



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Staff Report

Site Plan Review

SP-12-23

May 26, 2023

Application Information

Proposal:	To construct a new 1,050-square-foot residential accessory building.
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Andrew Fehr, 922 1599 Lehigh Way SE, Albany, OR 97322
Address/Location:	1599 Lehigh Way SE
Map/Tax Lot:	Linn County Assessor's Map: 11S-03W-09CB; Tax Lot 602
Zoning:	Residential Single-Dwelling Unit District (RS-6.5)
Overlay Districts:	Airport Approach Overlay
Total Land Area:	13,608 square feet
Existing Land Use:	Residential
Neighborhood:	Santiam
Surrounding Zoning:	North: RS-6.5 East: LI (Light Industrial) across Interstate 5 South: RS-6.5 West: RS-6.5
Surrounding Uses:	North: Single-dwelling unit residential East: Interstate 5 South: Single-dwelling unit residential West: Single-dwelling unit residential

Summary

On April 18, 2023, the applicant submitted a Site Plan Review application to construct a residential accessory structure on the improved residential property identified as 1599 Lehigh Way SE, Albany, OR, 97321 / Linn County Tax Assessor's Map No. 11S-03W-09CB; Tax Lot 602. The proposed accessory structure is a 1,050-square-foot, one-story structure with a wall height of 12 feet and an overall height of 13 feet. The proposed structure will be a prefabricated metal building with a metal roof.

The property is zoned RS-6.5 (Residential Single-Dwelling Unit District). Accessory buildings in residential districts that are 750 square feet or larger, or have walls taller than 11 feet, are allowed outright in the RS-6.5 zone if they meet compatibility standards in Section 3.080(9) of the Albany Development Code (ADC). If the compatibility standards are not met, approval of a Site Plan permit is required.

The subject parcel is residential improved; however, because the size and height of the proposed structure exceeds the maximum wall height and square footage allowed outright, the proposed accessory structure is required to be evaluated for conformance with the applicable Site Plan Review criteria in Section 2.450 of the ADC.

The analysis in this report finds that all applicable standards and criteria for a Site Plan Review permit are satisfied as conditioned.

Notice Information

A notice of filing was mailed to property owners located within 100 feet of the subject property on May 5, 2023. No comments were received.

Analysis of Development Code Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion 1

The application is complete in accordance with the applicable requirements.

Findings of Fact

1.1 In accordance with the applicable requirements, the application was deemed complete on May 2, 2023.

Conclusion

1.1 This criterion is met without conditions.

Criterion 2

The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

Findings of Fact

2.1 Setbacks. Per ADC Table 3.190-1 and Table 3.230-1, the minimum front setback is 15 feet and the minimum interior setback for detached structures with walls greater than eight feet tall is five feet. The minimum setback for garages with a vehicle entrance is 20 feet. The proposed accessory structure is to be used as a personal shop and storage. The site plan (Attachment B) indicates the proposed accessory building will have a 79-foot front and garage setback, a 5-foot interior side yard setback, and a 12-foot interior rear setback. According to the applicant, the proposed shop will be located entirely outside the 12-foot utility setback along the eastern property line.

2.2 Lot Dimensions. The lot dimensions do not change with the proposed accessory structure.

2.3 Density. The density on the subject property does not change with the proposed accessory structure.

2.4 Lot Coverage. Per ADC Table 3.190-1, the total lot coverage allowed in the RS-6.5 zone is 60 percent. With the additional proposed accessory structure, the total lot coverage will be approximately 23 percent.

2.5 Building Height. Per ADC Table 3.190-1, the maximum height allowed in the RS-6.5 zone is 30 feet. The total height of the proposed structure is approximately 13 feet, with a wall height of 12 feet.

Conclusion

2.1 The proposed development meets all current provisions, including setbacks, lot coverage, lot dimensions, building height, and other applicable standards.

2.2 This criterion is met without conditions.

Condition

Condition 1 The applicant must submit a site plan showing the proposed accessory structure located outside of the public sanitary sewer easement at time of building permit submittal.

Criterion 3

Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact

- 3.1 *Article 4 Airport Approach district:* According to Figure 4.410-1 of the ADC, the subject property is located within the Airport Approach district. The floor of the proposed building is at an elevation of approximately 234 feet. The lowest elevation of the conical approach surface at the site is elevation 302 feet. The tallest point of the structure is 13 feet above the floor (elevation of 247 feet). The runway elevation of the airport is 222 feet, and the horizontal surface elevation is 372 feet. The tallest point of the proposed building will be at elevation 247 feet, which is below the height limit. The project is also located within the 55 day-night sound level area. Sound levels are not anticipated to be above limits, as the proposed accessory structure is a personal shop and storage. Based on these facts, the proposed residential accessory structure complies with the height restrictions of the Airport Approach District.
- 3.2 *Article 6 Steep Slopes, Comprehensive Plan Plate 7:* According to Plate 7 of the Comprehensive Plan, the subject property does not contain steep slopes.
- 3.3 *Article 6 Wetlands, Comprehensive Plan Plate 6:* according to Plate 6 of the Comprehensive Plan, the subject property does not contain any wetlands.
- 3.4 *Article 7 Historic Districts, Comprehensive Plan Plate 9:* According to Plate 9 of the Comprehensive Plan, the subject property is not located in one of Albany's Historic Districts. There are no known archaeological sites on the property.
- 3.5 *Article 6 Floodplains, Comprehensive Plan Plate 5:* The applicable Flood Insurance Rate Map (FIRM) for the subject site is Community Panel No. 41043C0214H, dated December 8, 2016. Based on this FIRM, the subject property is not located within a mapped floodplain.

Conclusion

- 3.1 This review criterion is not applicable.

Criterion 4

The application complies with all applicable Design Standards of Article 8.

Findings of Fact and Conclusions

- 4.1 The proposed accessory structure does not have applicable design standards.
- 4.2 The review criterion is not applicable.

Criterion 5

The application complies with all applicable Design Standards of Article 10.

Findings of Fact and Conclusions

- 5.1 Article 10 pertains to manufactured homes, manufactured home parks, and RV parks. These uses do not pertain to the proposal.
- 5.2 This review criterion is not applicable.

Criterion 6

The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Findings of Fact

- 6.1 The landscaping requirement does not apply to this proposed structure.
- 6.2 The tree protection requirement does not apply to this proposed structure.
- 6.3 The fencing requirement does not apply to this proposed structure.
- 6.4 As the use is a residential accessory structure, the environmental standards of Article 9 do not apply to this proposed structure.

Conclusion

6.1 This criterion is not applicable.

Criterion 7

The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Findings of Fact

Sanitary Sewer

- 7.1 City utility maps show an 8-inch public sanitary sewer along the eastern and southern property boundaries of the subject property. The subject property is currently connected to the public sanitary sewer system.
- 7.2 There is a 12-foot public sanitary sewer easement along the eastern property line. The proposed accessory structure, including foundation backfill and overhangs will need to be located outside of the easement.

Water

- 7.3 City utility maps show a 16-inch public water main in Lehigh Way SE. The subject property is currently connected to the public water system in Lehigh Way SE.
- 7.4 The proposed development will not negatively affect public water services to the existing property, or impact water service availability for future development.

Storm Drainage

- 7.5 City utility maps show a 12-inch piped storm drainage facility in Lehigh Way SE at the SE 18th Place intersection.
- 7.6 Lehigh Way SE is improved to city standards with curb and gutter along the subject property frontage.
- 7.7 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown in the construction drawings. The type of private drainage system, as well as the location and method of connection of the public system must be reviewed and approved by the City of Albany's Engineering Division.
- 7.8 AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where more than 8,100 square feet of impervious surfaces will be created or replaced. (Ord. 5841 § 3, 2014)
- 7.9 Because the site will create or replace less than one acre, post construction stormwater quality is not required for this project.
- 7.10 The applicant must include a detailed storm drainage plan with building permit submittal. The drainage plan shall show how the roof drainage from the proposed structure will be discharged to a point approved by the Engineering Department and Building Division.
- 7.11 The proposed development will not negatively affect the public storm drainage services to the existing property, or impact storm drainage service availability for future development.

Conclusions

- 7.1 The proposed development will have no adverse impact on public utilities (water, sewer, stormwater) to the subject property.
- 7.2 The proposed accessory structure, including foundation backfill and overhangs, will need to be located outside of this easement.

- 7.3 The applicant must include a detailed storm drainage plan with building permit submittal. The drainage plan shall show how the roof drainage from the proposed structure will be discharged to a point approved by the Engineering Department and Building Division.

Condition

- Condition 2* The applicant must include a detailed storm drainage plan with the building permit submittal. The drainage plan shall show how the roof drainage from the proposed structure will be discharged to a point approved by the Engineering Department and Building Division.

Criterion 8

The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Findings of Fact

- 8.1 The proposed accessory structure does not require transportation improvements.

Conclusion

- 8.1 This criterion is not applicable.

Criterion 9

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact

- 9.1 See Findings under Site Plan Criterion 7 (above) related to stormwater quality standards in response to this review criterion. These findings are incorporated here by reference.

Conclusion

- 9.1 The proposed development will have no impact on the public sanitary sewer and/or water systems.

Criterion 10

The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Findings of Fact

- 10.1 There were no prior land use decisions on the subject parcel.

Conclusion

- 10.1 This criterion is not applicable.

Criterion 11

Sites that have lost their nonconforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.330

Findings of Fact

- 11.1 The subject parcel is a conforming parcel and development.

Conclusion

- 11.1 This criterion is not applicable.

Overall Conclusion

This report evaluates the applicant's application for the proposed residential accessory structure that is a 1,050-square-foot, one-story structure with a wall height of 12 feet and an overall height of 13 feet. The proposed development meets all applicable Site Plan Review criteria when the following conditions are met.

Conditions of Approval

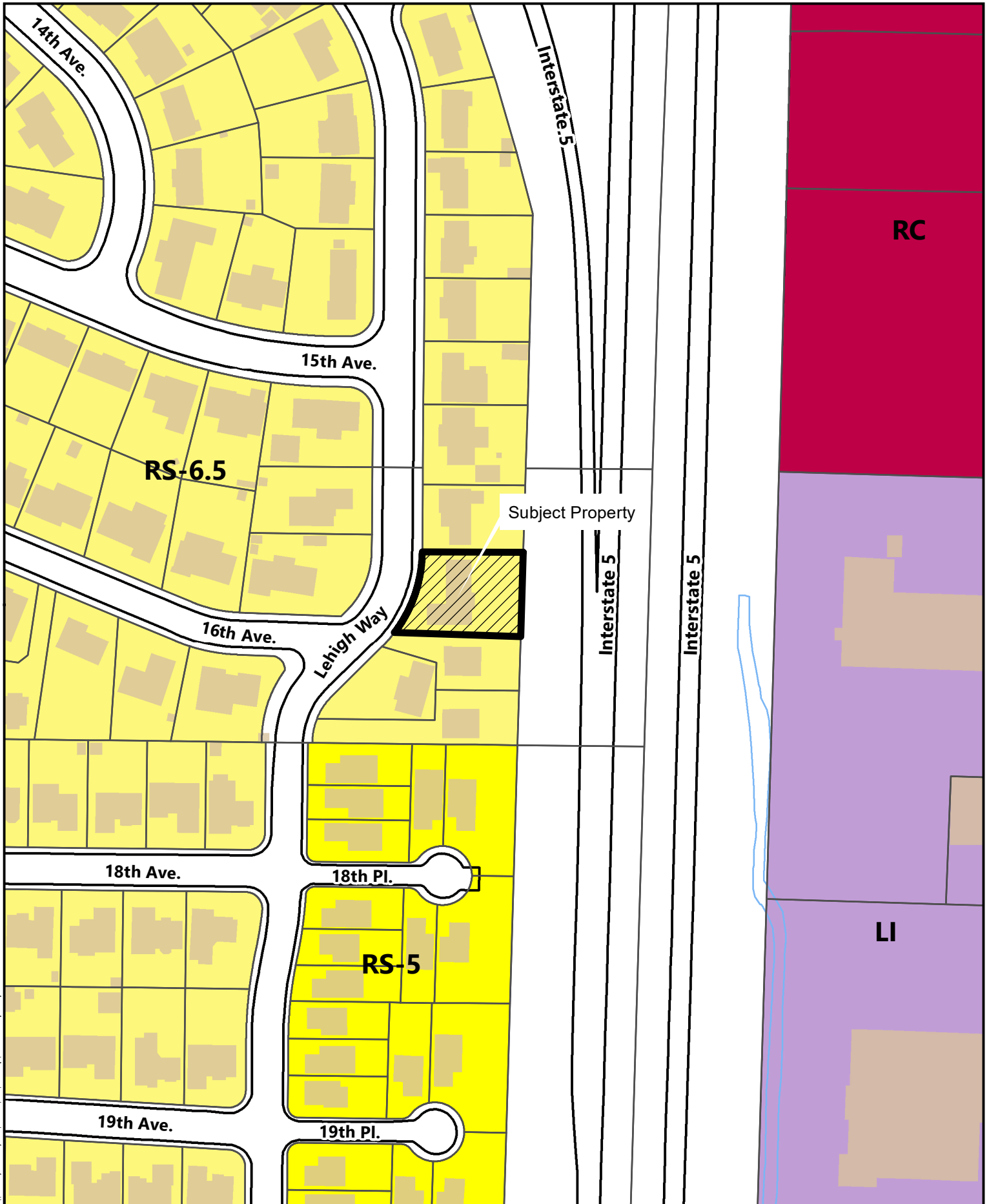
- Condition 1** The applicant must submit a site plan showing the proposed accessory structure located outside of the public sanitary sewer easement at time of building permit submittal.
- Condition 2** The applicant must include a detailed storm drainage plan with the building permit submittal. The drainage plan shall show how the roof drainage from the proposed structure will be discharged to a point approved by the Engineering Department and Building Division.
- Condition 3** Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

Attachments

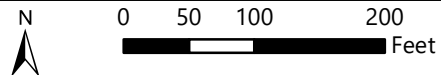
- A. Location Map
- B. Site Plan
- C. Elevation Drawings
- D. Applicant's Compatibility Worksheet

Acronyms

ADC	Albany Development Code
AMC	Albany Municipal Code
GIS	Geographic Information Systems
RS-6.5	Residential Single-Dwelling Unit District
SP	Site Plan Review



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Date: 4/18/2023 Map Source: City of Albany

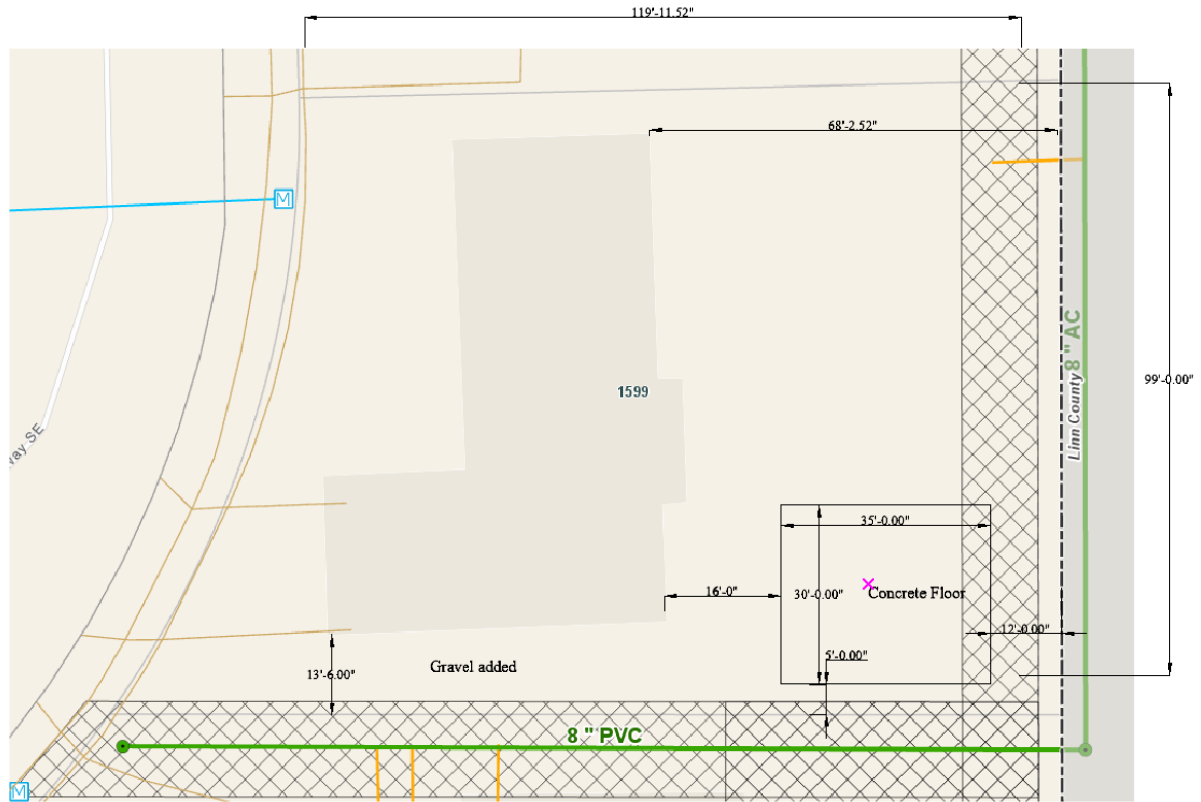
1599 Lehigh Way SE

Location Map

Site Plan

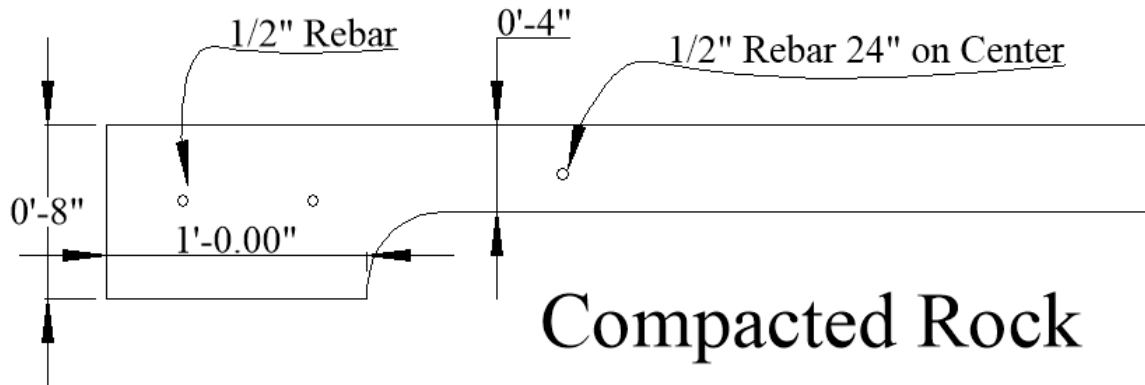
1599 Lehigh Way SE

Albany OR 97322



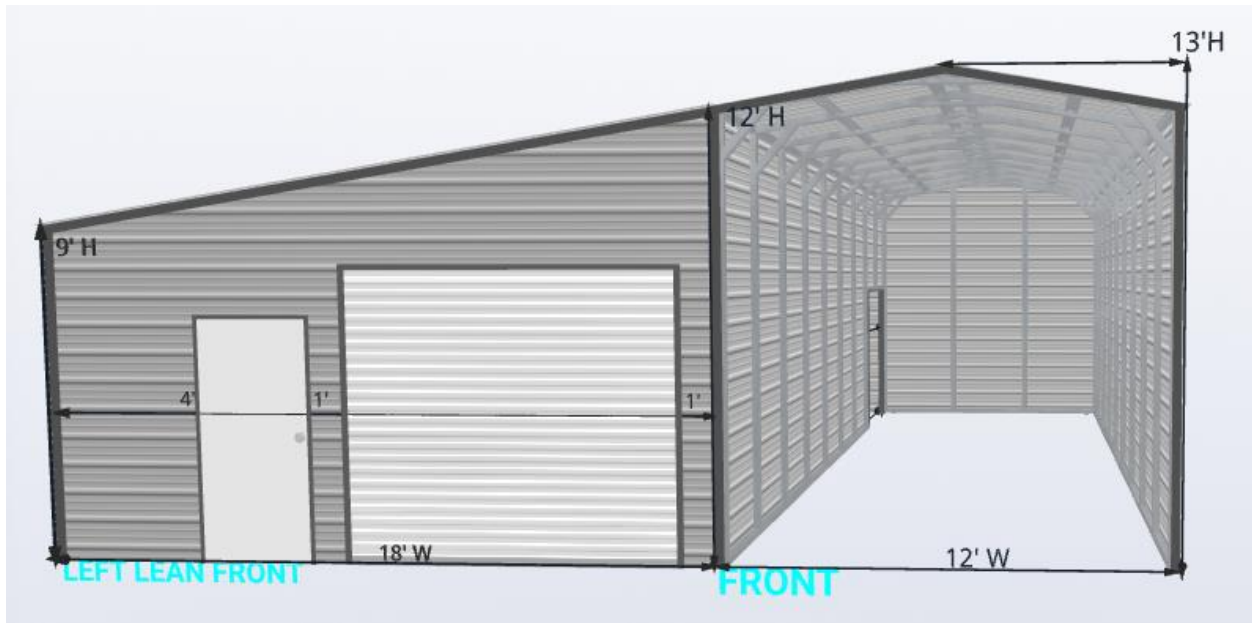
Concrete Slab edge Profile

Shop is located outside the utility easement

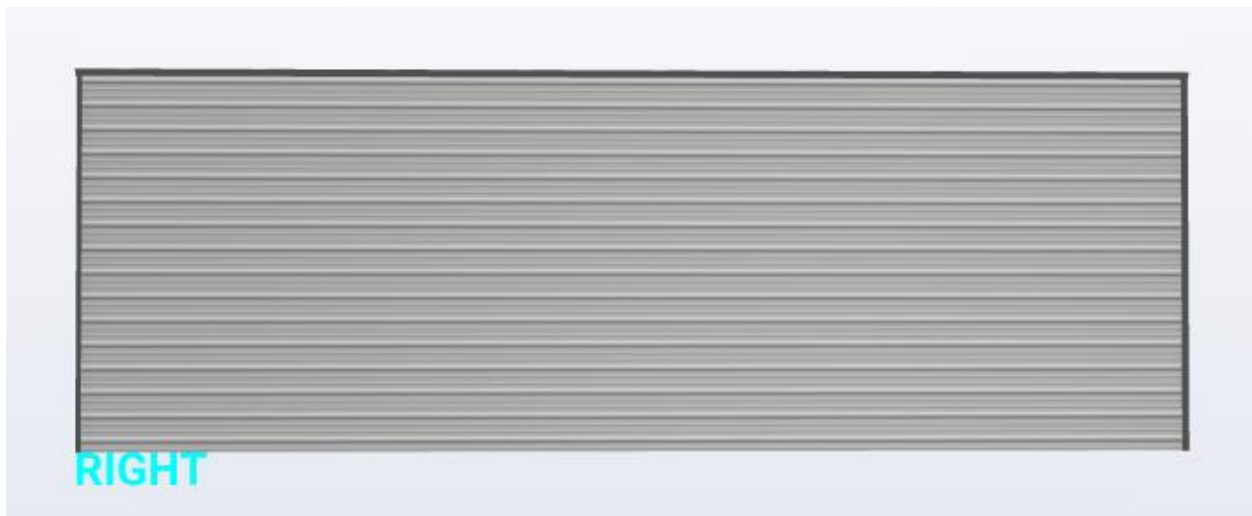


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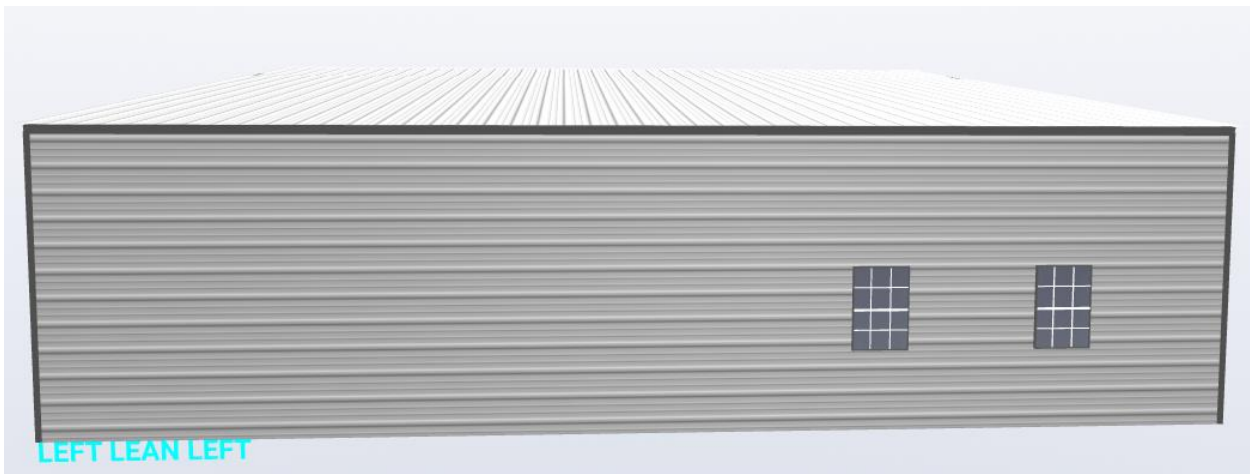
West Elevation



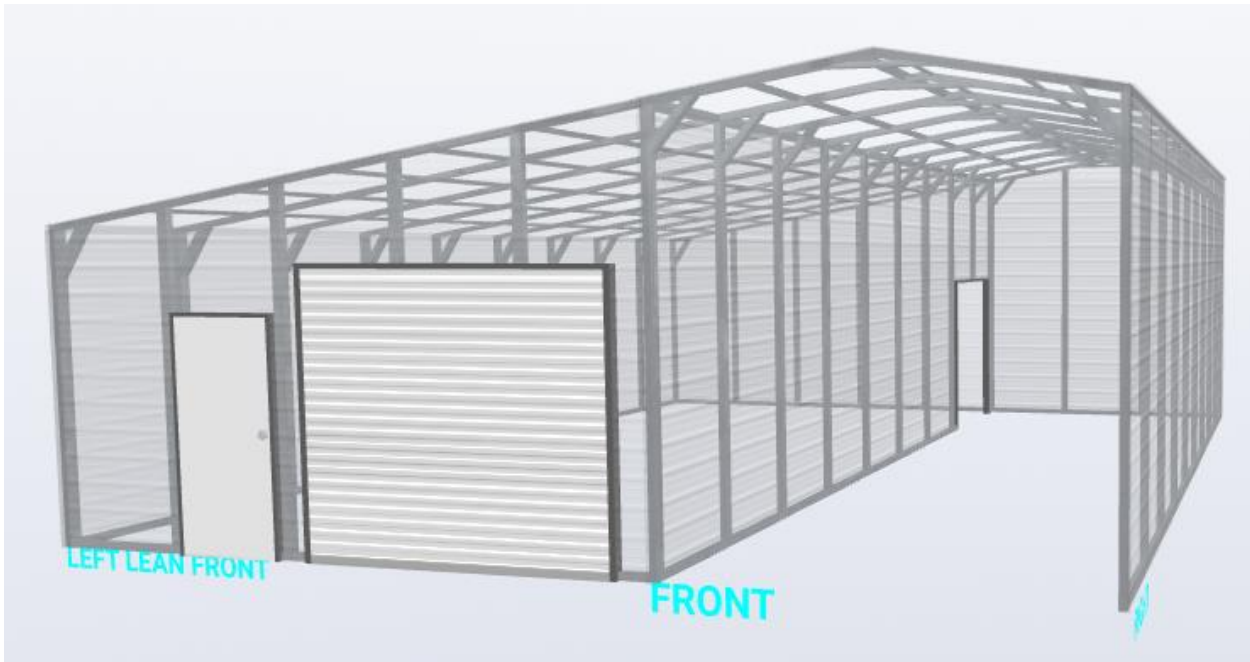
North Elevation



South Elevation



Framing View



Residential Accessory Structure Compatibility Worksheet

For proposed detached structures 750 sq. ft. or larger and/or with walls taller than 11 feet.

This handout addresses land use planning issues. Building permits are required for any residential accessory structure larger than 200 square feet.

Property Owner (print): Andrew Fehr

Property Address: 1599 Lehigh Way

Assessor's Parcel Map No: 11S03W09CB00602 Tax Lot(s): 602

Zoning District: RS-6.5 -- RESIDENTIAL SINGLE FAMILY

Intended Use of the Structure: Storage and Personal Shop

The Albany Development Code (ADC) allows attached additions to a residence without limiting size or wall height outright; subject to meeting the applicable development standards (see Table 3.190-1).

A detached accessory structure also is allowed outright if it can meet the applicable development standards (see Table 3.230-1) and the total square footage of the proposed structure is less than 750 square feet and the wall height does not exceed 11 feet. If the size would be larger or the walls taller, the structure may be allowed without a land use review, if it meets all of the established compatibility thresholds listed below. [ADC 3.080(9)]

Other considerations related to an accessory structure include the location of existing easements, septic tanks, drain fields, wells; access (existing and proposed); and whether trees would be removed (number and diameter of the trunks). You must include information about these items on a site plan drawing submitted with this worksheet.

Don't Forget! To support the information below, attach a scaled drawing of your property showing and labeling the location of all existing and proposed buildings and a scale drawing of each elevation of the proposed building. Include distances (in feet) between all structures and property lines.

Fill in the explanation area after each question below. If you answer "no" to Questions 1, 2, or 3, or "yes" to Questions 4 or 5, the structure will not be considered compatible. Question 6 calls your attention to special construction standards that will apply in all cases if the property is located in a Special Purpose District, such as the 100-year floodplain. In addition to answering the questions, you must attach a site plan of the property and elevation drawings of the proposed building to the worksheet.

If the structure cannot meet all of the compatibility standards, you may either alter the building to meet them or submit a Site Plan Review Accessory Building application to the Planning Division. This plan review typically takes six to eight weeks to process and requires additional paperwork and a non-refundable review fee. A notice of filing will be sent to property owners within 100 feet of your property giving them an opportunity to comment on the project. Filing an application does not guarantee approval.

Question 1: Will the roof and siding materials and colors on the proposed building be similar to those on the primary residential structure on the site? Yes ___ No X

- Fill out (a) and (b) to demonstrate this standard would be met:

The building materials and colors of the proposed accessory building will be:

Materials: Siding: Metal Roof: Metal

Colors: Siding: Grey Roof: White

The building materials and colors of the primary residential structure on the property are (or will be as part of this project):

Materials: Siding: Cedar Shake Roof: Shingle
 Colors: Siding: Off White Roof: Black

Question 2: If the proposed accessory building were built, would the percentage of lot coverage be similar to or less than the percentage allowed in the applicable zoning district? (See Table 3.190-1) Yes No (you may not exceed the lot coverage threshold by Site Plan Review.)

- Fill out a. through d. to demonstrate this standard would be met:

a. The maximum lot coverage allowed in the RS 6.5 zoning district is 60 percent.

Total land area of the property is 13068 sq. ft.

The foundation (footprint) size of each building on the property is:

Primary residence: 1926 sq. ft.

Proposed building: 1050 sq. ft.

Other structures: _____ sq. ft., _____ sq. ft., _____ sq. ft.

Total foundation area of all structures on the property: 2975 sq. ft. 22.7%

Percentage of building coverage on this lot after construction of the proposed accessory building would be _____ percent. (To calculate this percentage, divide the total foundation area of all structures (c) by the total land area of the property (b). This number cannot be larger than (a).)

Question 3: Will the proposed accessory building meet the minimum setback requirements for the primary residential structure? (see Table 3.190-1) Yes No

- Fill out a. and b. to demonstrate this standard would be met:

a. The minimum setbacks from property lines for the primary structure in this zone are:

Front: 15 ft. Sides and rear, single-story: 5 ft., or two-story: _____ ft.

The setbacks from the property lines for the proposed accessory building are:

Front: 5 ft. Sides and rear, single-story: 12 ft., or two-story _____ ft.

Question 4: Will the proposed building be taller than the tallest building on adjacent property?

Yes No (Height in this case is measured to the highest point on the structure. "Adjacent" means any property bordering the property on which the accessory structure would be built or across an adjacent street.)

- Fill out a. through c. and attach a drawing showing the location of the tallest building on adjacent property in relation to your property.

a. The total height of the proposed accessory building is 13 feet.

b. The wall height of the proposed accessory building is 12 feet.

c. The height of the tallest building on adjacent property is 2 Story feet, and it is located at (address) 1643 Lehigh Way.

Question 5: Will the area of the proposed building's foundation be larger than the area of the foundation of the largest building on adjacent property? Yes No

- Fill out a. and b. to demonstrate this standard would be met:

a. The area of the proposed accessory building's foundation is 1050 sq. ft.

The area of the foundation of the largest building on adjacent property is 1200 sq. ft.

(include attached garages). The address of this building is 1643 Lehigh Way;

currently occupied by Mr./Ms. _____, phone _____

Question 6: Is this property located in any of the following Special Purpose Districts listed in Articles 6 and 7 of the Development Code? Yes ___ No X (The text of the Albany Development Code is on the City's website: www.cityofalbany.net/cd/development-code)

Check the district(s) that apply to this property.

- Airport Approach District (Near the Albany Municipal Airport located east of the I-5 freeway)
- Floodplain District (Property is located within a 100-year floodplain)
- Hillside Development District (Property has slopes greater than 12 percent)
- Historic District (Monteith, Hackleman, or Downtown districts)
- Willamette Greenway (Property is located near the Willamette River)

If the property is in one of the special districts, have you researched the construction regulations of the special district and determined that the proposed building can meet the standards of the district(s)? Yes ___ No X
(Regardless of approval to allow an oversized accessory structure, you must be able to construct the proposed building in accordance with the regulations of the applicable special district.)

x A D Fehr

04/08/23

Property Owner's Signature

Date

Andrew Fehr

541.619.3360

Print Property Owner's Name

Daytime Phone

fehr1983@gmail.com

E-mail address

TABLE 3.190-1

RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS							
STANDARD	RR	RS-10	RS-6.5	HM	RS-5	RM	RMA
Minimum Property Size or Land Requirements by Unit Type (1)(18)							
Single-family detached and Duplex (1)	5 acres (15)	10,000 sf	6,500 sf	5,000 sf	5,000 sf	3,500 sf	Single-family detached: N/A Duplex: 3,500 sf
Townhouse(1)(16)(19)	1,500 sf	1,500 sf	1,500 sf	1,500 sf	1,500 sf	1,500 sf	1,500 sf
Two primary detached units on one property (1)	N/A	N/A	N/A	7,000 sf	N/A	3,500 sf	3,500 sf
Triplex (16)	5 acres	10,000 sf	6,500 sf	5,000 sf	5,000 sf	5,000 sf	5,000 sf
Fourplex (16)	5 acres	10,000 sf	7,000 sf	7,000 sf	7,000 sf	7,000 sf	7,000 sf (17)
Cottage Cluster (16)	5 acres	10,000 sf	7,000 sf	7,000 sf	7,000 sf	7,000 sf	7,000 sf
Multi-family, Studio and 1-bedroom units	N/A	N/A	N/A	N/A	N/A	2,000 sf/ unit	1,500 sf/ unit
2-and 3-bedroom units	N/A	N/A	N/A	N/A	N/A	2,400 sf/ unit	1,800 sf/ unit
4+ bedroom units	N/A	N/A	N/A	N/A	N/A	3,000 sf/ unit	2,200 sf/ unit
Minimum Lot Widths: Townhouse All other uses	20 ft N/A	20 ft 65 ft	20 ft 50 ft	20 ft 35 ft	20 ft 40 ft	20 ft 30 ft	None None
Minimum Lot Depth (18)	N/A	100 ft	80 ft	65 ft	70 ft	60 ft	None
Setbacks (4)(18):							
Minimum Front (4)	20 ft	20 ft	15 ft	15 ft	15 ft	15 ft	12 ft
Maximum Front Setback	None	None	None	None	None	(14)	(14)
Minimum Interior: single-story (4)	5 ft	5 ft	5 ft	5 ft	5 ft	10 ft (5)	10 ft (5)
Minimum Interior: two or more stories (4)	8 ft	8 ft	8 ft	6 ft	6 ft	10 ft (5)(6)	10 ft (5)(6)
Minimum Building Separation	(12)	(12)	(12)	(12)	(12)	(12)	(12)
Min. Garage or carport vehicle entrance (10)	20 ft	20 ft	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)
Maximum Height (8)	30 ft	30 ft	30 ft	30 ft	30 ft	45 ft	60 ft (15)

RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS							
Maximum Lot Coverage (9)(18)	20% (11)	50%	60%	60%	60%	70%	70%
Minimum Open Space	N/A	N/A	N/A	N/A	N/A	(13)	(13)
Min. Landscaped Area (18)	None	(2)	(2)	(2)	(2)	(3)	(3)

N/A means not applicable.

- (1) Section 3.220 bonus provisions may reduce minimum lot size and area, such as alley access.
- (2) All yards adjacent to streets.
- (3) All yards adjacent to streets plus required open space.
- (4) Additional setbacks may be required, see Sections 3.230-3.330 and the buffer matrix at 9.210; exceptions to Setbacks for Accessibility Retrofits are in Section 3.263; Zero-Lot Line standards are in Sections 2.365 and 2.370; Setbacks for cottage clusters are in Section 3.192.
- (5) Except for single-family homes or middle housing, which must have a minimum setback of 3 feet for one-story dwellings and 5 feet for two-story dwellings.
- (6) More than 3 stories = 10 feet plus 3 feet for each story over 3 per unit requirements. Multiple-family developments must also meet the setbacks in Section 8.270(3).
- (7) Garage front setback for non-vehicle-entrance = 15 feet, except in RR and RS-10 zoning districts where the setback shall be 20 feet.
- (8) See exceptions to height restrictions, Section 3.340; Maximum height for cottage clusters is in Section 3.192.
- (9) Lot coverage for single-family detached and middle housing development shall only include the area of the lot covered by buildings or structures; Lot coverage for townhouses is calculated based on the overall townhouses project, rather than each townhouse lot; Cottage clusters are exempt from maximum lot coverage standards.
- (10) See Table 3.230-1 for garages with alley access.
- (11) Maximum lot coverage for parcels 20,000 square feet or less is 50%. The configuration of any development on a lot 20,000 square feet in size, or less, in an RR zoning district that covers more than 20 percent of the parcel on which it is proposed, should be located such that it does not preclude a later division of the parcel.
- (12) The minimum separation between multi-family buildings on a single parcel shall be 10 feet for single-story buildings and 20 feet for two-story or taller buildings; Minimum building separation for cottage clusters is in Section 3.192.
- (13) Ten or more units require open space. See Section 8.220.
- (14) See Section 8.240 for standards.
- (15) A property line adjustment between two existing RR properties may be allowed as long as no new lots are created, and the resulting properties are at least 20,000 square feet and approval of a septic system has been obtained by Benton County.
- (16) Triplexes, fourplexes, townhouses, and cottage clusters are not permitted on lots that are nonconforming with respect to the minimum lot size applicable to that housing type within the zoning districts (see ADC 2.320).
- (17) In RMA, a fourplex with one or more studio or 1-bedroom units shall meet the minimum lot size standards for multi-family development, except in no case shall the minimum lot size required for a fourplex exceed 7,000 square feet.
- (18) If a duplex, triplex, fourplex, or cottage cluster has been divided by a middle housing land division, the development standards that are applicable to the lot shall apply to the middle housing parent lot, not to the middle housing child lots.
- (19) The minimum property size for townhouses specified in Table 3.190-1 is the minimum allowable size for an individual townhouse lot; the number of units permitted on a given site (i.e., the maximum density) is established in accordance with subsection 3.191(1).

TABLE 3.230-1

ACCESSORY STRUCTURE STANDARDS	
STRUCTURE	STANDARD
All Accessory Structures	Front setback, see Table 3.190-1, by zone if not noted below
Detached Structure walls less than or equal to 8 feet tall (2)	Interior setback = 3 feet (1)
Attached Structure	Interior setback = 5 feet (1)
Detached Structure walls greater than 8 feet tall (2)	Interior setback = 5 feet
Accessory Apartment Building	Front setback is equal or greater than primary residence Interior setback, one-story = 5 feet (1) Interior setback, two-story = 8 feet (1)
Garage or carport with vehicular access from an alley	Alley setback = 20 feet, less the width of the alley right-of-way, but at least 3 feet. Other interior setbacks=see Table 3.190-1
Structures, including fences, intended for housing animals	Interior setback = 10 feet
Fences greater than 6 feet tall	See Table 3.190-1, by zone; building permit required.
Outdoor swimming pools with depths greater than or equal to 24 inches	Interior setback = 10 feet
Decks less than or equal to 30 inches from grade, with no rails or covers	No setback from property lines
Decks greater than 30 inches from grade	Interior setback = 5 feet

- (1) Zero-lot line provisions are in Sections 3.265 and 3.270.
- (2) The slab or foundation of accessory structures is not included in the wall height unless it is greater than 24-inches from the ground.