped buffering standard. As shown on the site plan, the site design will accommodate the required landscaping buffer; however, prior to issuance of any building occupancy, the applicant will need to submit a landscaping and irrigation plan for review and approval.

- 6.19 ADC 9.150(1) states parking areas shall be divided into bays of not more than 12 parking stalls and the end of each parking bay shall be a curbed planter at least five feet wide. The applicant's site plan indicates all proposed parking areas will conform to this standard.
- 6.20 ADC 9.150(3) requires parking areas to be separated from the exterior wall of a structure by pedestrian walkways or loading areas, or by a five-foot strip of landscaping. As shown on the applicant's site plan, the residential buildings are separated from parking areas by a seven and a half-foot-wide pedestrian walkway and a five-foot-wide landscaping strip.
- 6.21 ADC 9.160 requires all landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman provides documentation that the plants do not require irrigation. As a condition of approval, the applicant shall submit a landscaping and irrigation plan for review and approval prior to issuance of any building occupancy.
- 6.22 Environmental Standards. ADC 9.440 – 9.500 includes environmental standards related to noise, visible emissions, vibrations, odors, glare, heat, insects, rodents, and hazardous waste. The design and operating characteristics of a multiple dwelling unit residential development are comparable to other residential developments in the vicinity, and therefore, no adverse environmental impacts are anticipated.
- 6.23 Conclusion: As proposed and conditioned, all applicable Article 9 standards are met with the following conditions.

Conditions

- Condition 3 Bicycle Parking.** Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide evidence that required bicycle parking meets the standards of ADC 9.120(13) by installing secured parking racks for each space and installing shelter for three spaces (one half of the required bicycle parking).
- Condition 4 Parking.** A separate parking lot permit must be obtained for the proposed development, detailing the conformance to ADC 9.120 and 9.130. Before the City will issue a final certificate of occupancy for the proposed structures, the parking lot shall be installed and approved.
- Condition 5 Landscaping and Irrigation System.** Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide a landscape plan and either an

irrigation plan or a letter from a qualified landscape professional stating irrigation is not required per ADC 9.160.

Condition 6 Lighting. Before the City will issue an electrical permit for the proposed development, the applicant shall provide a lighting plan, detailing the compliance with ADC 9.120(14).

Criterion 7

The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Findings of Fact and Conclusions

Sanitary Sewer

- 7.1 City utility maps show an 8-inch public sanitary sewer in 1st Avenue and an 8-inch public sanitary sewer in Thurston Street. The property is not connected to the public sanitary sewer system.
- 7.2 ADC 12.470 requires all new developments to extend and/or connect to the public sanitary sewer system in the property is within 300 feet of a public sewer line.
- 7.3 The applicant's preliminary site plan indicates that the proposed development will be connected to the public water lateral serving the site.

Water

- 7.4 City utility maps show a 4-inch water main in 1st Avenue. The City of Albany will be replacing this main line with an 8-inch main and a new fire hydrant at the corner of Thurston Street and 1st Avenue spring-summer of 2023. The property is currently not connected to the public water system.
- 7.5 ADC 12.410 requires all new developments to extend and/or connect to the public water system if the property is within 150 feet of an adequate public main.
- 7.6 The applicant's preliminary utility plan shows a connection to the public water system for providing fire protection to the proposed building. Before any work is done on or around a public water main, the applicant must obtain a Site Improvement Permit from the Public Works Department.

Storm Drainage

- 7.7 City utility maps show a 12-inch public storm drainage main in 1st Avenue and Albany-Santiam Canal overflow in Thurston Street.
- 7.8 First Avenue is improved to city standards with curb and gutter along the subject property frontage.
- 7.9 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.
- 7.10 The applicant has submitted a preliminary drainage report that indicates the installation of an on-site stormwater system connecting to a public manhole. Final design details for these storm drainage facilities will be reviewed in conjunction with the encroachment permit.
- 7.11 AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where more than 8,100 square feet of impervious surfaces will be created or replaced (Ord. 5841 § 3, 2014).
- 7.12 Because the site is smaller than one-acre, post-construction stormwater quality is not required.

Conditions

Condition 7 Public Works. An encroachment permit from the Public Works Department is required before work is started on storm lateral construction.

Condition 8 Public Works. Before any work is done on or around a public water main for the installation of fire protection, the applicant must obtain a Site Improvement Permit from the Public Works Department.

Criterion 8

The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Findings of Fact and Conclusions

- 8.1 The project is located on the southwest corner of 1st Avenue and Thurston Street. The project will construct a 6-unit apartment building with an associated parking lot.
- 8.2 ADC 12.060 requires all streets within, and adjacent to, new development be improved to City standards.
- 8.3 ADC 12.040 requires that the design of street improvements comply with adopted master plans.
- 8.4 First Avenue is classified as a minor arterial street and is improved to city standards. Improvements include: curb, gutter and sidewalk; two vehicle travel lanes in the westbound direction; an on-street bike lane; and on-street parking along both sides of the road.
- 8.5 Thurston Street is classified as a local street and is not improved to city standards. The Central Albany Land Use and Transportation Study (CALUTS) plan adopted by the City Council in 1995 does not envision the improvement of this section of Thurston Street to city public street standards.
- 8.6 The applicant did not submit a trip generation estimate or Traffic Impact Analysis (TIA) with the application. Albany's threshold for submittal of a trip generation estimate is 50 peak hour trips. Developments that generate 100 or more peak hour trips are required to submit a TIA.
- 8.7 Staff has estimate site trip generation based on Institute of Transportation Engineers (ITE) trip generation rates. Trip generation for the proposed use was estimated by using ITE trip rates for category 220, "Multi Family Housing (Low Rise)". The proposed use was estimated to generate a total of 40 average daily trips (ADT), of which 3 are expected to occur during the peak PM traffic hour.
- 8.8 The proposed site plan includes construction of a new driveway approach to 1st Avenue near the west boundary of the site. The size and location of the driveway approach comply with city standards.
- 8.9 Albany's Transportation System Plan does not identify any congestion or capacity issues occurring along the frontage of the site.

Conclusion

- 8.1 ADC 12.060 requires all public streets adjoining new development be improved to city standards.
- 8.2 ADC 12.040 requires that the design of street improvements comply with adopted master plans.
- 8.3 The development has frontage on both 1st Avenue and Thurston Street. First Avenue is improved to city standards. Thurston Street is not improved to city standards, but the CALUTS plan adopted by the City Council in 1995 does not envision the improvement of Thurston Street to street standards.
- 8.4 Based on ITE trip generation rates the proposed development will generate 40 average daily trips. Three of those trips will occur during the peak PM traffic hour.

Conditions

Condition 9 Transportation. Prior to issuance of any certificate of occupancy for the structure(s), the applicant shall construct a new driveway approach to 1st Avenue at the size and location shown on the approved site plan.

Criterion 9

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact and Conclusion

9.1 Staff refer to and incorporate the findings prepared in response to Criterion Seven, above by reference.

Criterion 10

The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Findings of Fact and Conclusion

10.1 The subject property has been approved for a replat to consolidate tax lots 5600 and 5700 into one unit of land (RL-02-23). At the time of this staff report the replat has not been completed. As a condition of approval, the applicant shall comply with all conditions in land use file RL-02-23 prior to the issuance of a building permit.

Criterion 11

Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Findings of Fact and Conclusion

11.1 The site is not considered nonconforming. This criterion is not applicable.

Overall Conclusion

As proposed and conditioned, the concurrent applications for Site Plan Review and Replat satisfy all applicable review criteria as outlined in this report. Staff recommends approval of this proposal with the following conditions.

Conditions of Approval

Condition 1 Site Improvements. Before the City will issue a final certificate of occupancy for the proposed structure(s), all proposed and site improvements identified to the site plan (e.g., driveways, landscaping, lighting, etc.) shall be constructed and completed in accordance with approved plans. Landscaping may be financially secured through a completion guarantee, per ADC 9.190.

Condition 2 Screening of Refuse Containers. Before the City will issue a final certificate of occupancy for the proposed structure(s), the applicant must provide screening of the refuse containers in compliance with ADC 3.390.

Condition 3 Bicycle Parking. Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide evidence that required bicycle parking meets the standards of ADC 9.120(13) by installing secured parking racks for each space and installing shelter for three spaces (one half of the required bicycle parking).

Condition 4 Parking. A separate parking lot permit must be obtained for the proposed development, detailing the conformance to ADC 9.120 and 9.130. Before the City will issue a final certificate of occupancy for the proposed structures, the parking lot shall be installed and approved.

Condition 5 Landscaping and Irrigation System. Before the City will issue any certificate of occupancy for the proposed structure(s), the applicant shall provide a landscape plan and either an irrigation plan or a letter from a qualified landscape professional stating irrigation is not required per ADC 9.160.

Condition 6 Lighting. Before the City will issue an electrical permit for the proposed development, the applicant shall provide a lighting plan, detailing the compliance with ADC 9.120(14).

- Condition 7 Public Works.** An encroachment permit from the Public Works Department is required before work is started on storm lateral construction.
- Condition 8 Public Works.** Before any work is done on or around a public water main for the installation of fire protection, the applicant must obtain a Site Improvement Permit from the Public Works Department.
- Condition 9 Transportation.** Prior to issuance of any certificate of occupancy for the structure(s), the applicant shall construct a new driveway approach to 1st Avenue at the size and location shown on the approved site plan.

Attachments

- A. Location Map
- B. Site Plan
- C. Applicant's submitted narrative
- D. Elevations
- E. Preliminary landscaping site plan
- F. Written Comments

Acronyms

ADC	Albany Development Code
AMC	Albany Municipal Code
CALUTS	Central Albany Land Use and Transportation Study
ITE	Institute of Transportation Engineers
ORS	Oregon Revised Statutes
RL	Replat File Designation
RMA	Residential Medium Density Zoning District
SP	Site Plan Review File Designation
TIA	Traffic Impact Analysis
TSP	Transportation Systems Plan

Water Ave.

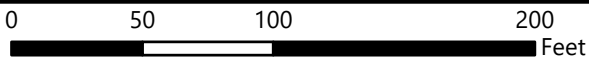
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Subject Properties

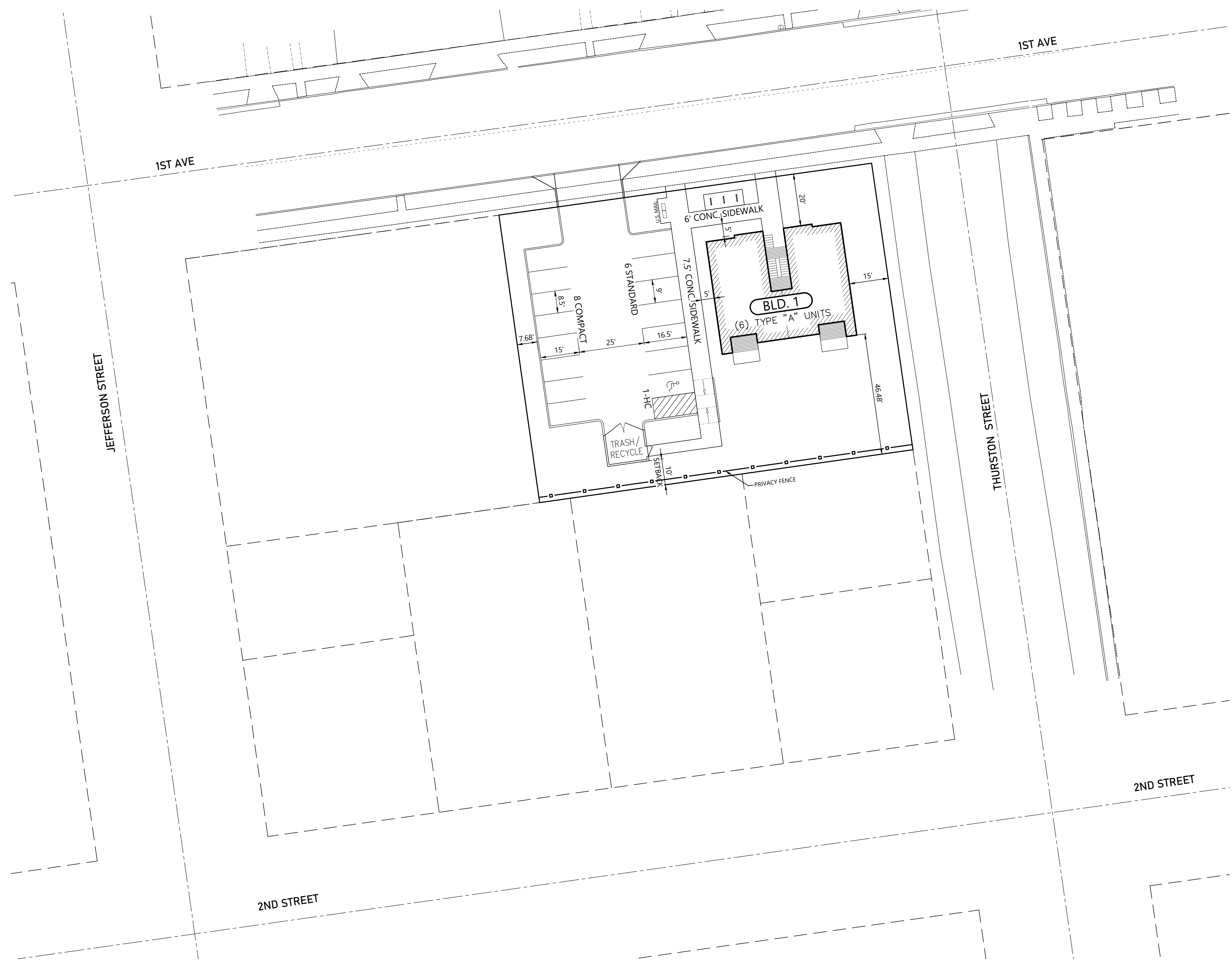
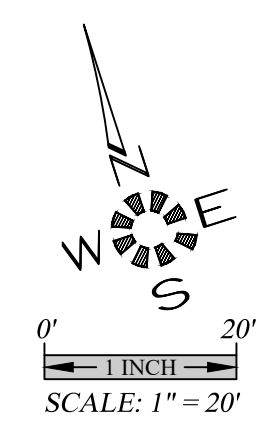
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Jefferson St.

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Unaddressed



★ THE INDICATED LOWER FLOOR UNITS IN BUILDINGS ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2014 OSSC SEC. 1107.6.2.1.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2014 OSSC SEC. 1107.6.2.1.2

- ⊙ - POLE LIGHT MAXIMUM 14' TALL
- ★ - POST LIGHT MAXIMUM 5' TALL
- ▣ - WALL PACK MOUNTED ON BUILDING
- ▨ - LOCATION OF ELECTRICAL SEPARATION WALL
- ① - MAXIMUM 1:12 SLOPE ON SIDEWALK END RAMPS
- ||| - 6 BICYCLE SPACES.

ADA HANDICAP ACCESSIBILITY NOTES:

1. ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2% MAX. LANDINGS AT BOTTOM OF STAIRS AND EXT. FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
2. HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSSC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
3. HANDICAP ACCESSIBLE CURB RAMPS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
4. THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSSC.
5. 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNIT AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.

6 TOTAL APARTMENT UNITS
6 TYPE "A" 2-Bd, 2-Ba (963 S.F.) UNITS

15 TOTAL PARKING STALLS
6 STANDARD STALLS
8 COMPACT STALLS
1 HANDICAP STALLS

6 BICYCLE SPACES IN 1 RACKS (REQUIRED)
1 TRASH / RECYCLE
1 U.S. MAIL BOX AREA

SITE PLAN

1st AVENUE APARTMENTS

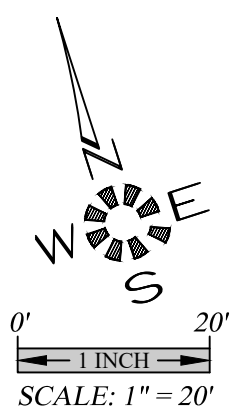
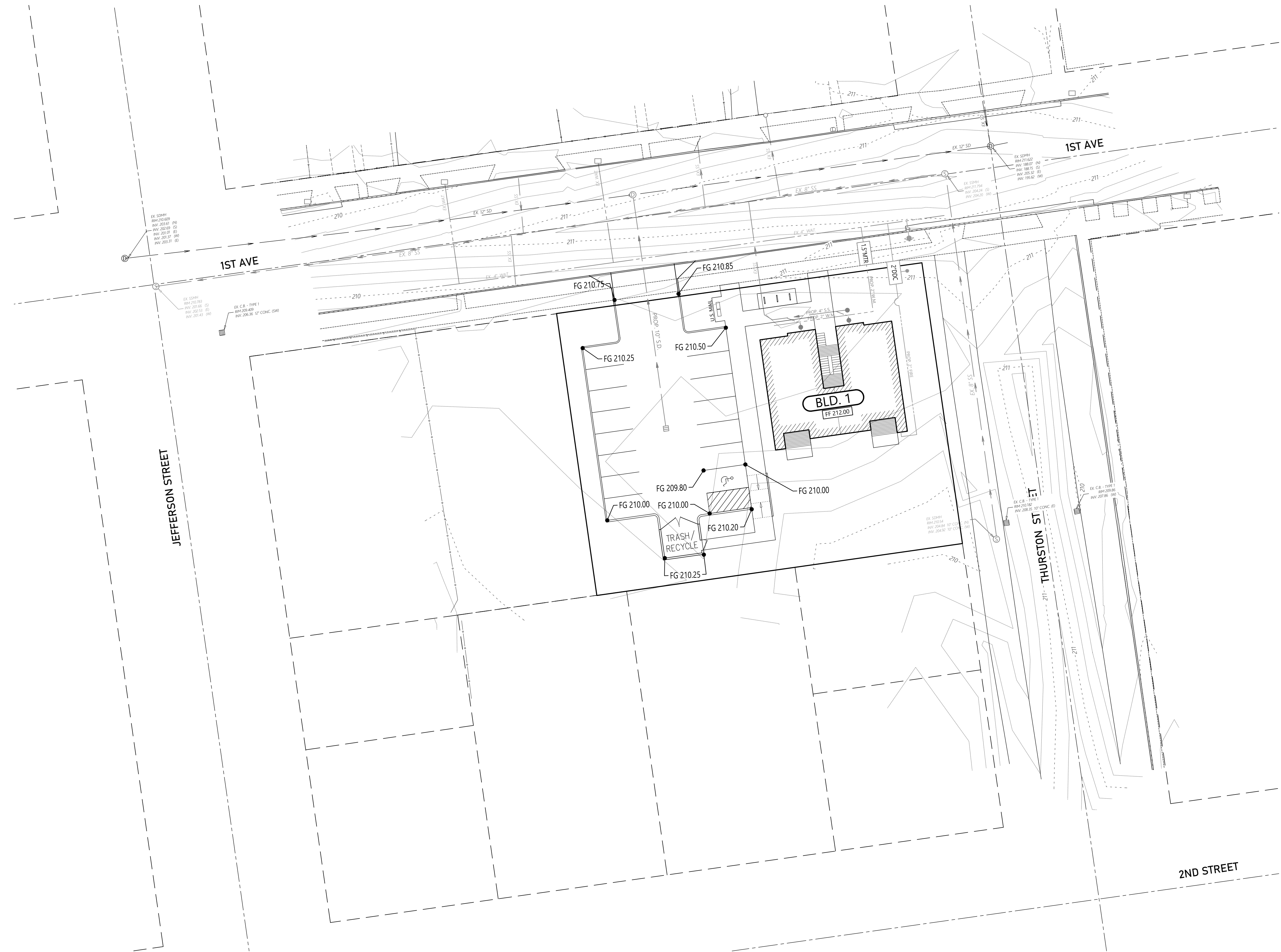
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JOB # 7443

SDR3



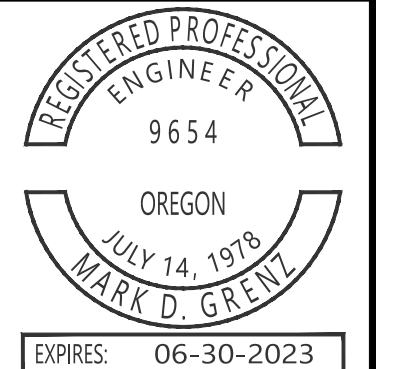
MULTI/TECH
 ENGINEERING SERVICES, INC.
 1155 13th St., S.E. Salem, OR, 97302
 Ph. (503) 385-9927 Fax (503) 384-1260
 www.multitechinc.com email: info@multitechinc.com

GRADING PLAN

1st AVENUE APARTMENTS

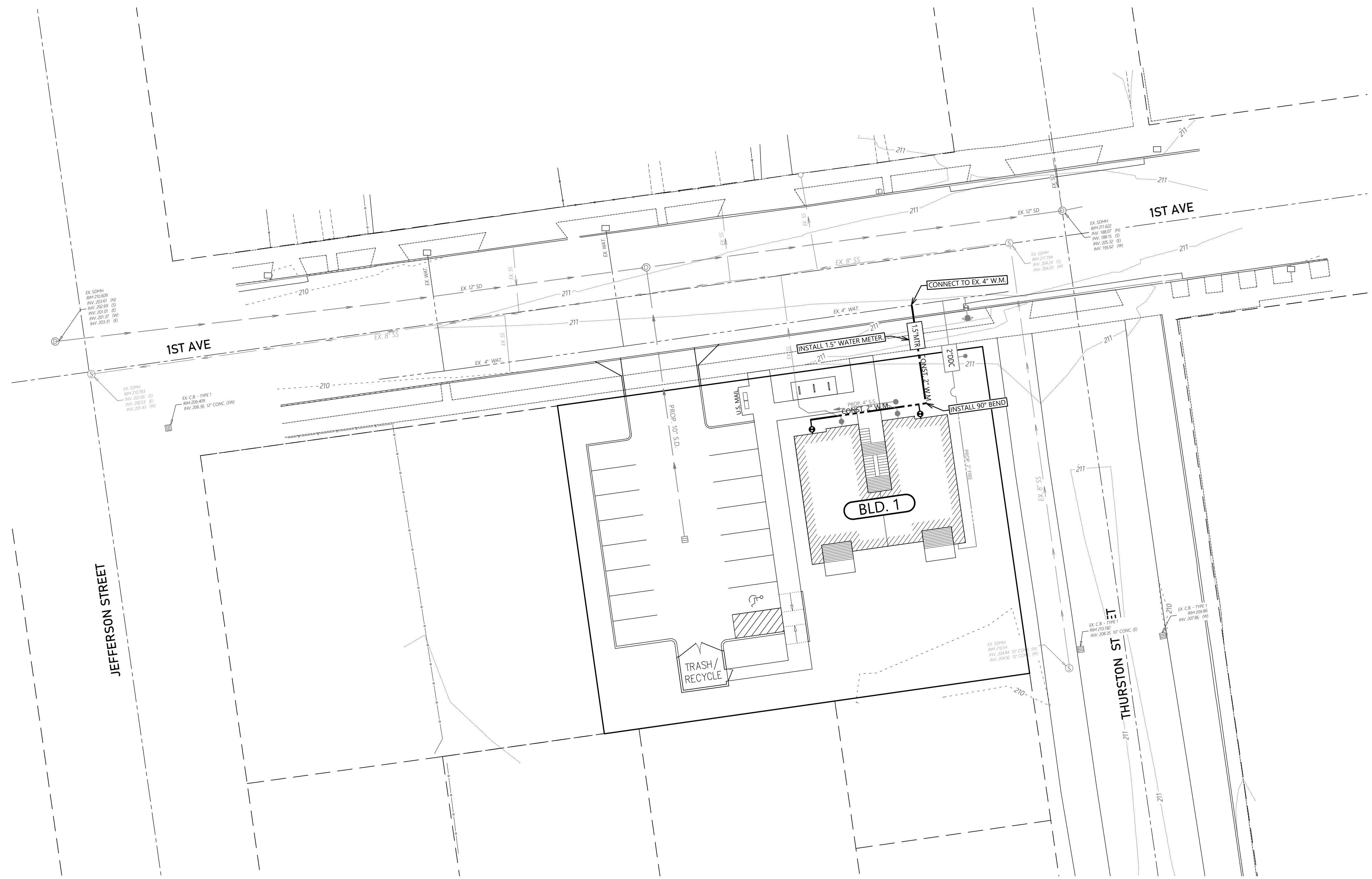
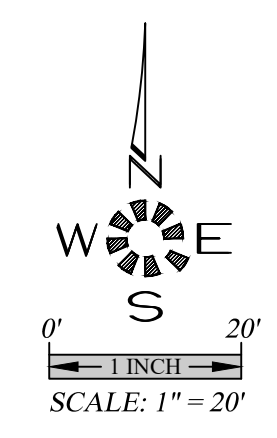
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JOB # 7443

SDR5



PRIVATE DOMESTIC WATER PLAN

1st AVENUE APARTMENTS

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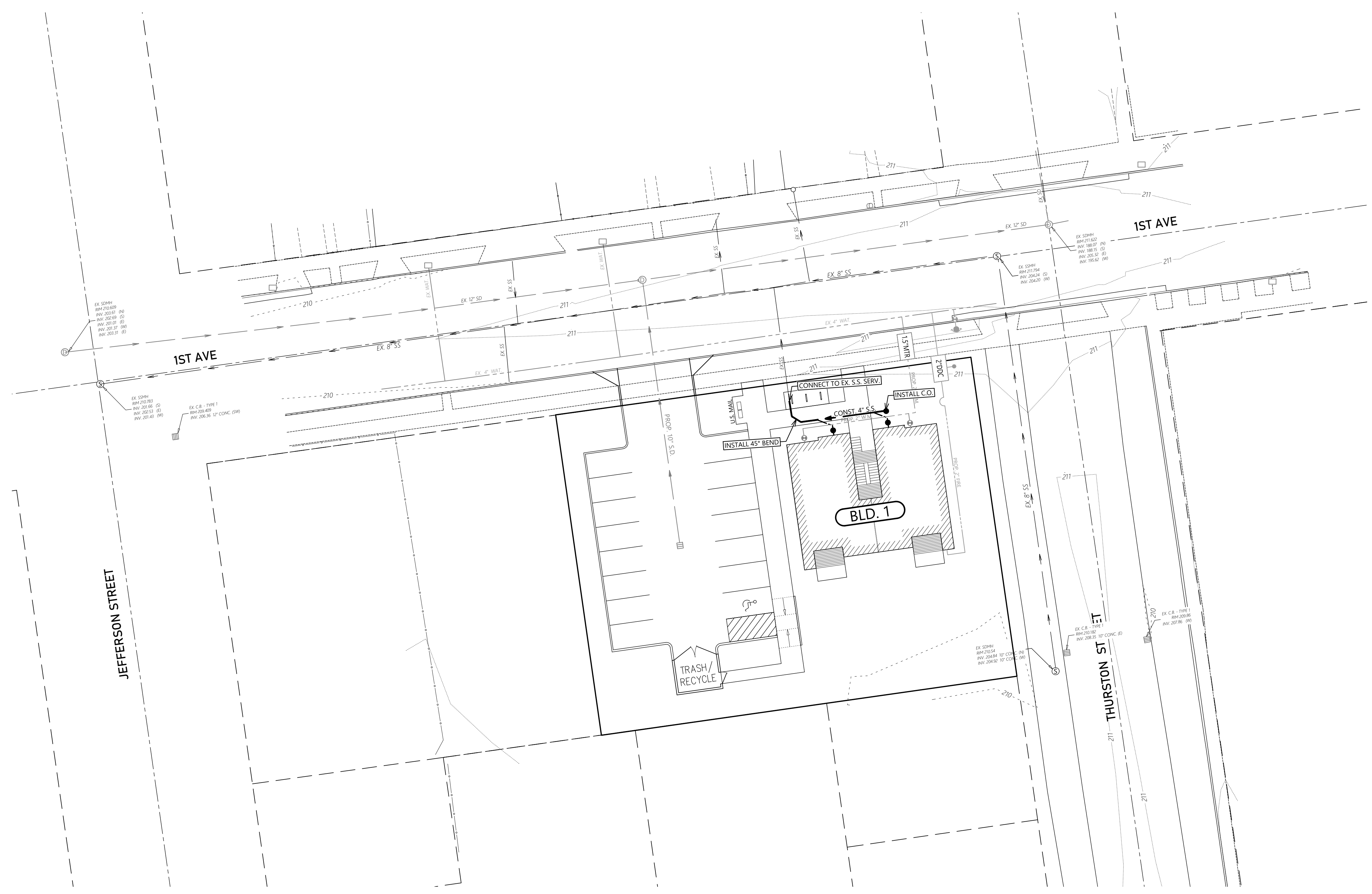
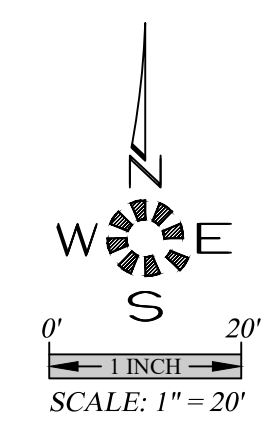
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JOB # 7443

SDF8



**PRIVATE
SANITARY SEWER PLAN**

1st AVENUE APARTMENTS

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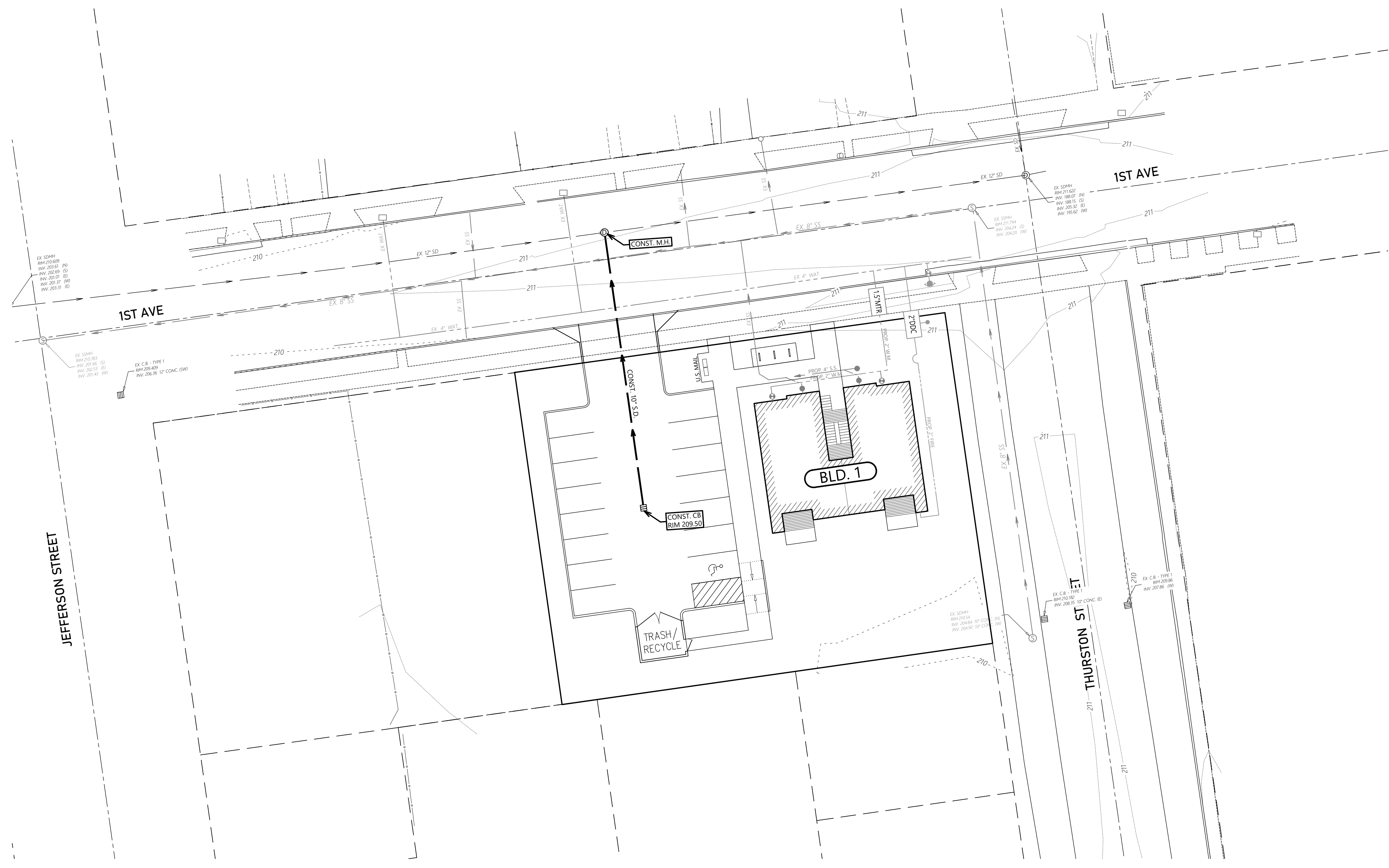
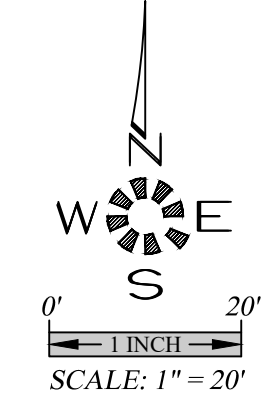
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EXPIRES 06-30-2023

JOB # 7443

SDR7



**PRIVATE
 STORM DRAIN PLAN**

1st AVENUE APARTMENTS

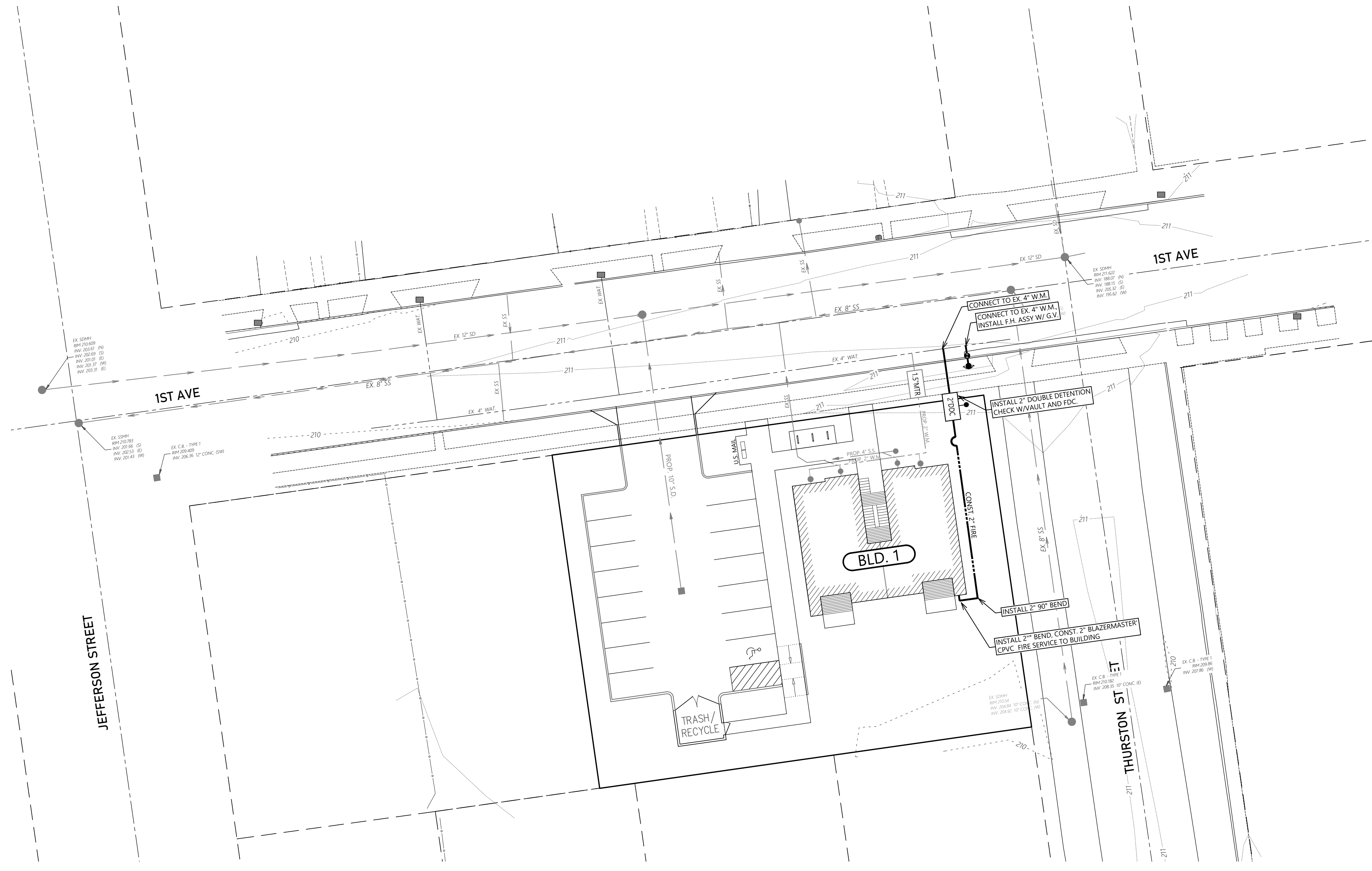
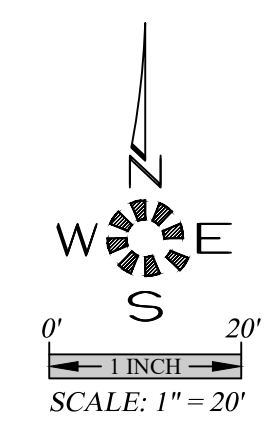
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JOB # 7443

SDR6



**PRIVATE
FIRE SERVICE PLAN**

1st AVENUE APARTMENTS

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EXPIRES 06-30-2023

JOB # 7443

SDF9

1st Avenue-Apartments

Site Plan Review

March 17, 2023

Background:

The subject property is located on the south side of 1st Avenue (011S03W06DC/Tax Lots 5600 and 5700). The following are the applicants’ statements regarding the Site Plan Review Criteria (Albany Municipal Code Chapter 11.180).

The City held a pre-application conference with the applicant’s engineering representative, Multi/Tech Engineering, Inc., on June 1, 2022, for the purposes of discussing code requirements for developing the subject property.

Proposal:

The applicant’s proposal is to develop 0.37 acres (16,010sq.ft.) into a 6-unit apartment building. The subject property is zoned Mixed Use Residential (MUR).

The submitted plans and the findings below show and/or indicate how the proposal meets the City of Albany code requirements.



HOUSING NEEDS

The City's adopted Comprehensive Plan Land Use, Housing and Urban Growth Goals and Policies implement the Statewide Housing Goal by documenting population projections, land use inventories and buildable lands. The proposal adds to the housing inventory of the City and meets the intent of the Goal and Policies 1, 2, 3, 6, 8, 12, 18, and 19.

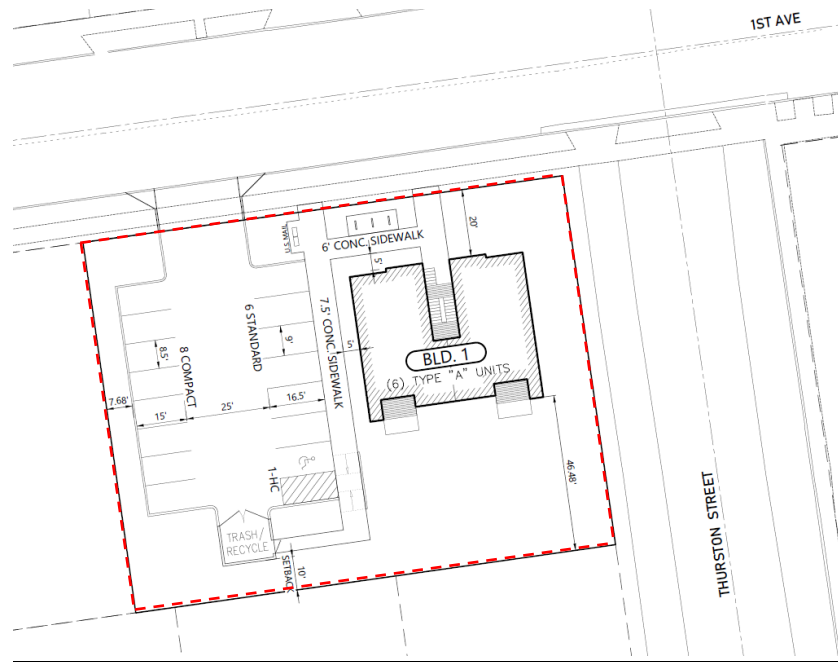
The City's adopted Comprehensive Plan Residential, Transportation Goals and Policies and applicable adopted facilities plans implement the Statewide Housing Goal. In 2006, the Albany City Council adopted a Housing Needs Analysis that outlined the housing needs from 2005 to 2025.

According to the Housing Needs Analysis, Albany is projected to need approximately 4,300 additional housing units by 2025. If Albany's population was to continue to grow by more than 2% per year, Albany might need over 9,000 new housing units over the next 20 years (Page 44 of Housing Needs Analysis).

Six-hundred and thirty-two (632) multiple family units are going to be needed by 2025, within the RM zone and MUR zone. (Page 50 of the Housing Needs Analysis). The applicant's proposal to develop property zoned MUR as multi-family units, will allow a needed housing type to be constructed on the site. The proposal will help to meet the City of Albany's housing needs that have to be met.

As in the Albany's Housing Strategy, Meeting Housing Needs to 2025 (Page 59 of the Housing Needs Analysis), one of the Goals to meet the housing needs is to, "Create and sustain a city of diverse neighborhoods where all residents can find and afford the values, lifestyles, and services they seek."

By developing this site as multi-family units and creating a needed housing type in this neighborhood, a diverse neighborhood is being established. This will allow the multi-family units to be located in a neighborhood with needed services and amenities for the residents. Therefore, meeting the Goal of the Housing Needs Strategy and the City of Albany housing needs.



ADC 2.450-Review Criteria

Site Plan Review approval will be granted if the review body finds that the application meets all of the following criteria that are applicable to the proposed development.

- (1) Public utilities can accommodate the proposed development.*
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.*
- (3) The transportation system can safely and adequately accommodate the proposed development.*
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.*
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.*
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.*
- (7) The site is in compliance with prior land use approvals.*
- (8) Sites that have lost their nonconforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.370.*

Applicants' Response to Criteria:**1. Public Utilities:**

Findings: The City provided information at the preapplication conference that water and sewer lines are available for extension into the site. The site plans indicate the location of public water; sewer and storm drain lines in the street. Natural gas, telephone and electrical services are located within the public right-of-way.

Storm drain plans (Sheet SDR6) are required to be submitted to and approved by the Public Works Department for issuance of a building or storm water discharge permit. Applicable state or federal permits are required to be obtained for issuance of building or construction permits from the City.

The extension of water facilities necessary to provide fire service is required for development. Building addressing is required to facilitate public safety access and addresses will be assigned by the City with building permit applications. Hard-surfaced access is proposed to comply with code that requires a clear and unobstructed access width of a minimum of 20-feet wide. Hydrants, hydrant location, fire sprinkler systems and type of construction will be reviewed by the Fire Department when building permit applications or construction plans are submitted to the City to determine the level of water service needed. The developer is responsible for the cost of development and installation to building and fire code specifications.

Private utilities will be provided with under grounding of electrical, gas, telephone and cable lines into the site.

The City of Albany has adopted codes regulating installation, extension and development of public facilities for streets, water, sewer and storm drainage facilities, and public utility easements. The developer is responsible for the cost of extension of improved facilities necessary to serve the site. Internal development of public or private facilities necessary to serve individual units will occur at the building permit stage. Compliance with building code requirements satisfies this criterion.

Therefore, this criteria has been and/or will be met at the time of building permits.

2. Stormwater:

Findings: The subject property is 0.37 (16,010 square feet) in size. However, the development is only creating 8,274 square feet of impervious area, therefore, Stormwater Infrastructure is not required.

Grading and drainage plans (Sheets SDR5 and SDR6) have been provided. Therefore, this criteria has been and/or will be met at the time of building permits.

3. Transportation:

Findings: The major transportation network is in place. The subject property has frontage on 1st Avenue and Thurston Street. The residential development proposed will have direct access onto 1st Avenue to the north. The size of the development does not warrant a Traffic Study (TIA).

The development will have adequate access to and from the already existing street system and the proposed street system that is in place due to an existing developed neighborhood. No new streets are proposed through the subject property.

The subject property is located in a developing area where improved streets and sidewalks continue as required by the City. Improved access is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto. The City's adopted facility plans and construction requirements are the basis for the provision of facilities and any conditions of approval imposed on the development. Review of required construction plans and construction according to the approval provides compliance with this criterion. Thus, the transportation system can safely accommodate the proposed 6-unit apartment development.

Therefore, this criteria has been met.

4. Parking:

Findings: The apartment development is served by two-way driveways with parking located throughout the development. The driveway entrances are located adjacent to the east side of the subject property. The driveways have 25-foot improvement width with parking. The improvement of the driveway, sidewalk and entrance-exit points facilitates pedestrian, bicycle and vehicle safety.

The proposed parking lot design and setbacks meet the minimum standards of the code. There will be "No Parking" signs or striping installed along the length of driveway entrances.

The proposed development is required to provide eleven (11) on-site parking spaces (1.5 spaces per unit + 1 visitor space per 4 units). Fifteen (15) vehicle parking spaces are provided on site. The site plan indicates the ratios provided for standard (6), compact (8), handicap spaces (1) and location of bike spaces. Code requires 1 bicycle parking space per every 4 units. There are 6 (2 required) bicycle parking spaces are provided on-site. The bike parking spaces are located in front of the building (Building 2 on the site plan).

The buildings provide a buffer between the parking areas and the right-of-way (1st Avenue).

The internal pedestrian circulation system consists of hard 7.5-foot wide surfaced sidewalks that provide easily identifiable and safe connections between the residential units, parking, recreation areas, manager's apartment, and the trash disposal area. The pedestrian system connects the front entrances of the buildings to the public sidewalk system within 1st Avenue. The sidewalks are raised above the surface of the travel lanes. Pedestrian crossings will make use of drop curbs to facilitate handicap access. This provides a clear separation between vehicles and pedestrians. Any pedestrian pathways that cross the parking area or driveways will be marked and a minimum of five feet wide. The pedestrian pathways will be lighted.

The internal circulation system provides improved connection to the existing street system. Landscaping and planting bays that serve to break up the hard-surface areas and provide for shade tree planting are incorporated into the design of the parking areas.

There is no recreational vehicle storage areas proposed for the subject property.

The proposed development provides safe and convenient bicycle and pedestrian access from within the development to adjacent residential areas and to neighborhood activity centers. The improved and unobstructed driveway provides emergency service access. There are no steep grades involved in the development of the subject property that would negatively impact access.

All required handicap spaces have been provided in front of the buildings adjacent paved sidewalks. Extra handicap spaces on the site have been provided. For safe and efficient access the development will provide a handicap parking space adjacent the mailboxes and the trash enclosure in the center of the site.

Therefore, this criteria has been met.

5. Design and operating characteristics (See Sheet L1.1):

Findings: The proposal is for a 6-unit multi-family residential development. The site will be developed with multi-family residential buildings, a manager's office, outdoor areas, setbacks to property lines, and parking areas. Building height will comply with code.

Landscaping and screening will enhance the privacy of the development and provide a separation between the proposed development and existing surrounding uses. The site plan illustrates the amount of landscaping and hard-surfaced areas that are proposed. All common open space areas will be landscaped. As indicated on the site plan, there will be 7,354 square feet of landscaped area throughout that portion of the site being developed. Therefore, 46% of the developed area will be landscaped.

6. Special Features Inherent in the Site:

Findings: Per the June 1, 2022, Pre-App (PR-37-22), there are no historic or archaeological structures or areas on the subject property that would be negatively impacted by the proposed development.

There are no identified local wetlands located on the site.

7. Prior Land Approvals

Findings: The applicant requested a replat on the subject. The replat is to adjust the common property lines between Tax Lots 5600 and 5700 to create 2 lots where three exist. The replat is currently under review. There are no prior land use approvals for the subject property. Therefore, this criteria is not applicable.

8. Non-Conforming

Findings: There are no non-conforming uses on the subject property. The subject property is vacant. The subject property is zoned MUR (Mixed Use Residential). Therefore, these criteria are not applicable.

FINDINGS FOR ARTICLE 5-MIXED-USE RESIDENTIAL STANDARDS

Article 5:

The subject property is zoned MUR (Mixed-Use Residential).

MUR-Mixed Use Residential

Density: Development in the MUR zone does not have a maximum density. The subject property is about 0.37 acres in size and the applicant is proposing 6 units on the site.

Therefore, the development is in compliance the density standards.

Lot Size: The subject property is about 0.37 acres in size. The minimum lot size requirements for multi-family in the MUR zone is determined by the number of bedrooms. There are 6 two-bedroom units proposed. The proposal is required to have a lot size of 10,800 square feet. Therefore, the lot size is in compliance with Code.

Lot Width and Lot Depth: As shown on the site plan, the proposed site is in compliance with lot depth and width requirements. Therefore, the lot size is in compliance with Code.

Landscaped Area: Landscaped plans have been provided and show how the site will meet landscape requirements. There will be 7,736 square feet of the site landscaped; therefore, 48% percent of the site is landscaped area.

Common Open Space: Recreation and common open space is not required in developments with less than 10 units. However, a total of 7,354 square feet of common open space has been provided on the site. Therefore, the development is in compliance with Code.

Private Open Space: The lower floor patios are all about 100 square feet in size. The upper floor decks are all about 56 to 60 square feet in size, with no dimension greater than 6 feet. Therefore, the private open space requirements have been met.

Setbacks: All buildings on the site are 3-stories in height. All setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan. Setbacks are shown on the tentative plan.

North:	20-foot setbacks; adjacent 1 st Avenue
East:	15-foot setback and fence; adjacent Thurston Street
South:	10-foot setbacks (building) and fence; MUR zone, existing single-family dwellings
West:	7.68-foot setback (parking); MUR zone, existing multi-family dwellings

Therefore, the setbacks are in compliance with Code.

Lot Coverage: The building covers 2,136 square feet (13%) of the total site. There is a total of 6,138 square feet (38%) of paved area throughout the site; this includes parking area and sidewalks. The buildings and paved area cover 51% of the site. Therefore, the development does not exceed the 70% maximum lot coverage allowed.

Parking: Parking is determined by the number of bedrooms in each unit.

Studio/1-Bedroom Units=	Requires 1 parking space per unit
2-Bedroom Units=	1.5 parking spaces per unit
3 or more Bedroom Units=	2 parking spaces per unit

The development is for 6 (two-bedroom) apartment units. The development is required to provide 11 on-site vehicle parking spaces (1.5 spaces per unit + 1 visitor space per 4 units). The development provides 15 vehicle parking spaces on-site.

6 Standard Stalls
8 Compact Stalls
1 Handicap Stalls

Therefore, on-site vehicle parking is in compliance with Code.

Maximum Height: The maximum building height allowed in the MUR zone is 45 feet (measured from the average grade to the top of the wall facing the property line as required by Code).

Building 1- 40' (measured from the average grade to the peak of the roof)/34.5' (measured from the average grade to the average height of the highest gable as required by Code).

Therefore, building height is in compliance with Code.

FINDINGS FOR ARTICLE 6-NATURAL RESOURCE DISTRICT

The subject property is not located within an Open Space Zone, Wetland Overlay or Floodplain Overlay District. Therefore, this section of the code is not applicable.

FINDINGS FOR ARTICLE 8-DESIGN STANDARDS

Article 8:

ADC 8.220-Recreation and Open Space Areas

Findings:

Common Space (1) (a-h): In multi-family developments, a portion of the land not covered by buildings and parking shall be of adequate size and shape and in the proper location to be functional for outdoor recreation and relaxation. The standards are also intended to ensure that the projects open space is an integral part of the overall development design, not merely leftover space. For larger developments there should be a variety of open space activities.

For project of with less than 10 units, common open is not required. However, a total of 7,354 (46%) square feet of common open space has been provided on the site. The open space areas include landscaped areas. Therefore, the development is in compliance with Code.

Findings:

Children's Play Areas (2) (a-d): A children's play area is not required for this size of a development. Therefore, a play area has not been provided.

All criteria under 8.220 has been met.

ADC 8.230-Private Open Space

Findings for (1-2): In all newly constructed multiple family developments, private open space shall be provided.

All private open space areas are located in the back of the proposed building. Building orientation standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.

All entrances face the right-of-way (1st Avenue). The street side of all the buildings will be designed to be visually appealing. In order to be consistent with the side of the building facing the interior of the lot, windows, offsets, and architectural features will be incorporated into the street side of the Building.

All private open space areas located at grade (first-story) will be patios approximately 100 square feet in size. All private open space areas located above grade (second and third-stories) will be decks approximately about 56 to 60 square feet in size.

Findings for (3): All building entrances will have direct pedestrian access to 1st Avenue and the parking area, via paved sidewalks. The rear entrances and design of the site provide safe and efficient pedestrian circulation within the development.

The patios and decks provided will be accessible through the back door of each apartment unit.

Findings for (4): All private open space areas will be physically and visually separated from the common open space by a sight-obscuring fence or landscaping.

ADC 8.240-Maximum Setbacks for Street Orientation

Findings for (1): On sites with 100 feet or more of frontage on a collector or local public street, at least 50 percent of the site width shall be occupied by a building(s) placed no further than 25 feet from the front lot line. The development has frontage on 1st Avenue to the north and Thurston Street to the east. 1st Avenue is designated as a ‘collector’ street and Thurston Street is unimproved right-of-way east of the site. The building along 1st Avenue is setback 20 feet from the front property line. The subject property has 114.33 feet (67 feet minus setbacks and accessway) of street frontage along 1st Avenue. Forty-five (45) percent (77% of the site if setbacks and accessway are excluded) of the sites street frontage will be occupied by a building placed no further than 25 feet front the front line.

The subject property also has about 111.20 feet (81 feet minus setbacks) of frontage along Thurston Street to the east, which is unimproved right-of-way. Forty (40) percent (55% of the site if setbacks are excluded) of the sites street frontage will be occupied by a building placed no further than 25 feet front the front line.

This criterion has been met.

ADC 8.250-Functional Design and Building Details

Findings for 1: These standards are intended to promote functional design and building details that contribute to a high-quality living environment for residents and enhance compatibility with the neighborhood.

The building design does not have long flat walls or roof lines. The buildings will have 4-foot off-sets that break up the front of the buildings and the roof lines. Balconies (decks) and dormers are incorporated in the building design to add some visual element to the buildings.

Findings for 2: The main entrance of all buildings are clearly identifiable as shown on the site plans.

Findings for 3: All external stairways are recessed into the building. Therefore, physically and visually incorporating them into the buildings architecture design.

Findings for 4: The buildings will have 4-foot off-sets that break up the front of the buildings and the roof lines. Balconies (decks) and dormers are incorporated in the building design to add some visual element to the buildings.

Therefore, this criterion has been met.

ADC 8.260-Building Orientation and Entries

Findings for (1-4): These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.

The subject property has street frontage on 1st Avenue to the north. The primary entrance for each individual unit is provided through a covered entry way. All building entries are clearly defined and easily accessible. The design of the building with the use of roofline offsets and covered entry ways, promote a positive sense of neighborhood.

The orientation of the buildings also takes parking and vehicle circulation into consideration. The location of the buildings allows the development to provide adequate parking for the residents and efficient circulation throughout the site. Building orientation took into consideration all aspects of the site and surrounding areas.

Pedestrian paths from the entrances and parking areas to 1st Avenue will be provided. Landscaping will also be provided around the buildings to give all sides of the building the same visual appeal.

Therefore, this criterion has been met.

ADC 8.270-Transition to Lower Density Uses

Findings for (1-3): The following design standards shall be incorporated into the design of multiple family housing to create transitions of multiple family developments to nearby, lower density residential development, in order to reduce the impacts of building mass and scale.

There is a vacant existing single-family dwellings located directly to the south of the site. The property to the west of the site are zoned MUR for future development of multi-family dwellings. The property to the south is zoned MUR with existing multi-family dwellings and single family dwellings.

Setbacks: All buildings on the site are 3-stories in height. All setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan. Setbacks are shown on the tentative plan.

North:	20-foot setbacks; adjacent 1st Avenue
East:	15-foot setback and fence; adjacent Thurston Street
South:	10-foot setbacks (building) and fence; MUR zone, existing single-family dwellings
West:	7.68-foot setback (parking); MUR zone, existing multi-family dwellings

Therefore, this criterion has been met.

ADC 8.280-Pedestrian Connections

Findings for (1-3): The design of pedestrian circulation systems shall provide clear and identifiable connections within the multiple family developments and to adjacent uses and public streets/sidewalks.

The internal pedestrian circulation system consists of hard 7.5-foot wide surfaced sidewalks that provide easily identifiable and safe connections between the residential units, parking, trash disposal area, and the sidewalk system along 1st Avenue. The pedestrian system connects the front entrances of the buildings to the public sidewalk system within the development and along 1st Avenue. The sidewalks are raised above the surface of the travel lanes. Pedestrian crossings will make use of drop curbs to facilitate handicap access. This provides a clear separation between vehicles and pedestrians. Any pedestrian pathways that cross the parking area or driveways will be raised and a minimum of five feet wide. The pedestrian pathways (sidewalks) will be lighted.

Therefore, this criterion has been met.

ADC 8.290-Vehicle Circulation System

Findings for (1-4): The design of on-site circulation shall be clearly identifiable, safe, pedestrian friendly and interconnected.

The subject property is located in a developing area where improved streets and sidewalks continue as required by the City. Improved access is required by code. Approval does not adversely affect the safe and healthful development of any adjoining land or access thereto. The City's adopted facility plans and construction requirements are the basis for the provision of facilities and any conditions of approval imposed on the development. Review of required construction plans and construction according to the approval provides compliance with this criterion.

Therefore, this criterion has been met.

ADC 8.300-Parking

Findings for (1-2): The **interpretation** of this code section is that the applicant shall provide parking pods off a street like accessway. This requirement would require all parking areas be located off the accessway in pods, not along the accessway. However, due to this unique site, this requirement cannot be met and is not feasible. The subject property is 0.37 acres in size. The applicant is providing a large buffer and open space area along the south property line. Which then allows a more efficient development within the site. There parking area within the development is off the accessway and provides safe and efficient circulation throughout the site. Therefore, these requirements are not feasible for this development.

The proposed parking lot design and setbacks meet the standards of the code, including **Article 9**.

Fifteen (15) on-site vehicle parking spaces are provided. The site plan indicates the ratios provided for standard, compact, and handicap spaces.

The site has been layout to provide parking within 100 feet of the building entrance for each unit. Therefore, meeting Section 8.300(2), by providing safe and convenient parking for all residents within the proposed development.

Bicycle parking spaces are provided as well. The bike parking spaces are located within stairways and in front of buildings in order to provide convenient access to the residents.

The internal circulation system provides improved connections to 1st Avenue to the north, as shown on the site plan. Landscaping and planting bays that serve to break up the hard-surface

areas and provide for shade tree planting are incorporated into the design of the parking areas. Outdoor lighting enhances the travel lanes and provides for a measure of safety.

All required handicap spaces have been provided in front of the buildings adjacent paved sidewalks. Extra handicap spaces on the site have been provided.

Therefore, this criterion has been met.

FINDINGS FOR ARTICLE 9-ON-SITE DEVELOPMENT

Article 9:

ADC 9.020-9.130

Findings: Parking lots and the entryway will be landscaped in accordance with code. Planter bays will separate parking spaces. Landscaping plans will be submitted to the City for review and approval for issuance of building permits. Landscaping will be irrigated as required. There are no trees proposed for removal.

Fifteen (15) vehicle parking spaces are provided. The site plan indicates the ratios provided for standard, compact, and handicap spaces. Bike spaces are also provided on the site. The bike parking spaces are located in front of the building in order to provide convenient access to residents.

As shown on the site plan, the parking stalls meet the minimum lot depth and width. The aisle between parking areas is 25 feet in width, therefore, providing the needed maneuvering area. All parking areas will have the required lighting for safety.

Therefore, this criterion has been met.

ADC 9.140-9.150-Landscaping

Landscaping plans have been provided and are attached. Landscaping has been provided through-out the site and within the parking areas with planter bays and entryway landscaping, 48% percent of the site is landscaped as shown on the site plan. A total of 7,736 square feet of the site will be landscaped.

PERVIOUS AREA:
 OPEN SPACE
 COMMON OPEN SPACE ————— 7,354 S.F. (45.93%)
 INTERIOR PARKING LOT LANDSCAPING ——— 382 S.F. (2.39%)

Therefore, this criterion has been met.

ADC 9.205-Tree Protection

There is only one tree located on the site, a 16” Apple tree. At this time, there are no trees proposed for removal. Therefore, this criterion has been met.

ADC 9.210-9.270-Buffering and Screening

As shown on the site plans, the applicant is providing adequate landscaped setbacks:

All buildings on the site are 3-stories in height. All setbacks to property lines, between buildings and distances to the entrances are met as shown on the tentative plan. Setbacks are shown on the tentative plan.

North:	20-foot setbacks; adjacent 1st Avenue
East:	15-foot setback and fence; adjacent Thurston Street
South:	10-foot setbacks (building) and fence; MUR zone, existing single-family dwellings
West:	7.68-foot setback (parking); MUR zone, existing multi-family dwellings

All areas between the buildings and property lines will be landscaped with shrubs and trees. The landscaping and more than adequate setbacks will help provide a buffer and screen for the residents and adjacent properties. Therefore, this criterion has been met.

ADC 9.400-Environmental

The proposed apartment development will not create any environmental hazards. Development is required to meet applicable State and Federal requirements for air and water quality. The proposal to develop is reviewed by the City and any applicable outside agencies for impacts on environment and compliance to applicable standards and regulations. Development is required to meet applicable water, sewer, and storm drainage system master plan requirements. Upon development, the City is responsible for assuring that wastewater discharges are treated to meet the applicable standards for environmental quality.

The City has identified the process through which water; sewer and storm drainage will be supplied to the site via their June 1, 2022 (PR-37-22), pre-application conference letter to the applicant. The City is responsible for assuring that wastewater discharges are treated to meet the applicable standards for environmental quality prior to release. Storm water runoff will be collected and removed by the City storm drainage system, in a manner determined by the City to be appropriate.

The proposed site is outside the noise contours of the air traffic, and that the developer will nevertheless utilize building materials that mitigate such noise, if any.

The site is vacant. The proposed change will have no significant impact on the quality of the land. Considering the location of the site within the city, the availability of public facilities to provide water, sewage disposal and storm drainage services, and the surrounding transportation system, the proposal will have no significant impacts to the quality of the air, water or land.

Therefore, this criterion has been met.

FINDINGS FOR ARTICLE 12-PUBLIC IMPROVEMENTS

Article 12:

All improvements required are identified on the public improvement plans provided.

Sanitary Sewer/Water- The City requires that all new development extend and connect to the public sewer and water when service is available within 300 feet of the site. The applicant's improvement plans identify the required and needed connections.

Storm Drainage-The applicant has provided a detailed drainage plan as shown on the plans provided. The subject property is 0.37 (16,010 square feet) in size. However, the development is only creating 8,274 square feet of impervious area, therefore, Stormwater Infrastructure is not required.

The City of Albany has adopted codes regulating installation, extension and development of public facilities for streets, water, sewer and storm drainage facilities, and public utility easements. The developer is responsible for the cost of extension of improved facilities necessary to serve the site. Internal development of public or private facilities necessary to serve individual units will occur at the building permit stage. Compliance with building code requirements satisfies this criterion. See submitted plans for compliance. Therefore, this criterion has been met.

RESIDENTIAL DESIGN STANDARDS IN VILLAGE CENTERS

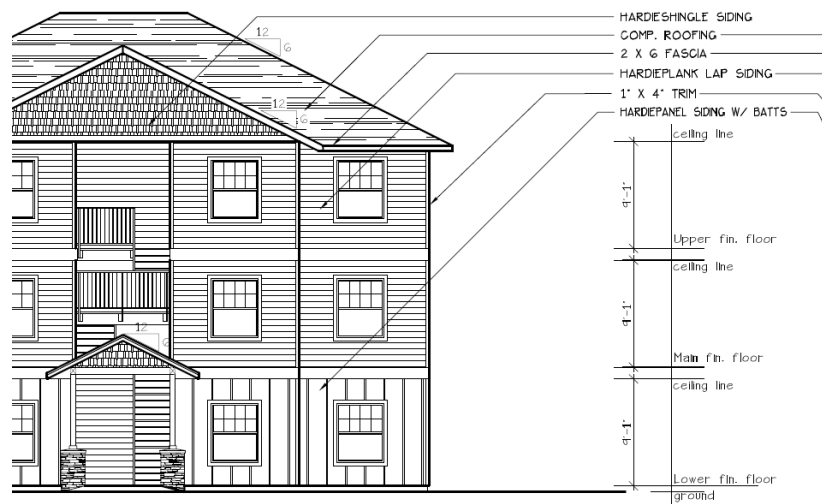
The subject property is located on the southeast corner of 1st Avenue and Thurston Street, is about 0.37 acres in size and is zoned MUR (Mixed Use Residential). The subject property has a comprehensive plan designation of Village Center; therefore, the following criteria are applicable.

These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and materials.

Section 8.485:

- 1) ***Building exteriors shall be surfaced with wood, brick, stucco, stone, masonry, or lap siding on all sides.***

Findings: As shown on the building elevations, all buildings exteriors (front, back and side) will have hardy-panel and hardy-plank lap siding, composition roofing, and pillars. Therefore, this criterion has been met.



- 2) ***Rooflines should be designed to reduce exterior mass of multiple attached units and shall incorporate elements such as parapets, gables, dormers, etc.***

Findings: The building design does not have long flat walls or roof lines. The buildings will have 4-foot off-sets that break up the front of the buildings and the roof lines. Balconies (decks) and dormers are incorporated in the building design to add some visual element to the buildings.

All external stairways are recessed into the building. Therefore, physically and visually incorporating them into the buildings architecture design. Therefore, this criterion has been met.

- 3) *All exterior HVAC equipment shall be screened from the street-level view.*

Findings: All HVAC and other equipment will be located on the ground adjacent the side of the building. This type of equipment will be screened from the street level view by the buildings or landscaped areas. Therefore, this criterion has been met.

- 4) *Alleys are encouraged to provide a friendly street frontage and to set driveways and garages in the rear.*

Findings: There are no alleys adjacent to this site. No alley access is provided. Therefore, this criteria is not applicable.

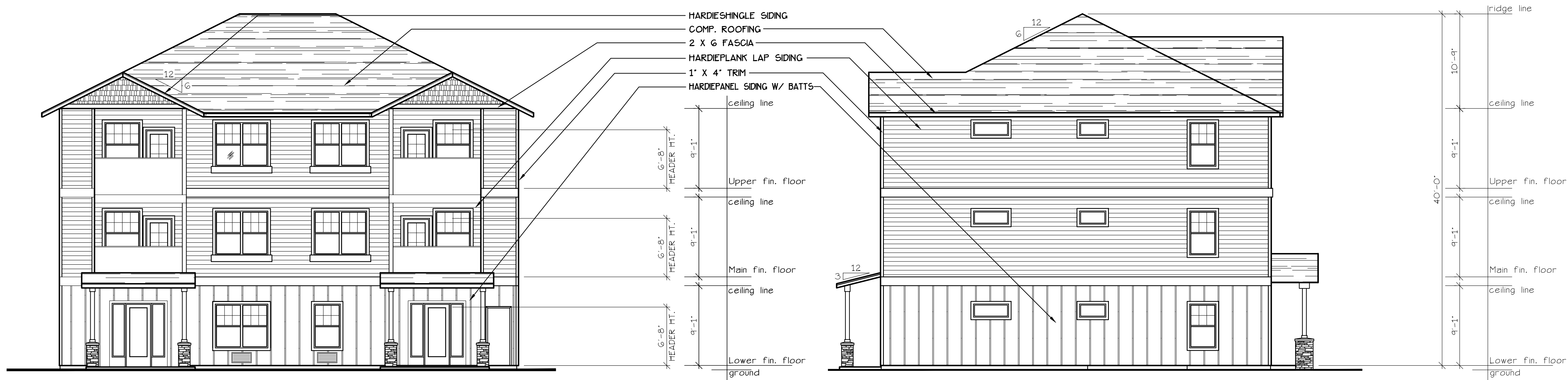
CONCLUSION

The requested 1st Avenue Apartment development is appropriate for the subject property and has met all the required **clear and objective standards** as described above. The proposal is consistent and in compliance with the current MUR zoning designation and Village Center Comprehensive Plan designation.

The materials submitted address all the relevant City criteria for this development. For these reasons, we believe that the proposal is warranted and that the Planning Administrator has sufficient findings to grant the proposal as requested.

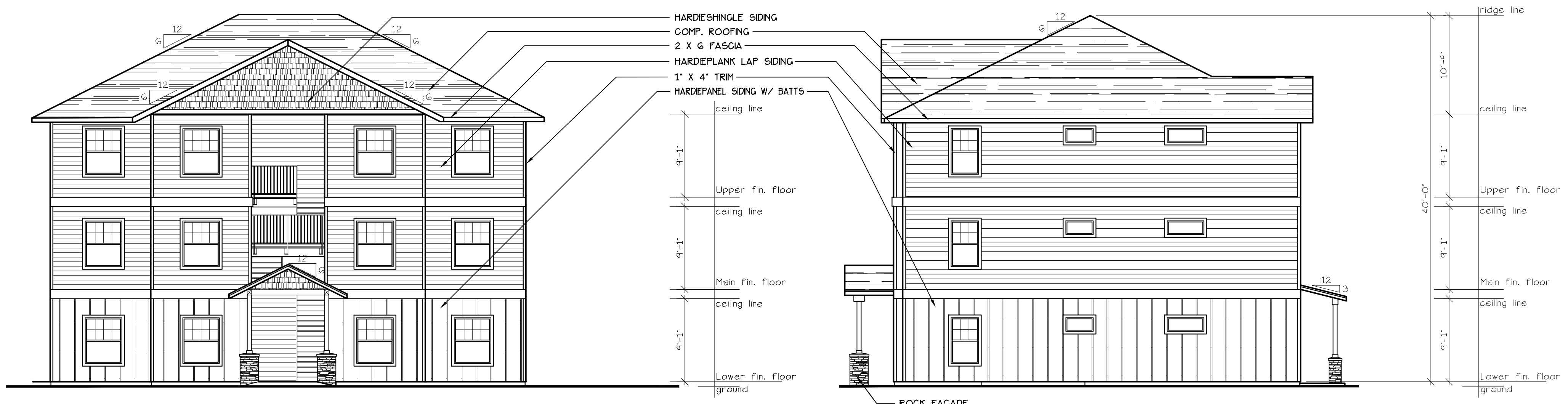
BUILDING ELEVATIONS

1ST AVENUE APARTMENTS



WEST ELEVATION (BLD. 2) (TYPE A UNITS)
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION (BLD. 2) (TYPE A UNITS)
SCALE: 1/8" = 1'-0"



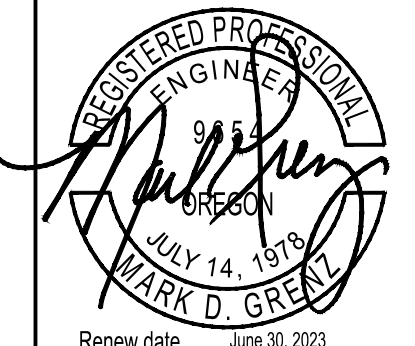
EAST ELEVATION (BLD. 2) (TYPE A UNITS)
SCALE: 1/8" = 1'-0"

NORTH ELEVATION (BLD. 2) (TYPE A UNITS)
SCALE: 1/8" = 1'-0"

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGNED BY: P.L.M.
 DRAWN BY: A.R.B.
 CHECKED BY: M.D.G.
 DATE: Feb-23
 SCALE: AS SHOWN

JOB # 7443

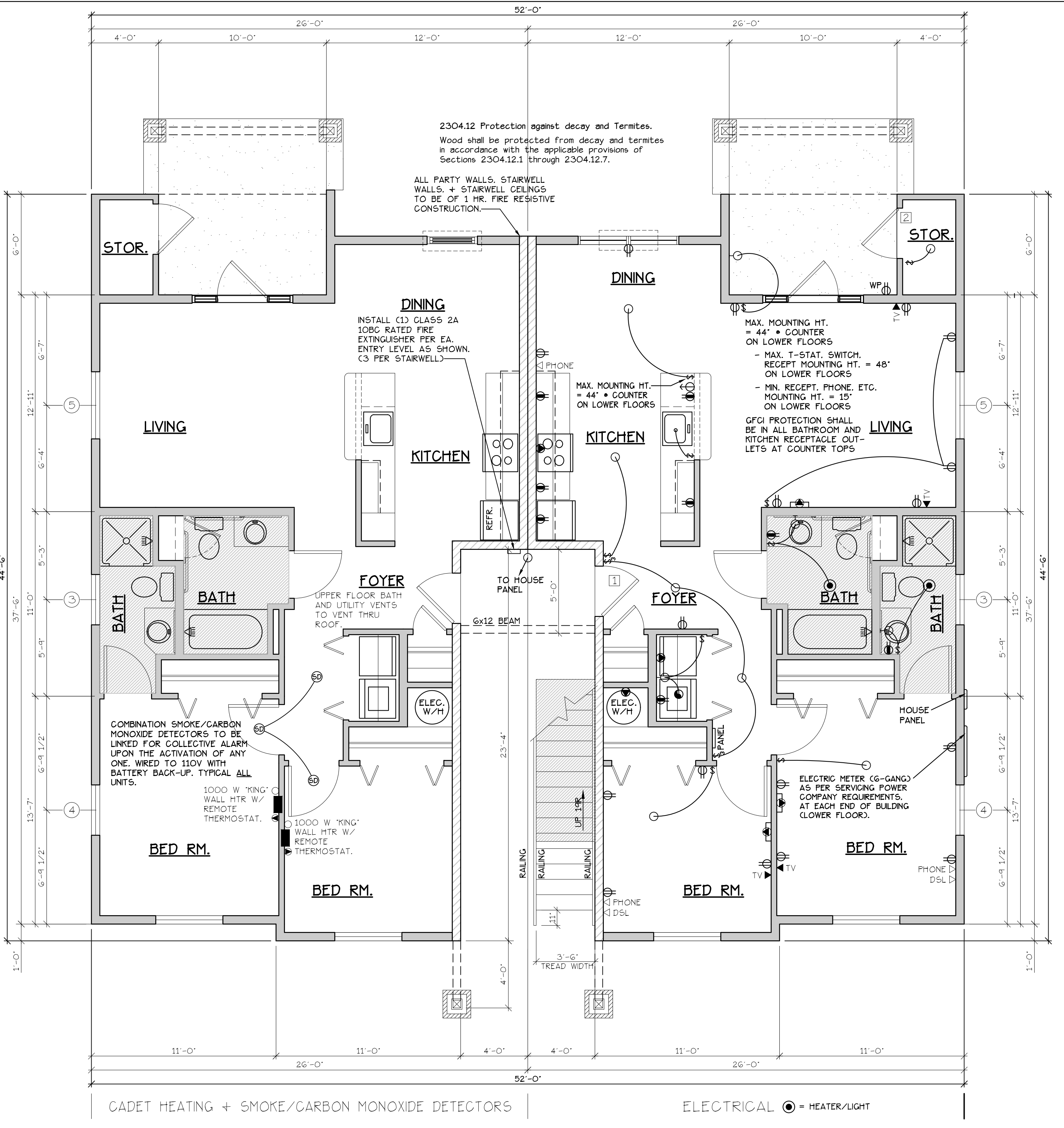
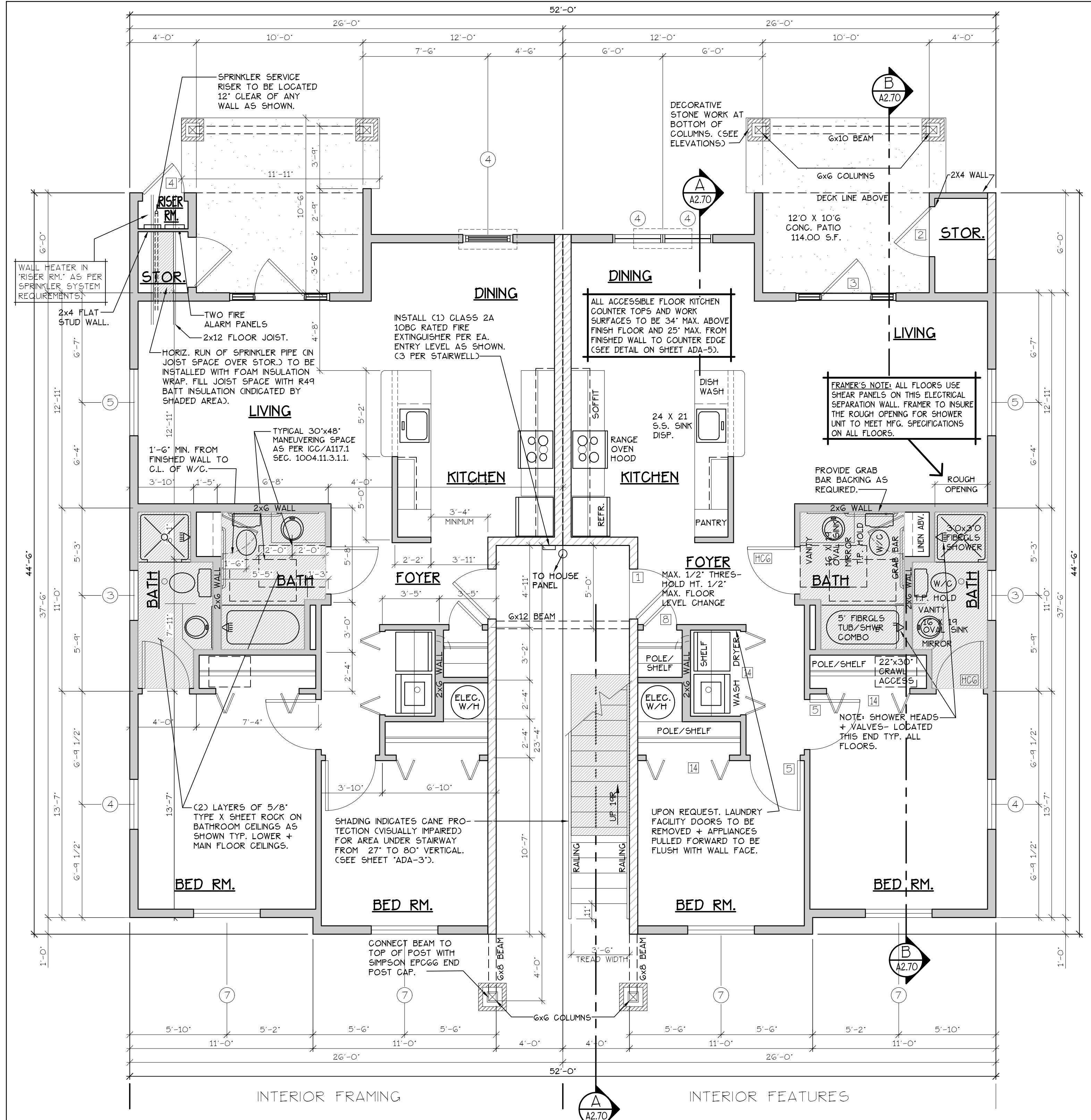


Renew date: June 30, 2023

A2.80

LOWER FLOOR PLAN

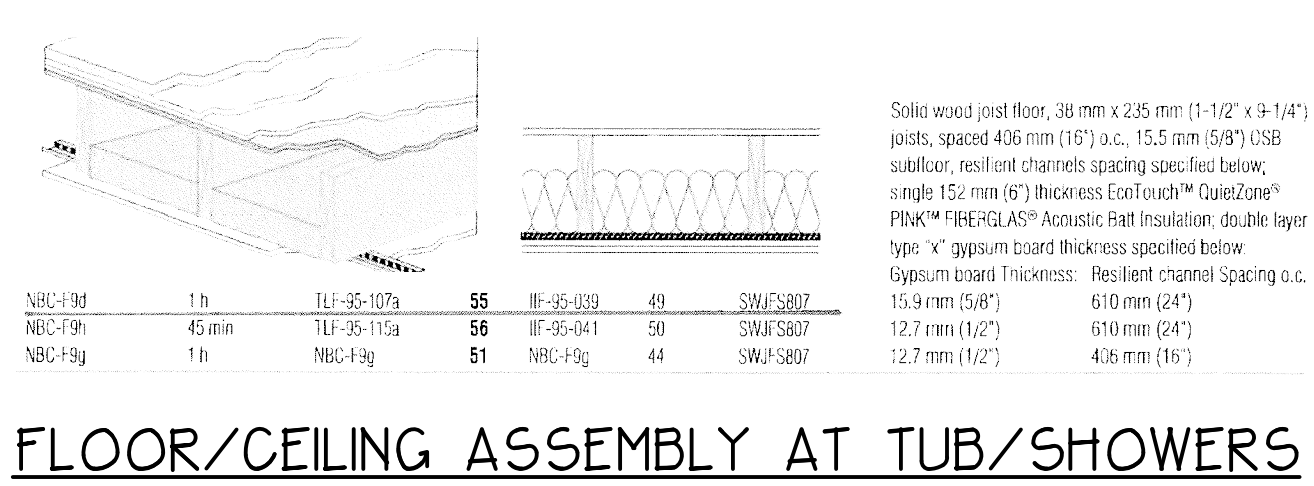
1ST AVENUE APARTMENTS



LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 (HANDICAP ADAPTABLE/ACCESSIBLE)
 'A' UNIT = 963 S.F.
BLD. 2
TYPE A UNITS

CONSTRUCTION TYPE V B SPRINKLED
 SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

NOTES:
 1. ALL DOOR AND WINDOW HEADERS TO BE #2 4X12 UNLESS NOTED OTHERWISE ON PLANS.
 2. ALL 6X12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
 3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).



DOOR SCHEDULE									
#	DOORS			FRAMES			REMARKS		
	WIDTH	HEIGHT	THICK	TYP.	CLAD.	FIN.	FIN.	MATL.	FIN.
111	3'-0"	6'-8"	1 3/4"	MTL.	CLAD.	PAINT	A	METAL	PAINT
112	3'-0"	6'-8"	1 3/4"	MTL.	CLAD.	PAINT	B	METAL	PAINT
113	3'-0"	6'-8"	1 3/4"	MTL.	CLAD.	PAINT	C	METAL	PAINT
114	2'-6"	6'-8"	1 3/4"	MTL.	CLAD.	PAINT	D	METAL	PAINT
115	3'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	F	HEMLOCK	STAIN
116	2'-10"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	F	HEMLOCK	STAIN
117	2'-6"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	F	HEMLOCK	STAIN
118	2'-6"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	F	HEMLOCK	STAIN
119	2'-6"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	F	HEMLOCK	STAIN
120	4'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	G	HEMLOCK	STAIN
121	5'-6"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	G	HEMLOCK	STAIN
122	6'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	G	HEMLOCK	STAIN
123	4'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	H	HEMLOCK	STAIN
124	5'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	H	HEMLOCK	STAIN
125	6'-0"	6'-8"	1 3/8"	H.C.	BRCH.	STAIN	H	HEMLOCK	STAIN

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
							DF#1	DF#2	DF#3
1	2 0 X 1 6	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1	4x12	
2	3 0 X 1 0	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1	4x12	
3	3 0 X 1 6	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1	4x12	
4	3 0 X 5 0	VINYL SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1	6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)	
5	4 0 X 1 6	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1	4x12	
6	4 0 X 3 6	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1	4x12	
7	4 0 X 5 0	VINYL SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1	6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)	
8	5 0 X 1 6	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1	4x12	
9	5 0 X 2 6	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1	4x12	
10	5 0 X 5 0	VINYL SGL.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1	6X8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)	
11	3 0 X 4 6	CASEMENT	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1	4x12	

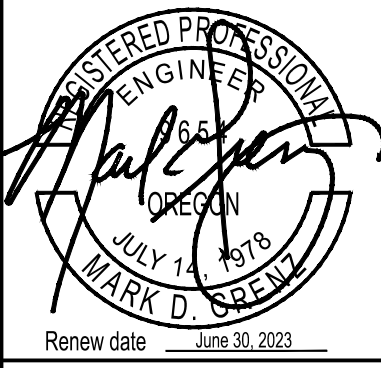
NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. AND 404.2.G.
NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OEE5C U-0.35.
NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 O55C SECTIONS 1015.8.

GENERAL NOTES:
 1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER O55C 718.2.2 AND O55C 718.2.3.
 3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 4. ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 6. ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'G.
 7. AS PER O55C HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLOURESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INCH WATT.
 8. ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

HANDICAP UNIT NOTES:
 THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH O55C 2019 REVISED TO BE EFFECTIVE JANUARY 1, 2020, CHAPTER 11 OF THE O55C 2019 AS REVISED INCORPORATES AS PART OF IT, AMERICAN NATIONAL STANDARD ICC/ANSI A117.1-1003, WITHIN ICC/ANSI A117.1, CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS, CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.
 THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.
 WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10, SECTION 1003.
 WITHIN THE PROJECT THERE ARE ALSO TYPE 'A' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10, SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM (OR ONLY BATHROOM) SHALL BE DESIGNATED AS AN OPTION 'B' ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.
 ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM O55C 2019, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

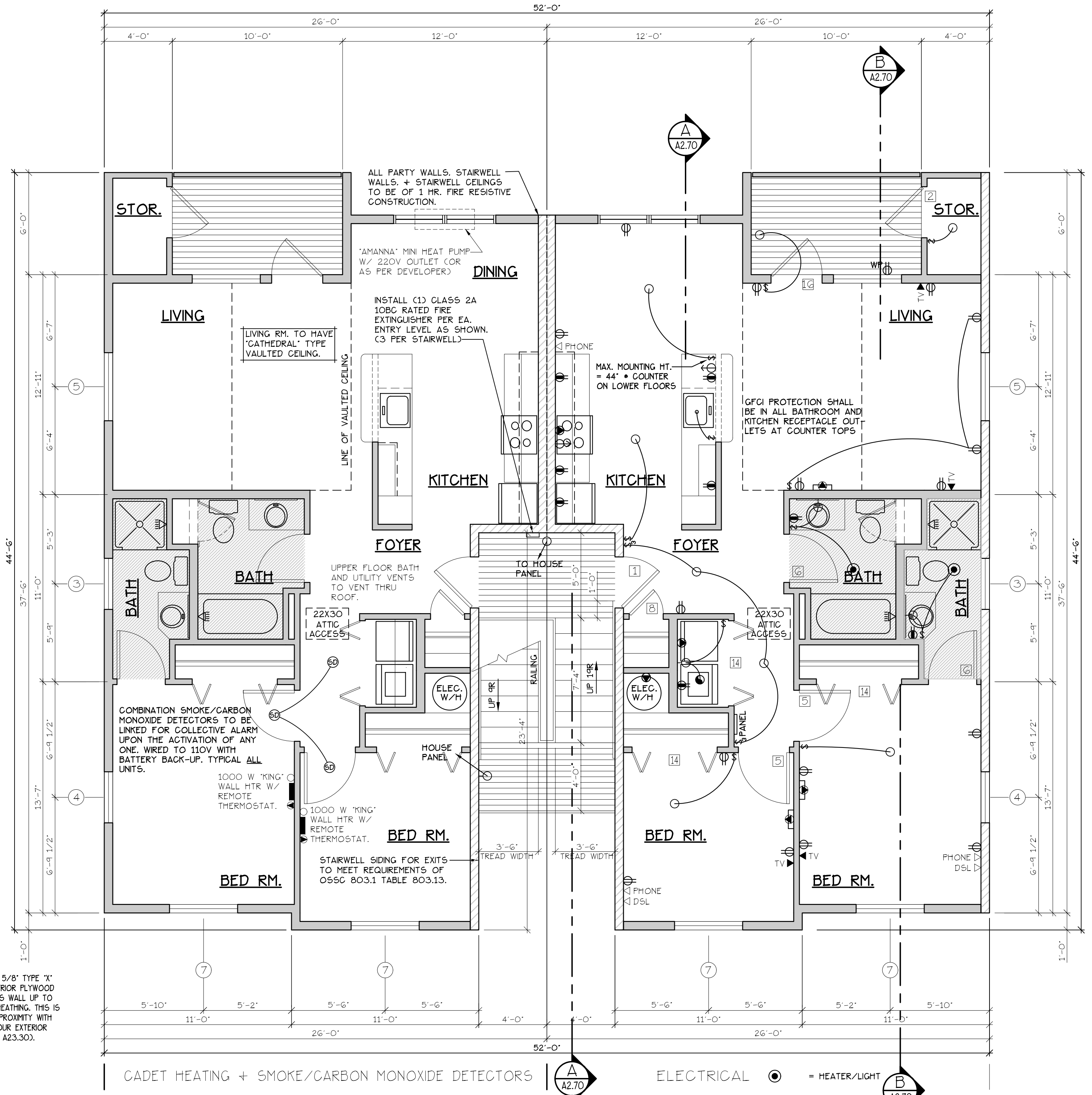
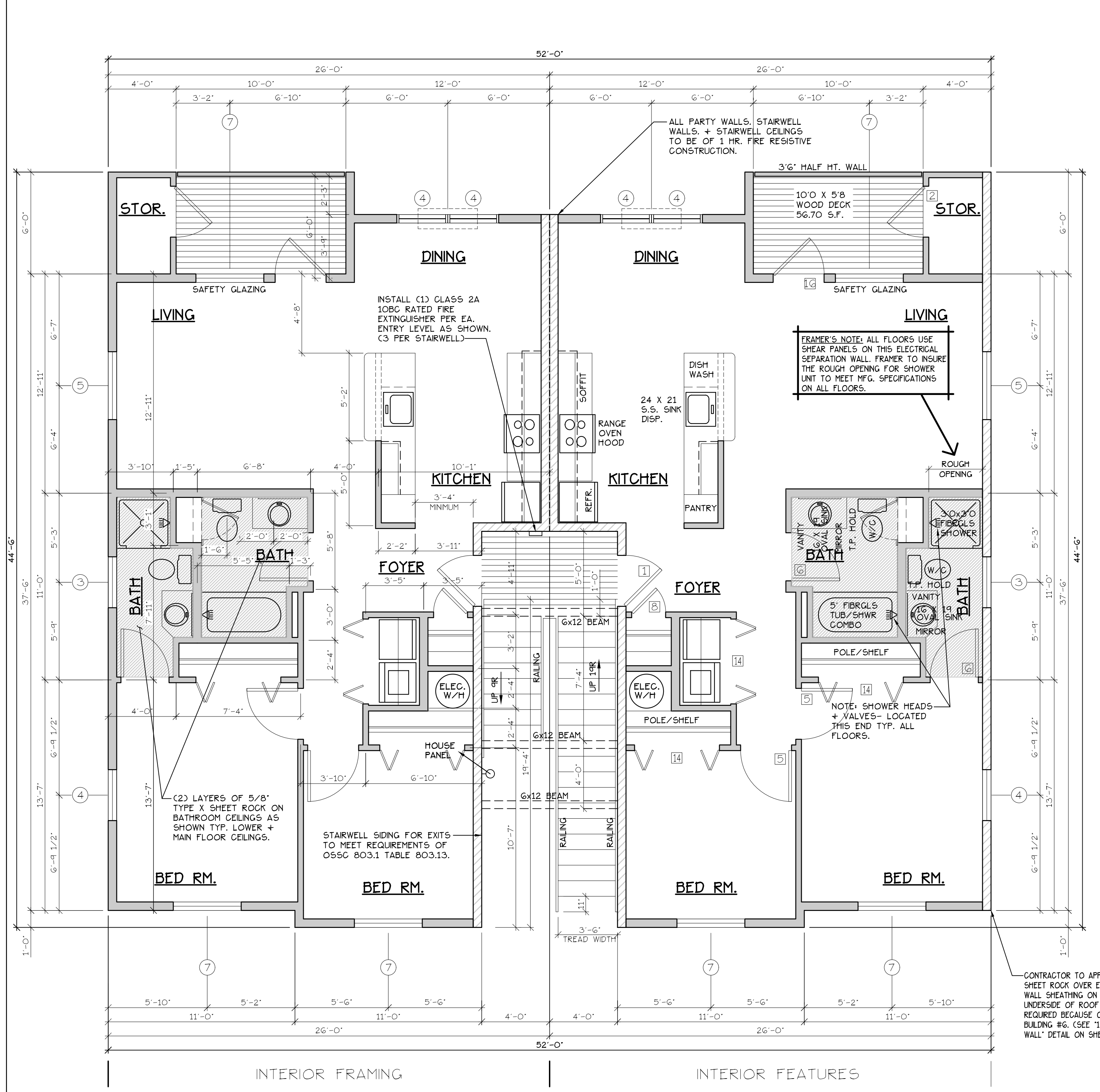
NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
 Drawn: A.R.B.
 Checked: M.D.G.
 Date: Feb-23
 Scale: AS SHOWN
 JOB # 7443



MAIN & UPPER FLOOR PLAN

1ST AVENUE APARTMENTS



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
"A" UNIT = 963 S.F.

BLD. 2
CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

TYPE A UNITS

- NOTES:**
1. ALL DOOR AND WINDOW HEADERS TO BE #2 4x12 UNLESS NOTED OTHERWISE ON PLANS.
 2. ALL 6x12 BEAMS SPECIFIED ON PLANS TO BE #1 D.F.
 3. ALL DOOR HEADERS (INCLUDING PATIO DOORS) TO BE FRAMED AT 6'-0" A.F.F. OR AS PER MFG. SPECIFICATIONS (SEE ELEVATIONS FOR ANY EXCEPTIONS).

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

IF1 907.2.10.3 SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
IF1 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS, LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

DOOR SCHEDULE										
DOORS					FRAMES					REMARKS
#	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	TP.	MATL.	FIN.	
111	3'-0"	6'-8"	1-3/4"	MTL.	CLAD	PAINT	F	METAL	PAINT	G PANEL, 60 MIN RATED ASSY. W/ THRESHOLD, WEATHERSTRIP, CLOSURES.
112	3'-0"	6'-8"	1-3/4"	MTL.	CLAD	PAINT	F	METAL	PAINT	G PANEL W/ THRESHOLD, WEATHERSTRIP AND KEYS LOCK.
113	3'-0"	6'-8"	1-3/4"	MTL.	CLAD	PAINT	F	METAL	PAINT	FULL LITE, TEMP. GLASS, LOCK, THREE SHOLE, WEATHERSTRIP AND INTERIOR BLINDS.
114	2'-6"	6'-8"	1-3/4"	MTL.	CLAD	PAINT	F	METAL	PAINT	W/ THRESHOLD, WEATHERSTRIP AND KEYS LOCK
115	3'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	
116	2'-10"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	
117	2'-6"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	
118	2'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	
119	2'-10"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	POCKET DOOR
120	2'-10"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	F	HEMLOCK	STAIN	POCKET DOOR*
121	4'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN	BI-PASS DOOR
122	5'-8"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN	BI-PASS DOOR
123	6'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	G	HEMLOCK	STAIN	BI-PASS DOOR
124	4'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR
125	5'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR
126	6'-0"	6'-8"	1-3/8"	H.C.	BIRCH	STAIN	H	HEMLOCK	STAIN	BI-FOLD DOOR

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.

WINDOW SCHEDULE									
#	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	2'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
2	3'0" X 1'0"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
3	3'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY - FROSTED	DF#1 4x12		
4	3'0" X 5'0"	VINYL SGH.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)		
5	4'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1 4x12		
6	4'0" X 3'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
7	4'0" X 5'0"	VINYL SGH.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)		
8	5'0" X 1'6"	VINYL STAT.	MILGARD	WHITE	YES	STATIONARY	DF#1 4x12		
9	5'0" X 2'6"	VINYL SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF#1 4x12		
10	5'0" X 5'0"	VINYL SGH.	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF#1 6x8 (SEE 5'-0" TALL WINDOW FRAMING DETAIL A19.40)		
11	3'0" X 4'6"	CASEMENT	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DF#1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2019 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.13. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. U.N.O.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS + FALL PROTECTION' DETAIL ON SHEET A19.40.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 AND 404.2.G.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OEESS U-0.35.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2019 OESS SECTIONS 1015.8.

CONSTRUCTION TYPE V B SPRINKLED.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A2.20 BEFORE BEGINNING ANY CONSTRUCTION.

- GENERAL NOTES:**
1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OESS 718.2.2 AND OESS 718.2.3.
 3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 4. ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 6. ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
 7. AS PER OESS HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
 8. ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: P.L.M.
DRAWN: A.R.B.
CHECKED: M.D.G.
DATE: Feb-23
SCALE: AS SHOWN
JOB # 7443



A2.41

Laurus Designs, LLC



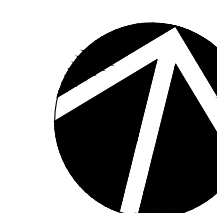
1012 Pine Street
Silverton, Oregon
503.784.6494

1st Avenue Apartments

1st Avenue
Albany, Oregon



PRELIMINARY PLANTING PLAN



SCALE: 1"=10'-0"



March 16th, 2023

REVISIONS

#	DATE	NOTES	INITIALS

L1.1

SHEET 1 OF 1

PROJECT #: 1518R

Landscape Information:

TOTAL SITE SF: 16,010 SF
PROPOSED LANDSCAPE SF: 7,744 SF

FRONT SETBACKS:
(1) TREE PER 50 LINEAL FEET (L.F.)
(4) SHRUBS
GROUND COVER REMAINING AREA

1ST AVENUE FRONT SETBACKS:
87 LF = 2 TREES AND 7 SHRUBS

THURSTON ST. FRONT SETBACKS:
111 LF = 2 TREES AND 9 SHRUBS

PARKING
PARKING PLANTERS: (1) TREE PER PLANTER
(2) SHRUBS PER 100 SF
GROUND COVER

General Notes:

- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
- SEE CIVIL DRAWINGS FOR GRADING PLAN AND UTILITIES.
- STREET TREES SELECTED FROM ALBANY APPROVED STREET TREE LIST FOR TREES IN PLANTERS 6' OR SMALLER.
- PRELIMINARY PLANT SCHEDULE SEE THIS SHEET.
- LANDSCAPE REQUIREMENTS SEE THIS SHEET.
- LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

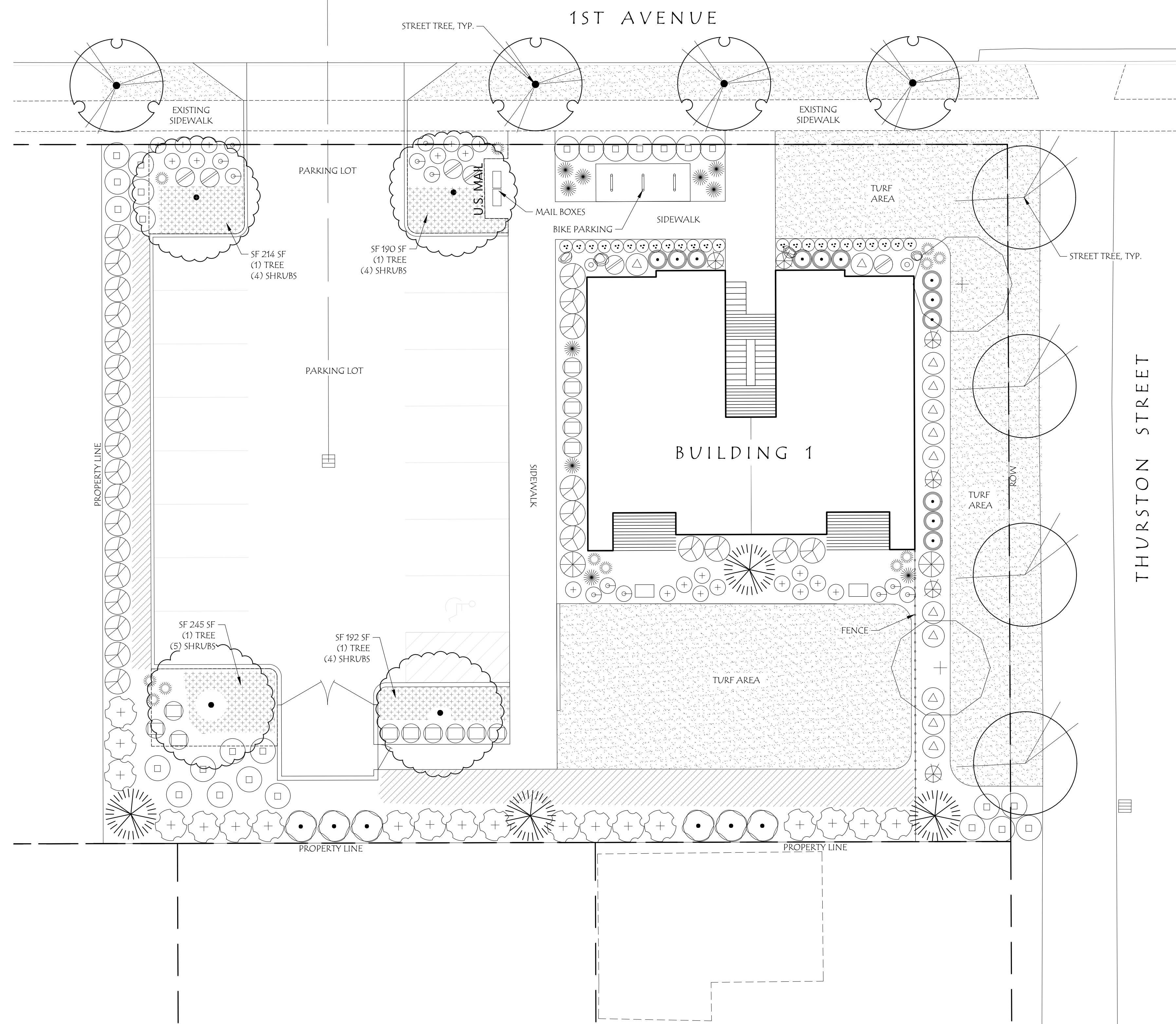
Preliminary Plant Schedule

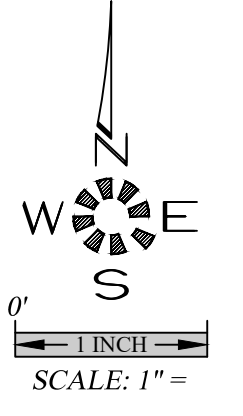
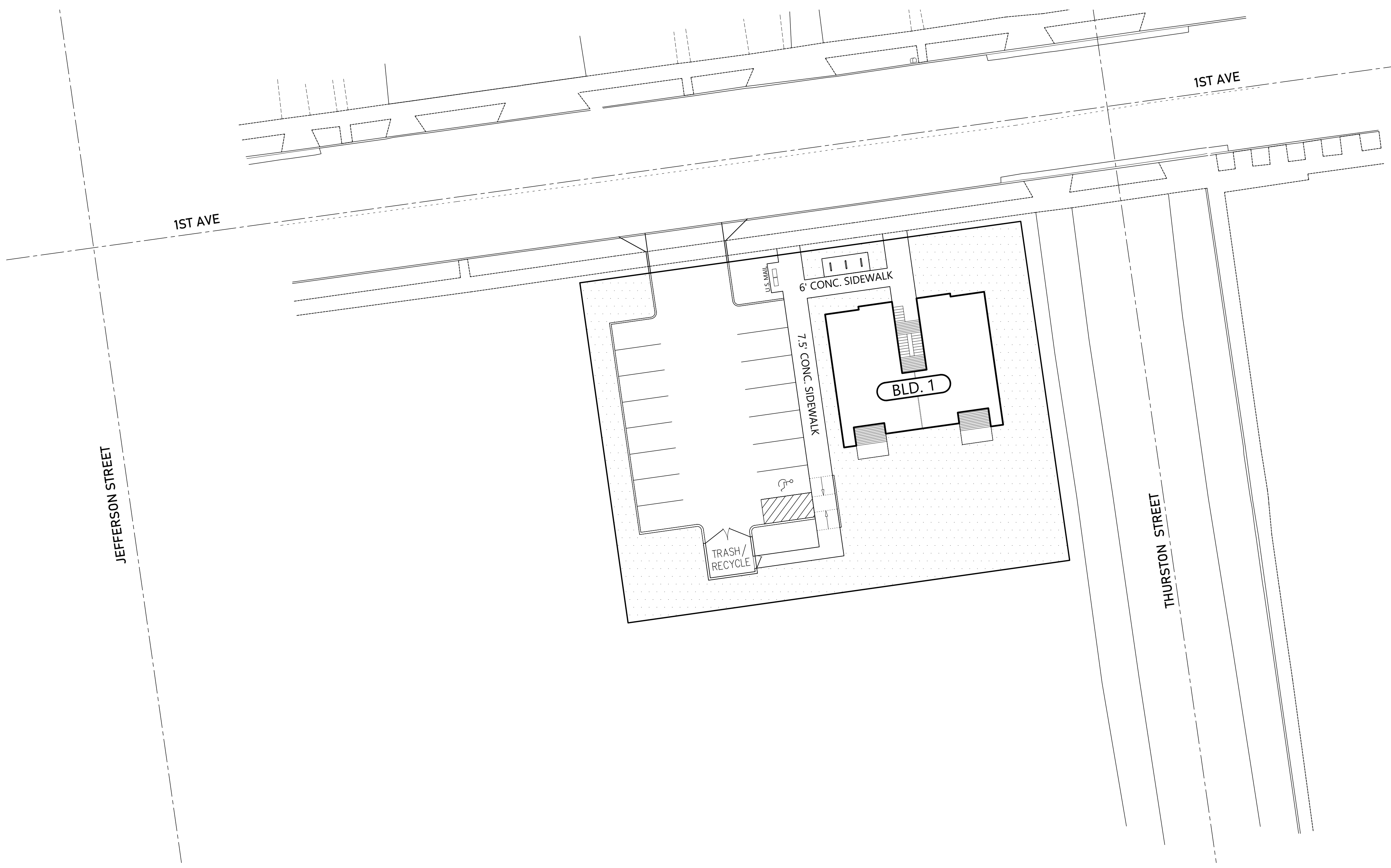
TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	4	Chamaecyparis nootkatensis 'Glauca Pendula' / Weeping Nootka False Cypress	6'-8' HT., B&B
	2	Cornus florida / Flowering Dogwood	1 1/2" Cal., B&B, 10' HT. Min.
	4	Nyssa sylvatica 'Wildfire' / Black Gum	1 1/2" Cal., B&B, 10' HT. Min.
	4	Parrotia persica / Persian Parrotia	1 1/2" Cal., B&B, 10' HT. Min.
	4	Styrax japonicus 'Pink Chimes' / Japanese Pink Snowbell Dwarf	1 1/2" Cal., B&B, 10' HT. Min.

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	20	Abelia x grandiflora 'Kaleidoscope' / Kaleidoscope Glossy Abelia	2 Gal.
	6	Choisya ternata 'Sundance' / Sundance Mexican Mock Orange	5 Gal.
	2	Euonymus japonicus 'Green Spire' / Green Spire Japanese Euonymus	3 Gal.
	14	Ilex crenata 'Soft Touch' / Soft Touch Japanese Holly	2 Gal.
	12	Lonicera nitida 'Lemon Beauty' / Boxleaf Honeysuckle	2 Gal.
	12	Nandina domestica 'Atropurpurea Nana' / Dwarf Nandina	1 Gal.
	16	Osmanthus heterophyllus 'Goshiki' / Goshiki Holly Olive	5 Gal.
	26	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel	1 Gal.
	30	Rhapiolepis umbellata 'Snow White' / Yedda Hawthorn	2 Gal.
	12	Sarcococca confusa / Fragrant Sarcococca	2 Gal.
	6	Spiraea x bumalda 'Magic Carpet' / Magic Carpet Spiraea	2 Gal.
	2	Weigela florida 'Alexandra' TM / Wine and Rose Weigela	3 Gal.

GRASSES/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	12	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 Gal.
	6	Hakonechloa macra 'Aureola' / Golden Variegated Forest Grass	1 Gal.
	24	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 Gal.
	10	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	1 Gal.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	102	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Manzanita	1 Gal.	30" o.c.
	29	Rubus calycinoides 'Emerald Carpet' / Emerald Carpet Creeping Raspberry	1 Gal.	48" o.c.
	4,086 sf	ProTime 301 Water Smarter Fescue	Seed	





MULTI/TECH
 ENGINEERING SERVICES, INC.
 1155 13th St., S.E. Salem, OR, 97302
 PH: (503) 363-9227 FAX (503) 364-1260
 www.mtengineering.net office@mtengineering.net

OPEN SPACE PLAN

1st AVENUE APARTMENTS

SITE AREAS		
BOUNDARY	_____	16,010 S.F.
PERVIOUS AREA:		
OPEN SPACE		
COMMON OPEN SPACE	_____	7,354 S.F. (45.93%)
INTERIOR PARKING LOT LANDSCAPING	_____	382 S.F. (2.39%)
IMPERVIOUS AREA:		
PARKING AREA	_____	4,732 S.F. (29.56%)
SIDEWALK	_____	1,406 S.F. (8.78%)
BUILDINGS	_____	2,136 S.F. (13.34%)

= COMMON OPEN SPACE

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
 DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

7443p SDR4-05
 Design: M.D.G.
 Drawn: A.R.B.
 Checked: B.M.G.
 Date: JAN. 2023
 Scale: AS SHOWN



JOB # 7443

SDR4



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Decision

Tentative Replat

RL-02-23

March 15, 2023

Application Information

Proposal:	To replat 11S03W06DC05600 and 5700 into 2 parcels by adjusting the common property line.
Review Body:	Planning Staff (Type I-L Review)
Property Owner/Applicant:	Sly Toran; 12309 Miller Rd., Gervais, OR 97026
Address/Location:	East of 604 1st Avenue SE
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-06DC Tax Lots 5600 and 5700
Zoning:	Mixed Use Residential (MUR)

On March 15, 2023, the City of Albany Community Development Director granted **APPROVAL** of the application described above.

The City based its decision upon consideration of applicable standards and review criteria listed in the Albany Development Code (ADC). The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW, Albany, OR 97321. For more information, please contact Vitsi Orman, project planner, at 541-791-0073 or Current Planning Manager David Martineau at 541-917-7555.

The City's decision may be appealed to the Albany Planning Commission if a person with standing files a completed Notice of Intent to appeal and the associated filing fee no later than 10 days from the date the City mails the Notice of Decision [ADC 1.220(7)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City. This approval expires in three years unless the final plat has been submitted to the City's Planning Division for review and approval.

Signature on file

Community Development Director

Appeal Deadline: March 27, 2023

Approval Expiration Date (if not appealed): March 24, 2026

Attachments: Information for the Applicant, Location Map, Tentative Replat

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Information for the Applicant

Please read through the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations, or administrative policies of the Planning, Public Works, Fire, or Building Departments that you must meet as part of the development process. You must also comply with state, federal, and local law.

PLANNING

1. Land use approval does not constitute Building or Public Works permit approvals.
2. **To complete the replat process:**
 - a. **Satisfy the conditions of approval and submit a final partition plat to the City Planning Division for review and approval.** A paper draft copy of the plat may be submitted with the application. The final plat application is available on the City's website.

Note: The Linn County Surveyor also needs to review the final plat. These reviews should be done concurrently. Contact the County Surveyor's Office to learn about their current processes, fees, and possible other expenses (property taxes must be current, for example).
 - b. The survey and final plat must be prepared by a registered professional land surveyor (Oregon Revised Statutes).
 - c. If applicable, pay or segregate any existing City liens on the property, and pay or finance any other fees due as a result of the land division. Contact the Finance Department at 541-917-7533 to make these arrangements.
 - d. After the City signs the final plats, they will be returned to the applicant for recording.
 - e. **After recording, and before the City will accept a permit application** to develop either parcel, the property owner must return one copy of the recorded final plat to the Albany Planning Division.

Expiration of Land Use Approvals (ADC 1.310)

3. All land use approvals, except Type IV approvals, shall expire three years from the date of approval, unless:
 - a. The applicant has installed all of the required public infrastructure related to the development, and the infrastructure has been accepted by the City, or the applicant has provided financial assurance for all required public infrastructure per Section 12.600, or the first phase, if the development was approved for phased construction; or
 - b. If the development did not require public infrastructure, a valid approved building permit exists for new construction or improvements, and work has commenced; or
 - c. Phased Subdivisions or Planned Developments. When an applicant desires to develop and record final subdivision plats covering portions of an approved tentative plat in phases, the City may authorize a time schedule for platting and otherwise developing the various phases not to exceed five years for all phases. Each phase that is platted and developed shall conform to the applicable requirements of this title; or
 - d. An extension has been filed before the expiration date and subsequently granted approval pursuant to Section 1.320.

BUILDING

4. The proposed project will require permits that will need to be applied for at www.cityofalbany.net/permits. The proposed design has not been reviewed for code compliance and the design will need to meet the applicable Building Code requirements in effect at the time of application.

PUBLIC WORKS – ENGINEERING

5. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

From: [Jim Baerg](#)
To: [Cepello, Jennifer](#)
Subject: Comment 1st Ave Apartments
Date: Wednesday, May 17, 2023 12:52:06 PM

[**WARNING!** This email came from outside our organization. Do **NOT** click unknown attachments or links in email.]

Hi Jennifer,

I would like to make some comments on the proposed 6plex proposed for an empty lot east of 604 1st Ave. SE in Albany. I own a house at 536 1st Ave SE and have spent sufficient time there doing upgrades on the house so I know the neighborhood fairly well.

I am a builder/Architect with 40 years of experience and have spent almost 10 years as Chair of the Livingston Zoning Commission. Although I am not very familiar with the particulars of your Development Code, I am sure that our issues and planning tools are similar. Please disregard any comments that are not compatible with your ordinances.

The following are my comments based on the information from your letter.

1. MUR requires site plan approval so I think you are in a good position to require improvements to the proposed site plan.
2. The layout of the lot should be changed so that the apartment building fronts on 1st Ave and the access to the parking lot is onto Thurston Street. 1st Ave SE is much too busy for the proposed traffic pattern. An additional, high traffic driveway will impede traffic.
3. Does your parking code require 2 spaces per living unit? We previously lived in a large, newish apartment complex (largely 2 bedroom units) on the South side of Albany which only provided 1 space per apartment with a few additional guest spaces. I would recommend reducing the number of spaces.
4. The parking lot should be placed at the rear of the lot so that the building becomes a visual shield to the street. The parking lot plan should maximize landscaping buffers.
5. There are a lot of very attractive, new apartment buildings in the neighborhood that front the street, and this pattern should be continued.
6. If allowed in your ordinances, please specify boulevard tree planting and landscaping of side yards.

Thanks very much for your work making Albany a great place to live. The neighborhood is starting to become a community.

best wishes, Jim

--

Jim Baerg

Montana Energy+Design
223 S. 5th St.
Livingston, MT 59047
406-220-1498
jlbaerg@gmail.com

www.mte-d.com

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