



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Planning & Building 541-917-7550

Staff Report

Site Plan Review

SP-15-23

August 7, 2023

Application Information

Proposal:	Site Plan Review for the construction of a mobility hub on the existing circulating roadway at Linn-Benton Community College.
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Sheldon Flom, Linn Benton Community College, 6500 Pacific Boulevard SW, Albany, OR 97321
Address/Location:	6500 Pacific Boulevard SW, Albany, OR 97321
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-25 Tax Lot 1200
Zoning:	Single-Dwelling Unit District (RS-6.5)
Comprehensive Plan:	Public and Semi-Public
Overlay:	Riparian Corridor Overlay (not in project area)
Total Land Area:	73.88 acres
Existing Land Use:	Institutional - Community College
Neighborhood:	South Albany
Surrounding Zoning	North: Residential Medium Density Attached (RMA) & Residential Single Dwelling (RS-6.5) East: Light Industrial (LI) & Office Professional (OP) South: Industrial Park (IP) West: Urban Growth Area – Urban Growth Management 20 acre minimum (UGA-UGM-20)
Surrounding Uses:	North: Single Dwelling Units East: Single Dwelling Units & Industrial South: Commercial & Industrial West: Single Dwelling Units
Prior History:	SP-63-92, CU-03-04, CU-05-04, CU-06-10, CU-08-10, SP-14-10, SP-27-18

Summary

On June 15, 2023, the applicant submitted a Site Plan Review application for the construction of a mobility hub on the existing circulating roadway at Linn-Benton Community College. Payment was received on June 27, 2023. The application was deemed complete on July 13, 2023.

The subject property is developed with an existing Institutional Use – Community College.

Site Plan Review criteria for these applications can be found in Sections 2.450 and 2.455 of the Albany Development Code (ADC) and are addressed in this report. These criteria must be satisfied to grant approval for this application.

Staff Decision

The application for a Site Plan Review referenced above is **Approved with Conditions** as described in this staff report.

Notice Information

A notice of filing for the site plan review was mailed to property owners located within 300 feet of the subject property on July 13, 2023. No comments were received during the public notice period.

Analysis of Development Code Criteria

Sections 2.450 & 2.455 of the Albany Development Code (ADC) include the following review criteria, which must be met for this application to be approved. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

ADC 2.450 Review Criteria-All Site Plan Review Applications

Criterion 1

The application is complete in accordance with the applicable requirements.

Findings of Fact

- 1.1 In accordance with the applicable requirements, the application was deemed complete on July 13, 2023.

Conclusion

- 1.1 This criterion is met without conditions.

Criterion 2

The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

Findings of Fact

- 2.1 The applicant proposes to construct a mobility hub on the existing circulating roadway for the south parking lots. The mobility hub includes the modification of an existing private drive aisle to accommodate four bus bays, the construction of two open-air transit shelters, and a restroom facility.
- 2.2 ADC Table 3.190-1 contains the Residential Single Dwelling Unit development standards. The subject development is located within the RS-6.5 district, which has the following development standards:

	Required	Proposed
Minimum Front Setback	15 feet	500 + feet
Minimum Interior Setback: Single-story	5 feet	500 + feet
Maximum Height	30 feet	11 feet 6 inches
Maximum Lot Coverage	60%	40%
Minimum Landscaped Area	All yards adjacent to streets	No changes to yard areas adjacent to streets is proposed

- 2.3 The site plan submitted by the applicant shows that the proposed structures meet the minimum setbacks in the RS-6.5 zone.
- 2.4 *Landscaping & Buffering and Screening (ADC 3.360-3.370)*. Compliance with this section is addressed below in Site Plan Review Criterion 6 and the findings and conclusions are incorporated herein.

- 2.5 *Outside Storage (ADC 3.380)*. The applicant does not propose any outside storage in conjunction with the proposed use of the property, therefore this standard does not apply.
- 2.6 *Screening of Refuse Containers (ADC 3.390)*. The applicant does not propose any new refuse containers; therefore, this standard does not apply.

Conclusions

- 2.1 The proposed development meets all current provisions, including setbacks, lot coverage, building height, and other applicable standards.
- 2.2 This criterion is met without conditions.

Criterion 3

Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact

- 3.1 *Article 4 Airport Approach district*: According to Figure 4.410-1 of the ADC, the subject property is not located within the Airport Approach district.
- 3.2 *Article 6 Steep Slopes, Comprehensive Plan Plate 7*: According to Plate 7 of the Comprehensive Plan, the subject property is not located in the Hillside Development overlay district.
- 3.3 *Article 6 Wetlands, Comprehensive Plan Plate 6*: According to Plate 6 of the Comprehensive Plan, the subject property does not appear to contain wetlands.
- 3.4 *Article 7 Historic Districts, Comprehensive Plan Plate 9*: According to Plate 9 of the Comprehensive Plan, the subject property is not located in one of Albany's Historic Districts.
- 3.5 *Article 6 Floodplains, Comprehensive Plan Plate 5*: The applicable Flood Insurance Rate Map (FIRM) for the subject site is Community Panel No. 41043C0214H, dated December 8, 2016. Based on this FIRM, the subject properties are not located in the Special Flood Hazard Assessment (SFHA) area, also known as the 100-year floodplain.
- 3.6 *Article 6 Riparian Corridor Overlay District*: Riparian corridors can be found at the northeast corner and southwest corner of the subject property. The proposed construction will be located well outside the riparian corridors.

Conclusion

- 3.1 This review criterion is met without conditions.

Criterion 4

The application complies with all applicable Design Standards of Article 8.

Findings of Fact

- 4.1 *Entrance Orientation and Parking Location*. ADC 8.330 states these standards apply to new buildings (excluding accessory buildings) in all zoning districts except HD, DMU, CB, and WF. The applicant proposes to construct accessory buildings; therefore, this section does not apply.
- 4.2 *Façade design, articulation, and windows*. ADC 8.345 states these standards apply to new buildings (excluding accessory buildings). The applicant proposes to construct three accessory buildings; therefore, this section does not apply.
- 4.3 *Street Connectivity and Internal Circulation*. ADC 8.350 states these standards apply to both public and private streets. The applicant states that the proposed work is occurring on the interior of the LBCC campus and no changes to the existing site circulation are being proposed, therefore, this section does not apply.
- 4.4 *Pedestrian Amenities*. ADC 8.360 contains the standards for pedestrian amenities. The applicant proposes to construct two bus shelters and a restroom building, totaling approximately 891 square feet, which requires a pedestrian amenity score of one (1) point. The applicant proposes two benches seating 4 people, 64 lineal feet of weather protection, and bicycle racks for 10 bicycles. The proposed amenities would provide a total of 14 points per table 8.360-2. This standard is met.

- 4.5 *Pedestrian and Bicycle Connections.* ADC 8.370 requires a direct and convenient pedestrian route between the building's main entrances and the nearest sidewalk abutting the site. The proposed sidewalk changes will not affect pedestrian and bicycle connections; therefore, this section does not apply.
- 4.6 *Compatibility Standards.* ADC 8.390 contains compatibility standards for commercial and institutional development with adjacent uses. The proposed project is in the interior site and will have no off-site impacts and no additional on-site impacts. No service areas, equipment, or utilities are proposed with this project. This standard is met.

Conclusion

- 4.1 The proposal shows the proposed development will meet the design standards of Article 8.

Criterion 5

The application complies with all applicable Design Standards of Article 10.

Findings of Fact and Conclusions

- 5.1 Article 10 pertains to manufactured homes, manufactured home parks, and RV parks. These uses do not pertain to the proposal.
- 5.2 This review criterion is not applicable.

Criterion 6

The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Findings of Fact

- 6.1 *Minimum Parking.* The proposal does not include the changes to existing parking. This standard is not applicable.
- 6.2 *Bicycle Parking.* The applicant indicates that approximately 10 bicycle parking spaces will be provided at the proposed bus shelters. Although not required, provided bicycle racks must be installed to comply with ADC 9.030. This standard is met with a condition of approval.
- 6.3 *Landscaping.* ADC 9.140 requires all front and interior setbacks to be landscaped or have a landscaping guarantee before an occupancy permit will be issued. The proposed work is proposed on the interior of the site and will not affect any front or interior setbacks. This standard is not applicable.

Conclusions

- 6.1 The proposal shows the proposed development will meet the minimum on-site development and environmental standards of Article 9 with a condition.

Condition

Condition 1 Bicycle Parking. Prior to commencement of the use, bicycle parking space details shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the bicycle parking standards of ADC 9.030.

Criterion 7

The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Findings of Fact

Sanitary Sewer

- 7.1 City maps show 12-inch and 27-inch private sanitary sewer lines on the subject property that serve the existing development on the property. All buildings on campus are connected to an internal private sanitary sewer system that ultimately discharges to a single connection to the public sewer system at the northeast corner of the site. The subject property is currently connected to the public sanitary sewer system.

- 7.2 AMC 10.01.080(2) states that before the City will issue a Building Permit, the applicant must pay to the City the necessary System Development Charges and any other applicable fees for connection to the public sanitary sewer system.

Water

- 7.3 City utility maps show a 16-inch public water system in Pacific Blvd SW that serves the existing development on the property. All buildings on campus are connected to an internal private water service/meter that is connected to the public water system in the northeast corner of the site. The subject property is currently connected to the public water system.
- 7.4 The proposed restroom building will connect to the on-site domestic water system.

Storm Drainage

- 7.6 City utility maps show a tributary of Oak Creek flows through the subject property. The existing campus is served by a private storm drainage collection system that carries runoff from the various buildings, parking lots, and other impervious surfaces and discharges to the Oak Creek Tributary in the northeast portion of the site.
- 7.7 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.
- 7.8 AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where more than 8,100 square feet of impervious surfaces will be created or replaced. (Ord. 5841 § 3, 2014).
- 7.9 Because not more than 8,100 square feet of impervious surface is being created or replaced, there will be no requirement for storm water quality facilities for this project.

Conclusions

- 7.1 Public utilities (sanitary sewer, water, storm drainage) are available and adequate to serve the proposed development.
- 7.2 No stormwater quality facilities will be required for this project.

Criterion 8

The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Findings of Fact

- 8.1 The project is located at 6500 Pacific Boulevard on the campus of Linn-Benton Community College. The project will construct a mobility hub within an existing parking lot on the south side of the campus. No new educational facilities will be constructed, nor changes made to the driveways and access points that connect the site to the public street and transportation system.
- 8.2 The applicant did not submit a trip generation estimate or Traffic Impact Analysis (TIA) with the application. Albany's threshold for submittal of a trip generation estimate is 50 peak hour trips. Developments that generate 100 or more peak hour trips are required to submit a TIA.
- 8.3 The Institute of Transportation trip generation rate for a Junior/Community College is based on the number of students a development or improvement added to the facility. This development would not add any building area or otherwise result in an increase in the number of students at the facility. For that reason, staff has determined that the development would not result in an increase in site trip generation or create any additional or new impacts to the transportation system.

- 8.4 Albany's Transportation System Plan (TSP) does not identify any congestion or capacity issues occurring along the frontage of the site.

Conclusions

- 8.1 The development is not expected to generate additional vehicle trips or have an adverse impact on the public street and transportation system.
- 8.2 Albany's Transportation System Plan (TSP) does not identify any congestions or capacity issues occurring adjacent to the site.

Criterion 9

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact

- 9.1 See Findings under Site Plan Criterion Seven (above) related to stormwater quality standards in response to this review criterion. These findings are incorporated here by reference.

Conclusions

- 9.1 The proposed development will have no impact on the public sanitary sewer and/or water systems.

Criterion 10

The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Findings of Fact and Conclusions

- 10.1 The subject property does not have any prior land use decisions that are applicable to the development. This criterion does not apply.

Criterion 11

Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.330.

Findings of Fact and Conclusions.

- 11.1 This site is not identified as a nonconforming site; therefore, this criterion does not apply.

ADC 2.455: Additional Criteria for Non-Residential Applications

Criterion 1

The transportation system can safely and adequately accommodate the proposed development.

Findings of Fact and Conclusions

- 1.1 Transportation findings and conclusions under Site Plan Review Criterion Eight (above) are incorporated here by reference.
- 1.2 Based on the findings and conclusions under Site Plan Review Criterion Eight, the development is not expected to generate additional vehicle trips or have an adverse impact on the public street and transportation system. This criterion is met.

Criterion 2

Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

Findings of Fact and Conclusions

- 2.1 Findings related to parking area, traffic access, and sidewalks for pedestrian safety are provided under Site Plan Review Criterion Eight. Those findings and conclusions are included here by reference.
- 2.2 Based on these observations, there will be no impacts to existing parking areas or entrance-exit points to the site. This criterion is met.

Criterion 3

The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Findings of Fact and Conclusions

3.1 The applicant states that the proposed work is located solely within the interior of the site and will have negligible impact, if at all on the surrounding development and land uses. This criterion is met.

Overall Conclusion

As proposed and conditioned, the application for Site Plan Review to construct a mobility hub on the existing circulating roadway at Linn-Benton Community College satisfies all applicable review criteria as outlined in this report.

Conditions of Approval

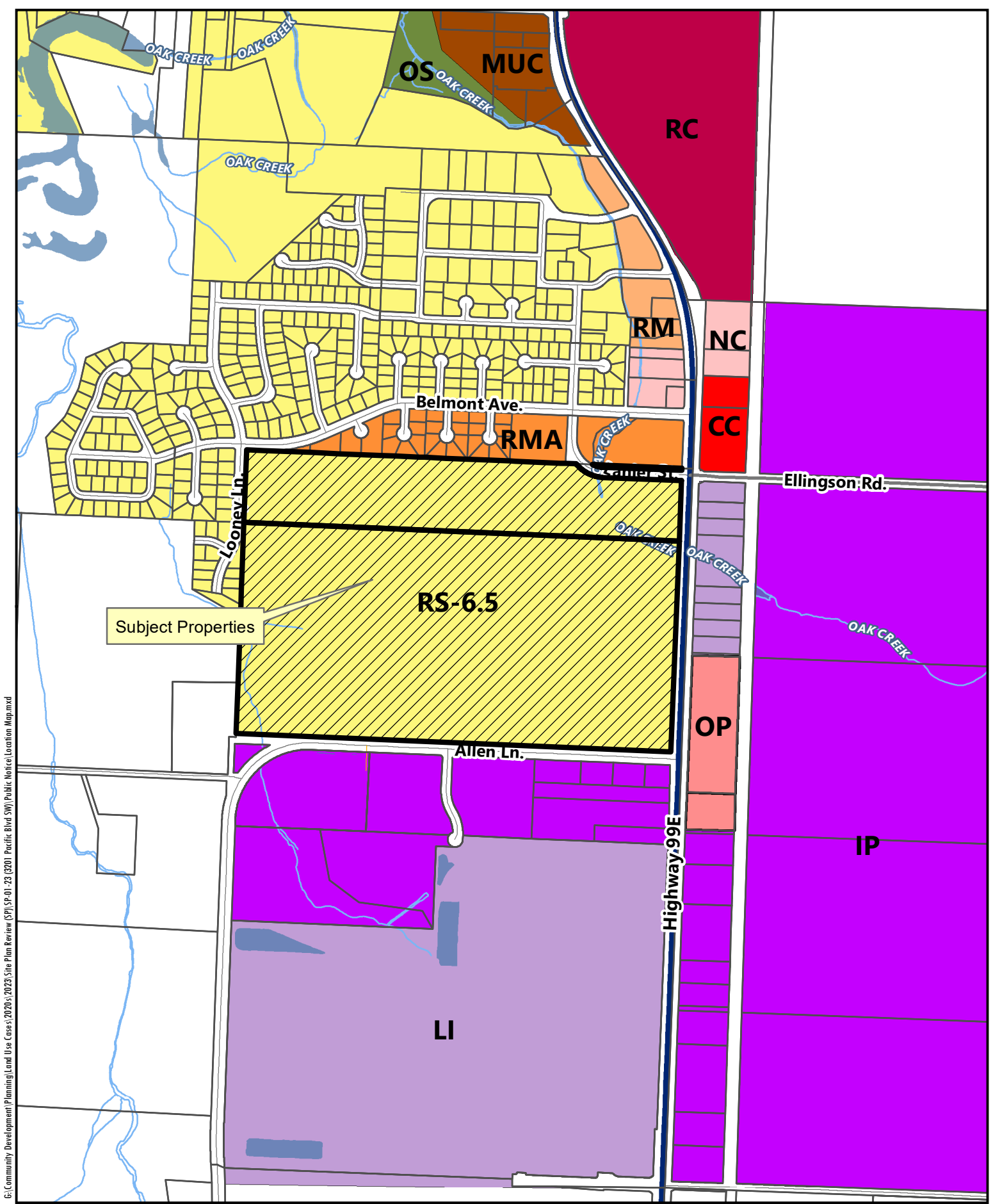
Condition 1 **Bicycle Parking.** Prior to commencement of the use, bicycle parking space details shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the bicycle parking standards of ADC 9.030.

Attachments

- A. Location Map
- B. Site Plans
- C. Building Elevations
- D. Applicant's Narrative

Acronyms

ADA	American Disabilities Act (Accessible Parking Standards)
ADC	Albany Development Code
AMC	Albany Municipal Code
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
EPSC	Erosion Prevention and Sediment Control (EPSC)
RS-6.5	Residential Single-Dwelling Unit District
SP	Site Plan Review
TSP	Transportation System Plan



G:\Community Development\Planning\Land Use Cases\2020s\2023\Site Plan Review (SP)\SP-01-23 (320) Pacific Blvd SW\Public Notice\Location Map.mxd



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Feet

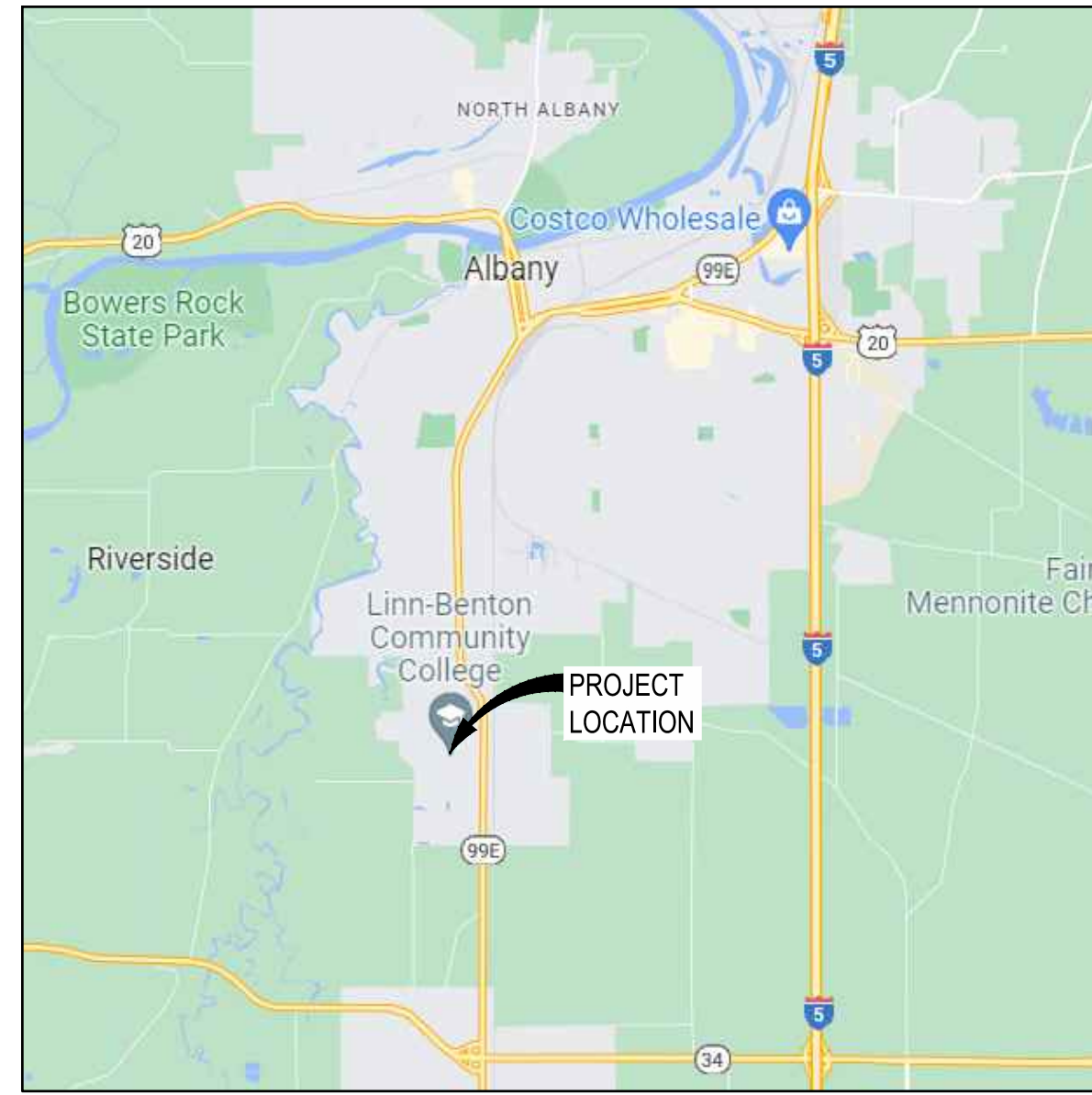
6500 Pacific Boulevard SW

Date: 6/27/2023 Map Source: City of Albany

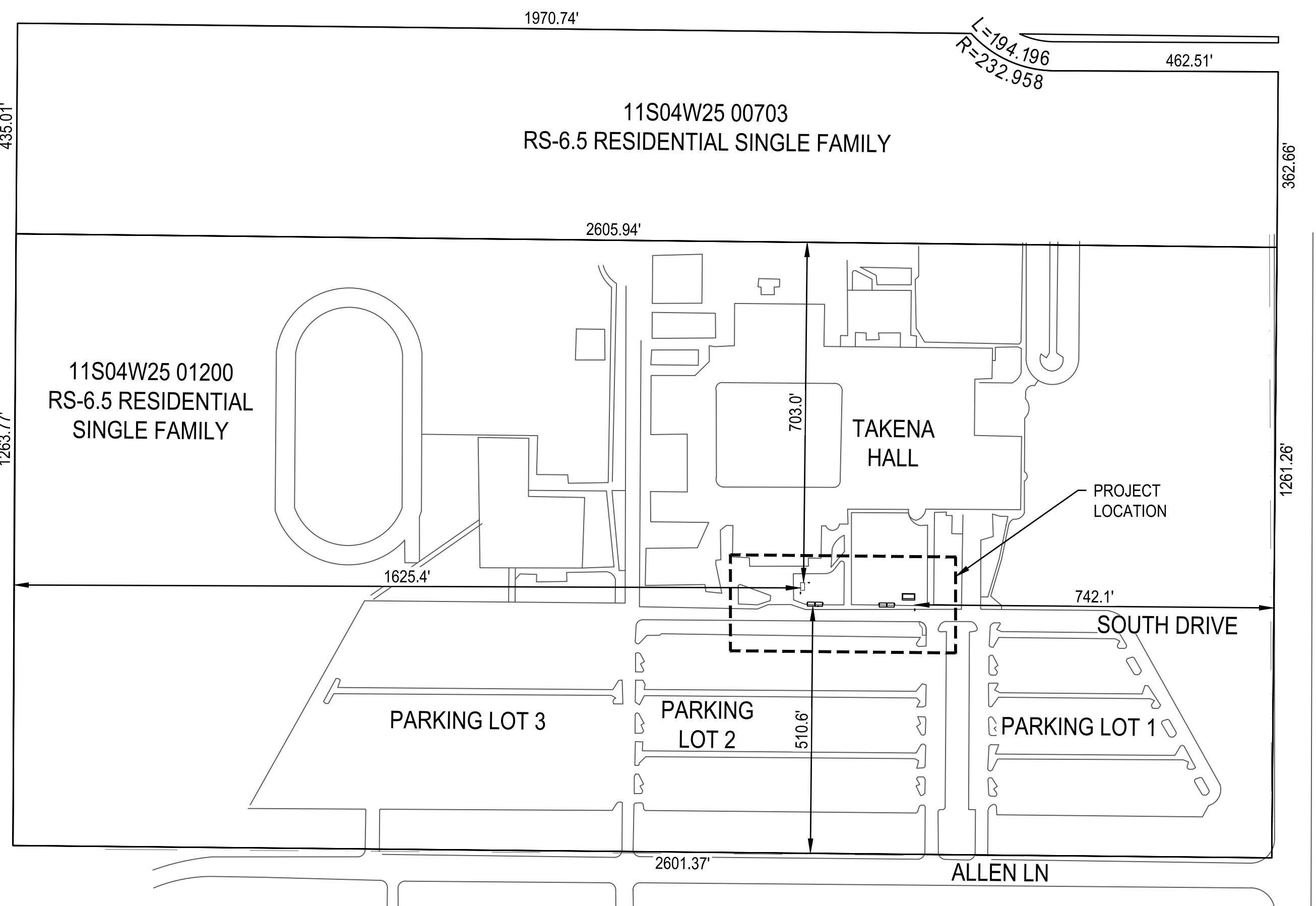
Location Map

LINN-BENTON COMMUNITY COLLEGE MOBILITY HUB

6500 PACIFIC BLVD SW, ALBANY, OR 97321



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
G1.0	COVER
D1.0	DEMOLITION PLAN
EC1.0	EROSION CONTROL PLAN
C1.0	SITE PLAN
C2.0	DETAILS
C2.1	GRADING PLAN
C2.2	GRADING PLAN
C2.3	GRADING PLAN
U1.0	UTILITY PLAN
ST1.0	SIGNING AND STRIPING PLAN
A2.0	SHELTER PLAN SECTIONS/ELEVATIONS
A2.1	RESTROOM PLANS-ELEVATIONS
A2.2	RESTROOM SECTIONS & DETAILS
S1.00	GENERAL NOTES
S2.00	CANOPY PLAN
S2.10	RESTROOM PLAN
S3.00	FOUNDATION DETAILS
S4.00	MASONRY DETAILS
S5.00	CONNECTION DETAILS
P0.1	PLUMBING LEGEND
P0.2	PLUMBING CALCULATIONS
P1.1	PLUMBING ENLARGED PLANS
E0.1	ELECTRICAL LEGEND
E0.2	LUMINAIRE SCHEDULE & LIGHTING MATRIX
E1.1	ELECTRICAL SITE PLAN
E2.1	ELECTRICAL ENLARGED PLANS RESTROOM
E2.2	ELECTRICAL ENLARGED PLANS SHELTER
E3.1	ONE LINE DIAGRAM & PANEL SCHEDULE

AREAS WITHIN PROJECT AREA/SQUARE FEET		
AREA	EXISTING	PROPOSED
STRUCTURES (SHELTER/WALKWAY CANOPY, FUTURE MICROMOBILITY SHELTER)	N/A	1,038 SF
SIDEWALK	157,206 SF	5,650 SF
ASPHALT (DRIVE AISLES)	772,778 SF	814 SF
LANDSCAPING/GRASS	1,960,502 SF	2,233 SF
STORMWATER SWALES	N/A	0 SF
NEW/REPLACED IMPERVIOUS	N/A	7,076 SF
TOTAL	2,890,486 SF (TOTAL TAXLOT)	20,543 SF (PROJECT EXTENTS)

PROJECT CONTACTS:

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ARCHITECT:
CONTACT: WATERLEAF
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URBAN LENS PLANNING
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OWNER/APPLICANT:
LINN-BENTON COMMUNITY COLLEGE
CONTACT: KEVIN NICHOLSON
(541) 917-4337
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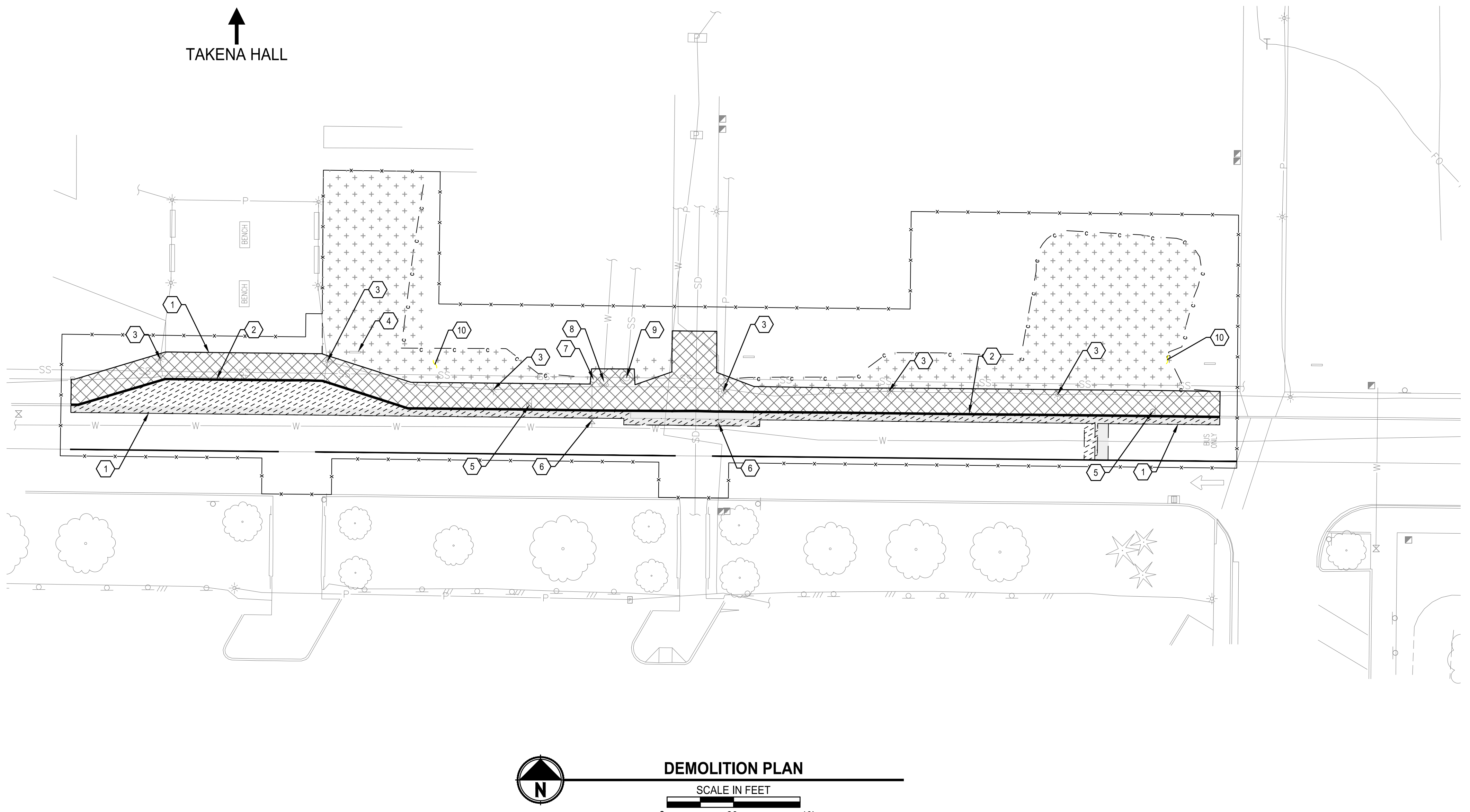


Know what's below.
Call before you dig.



60% DESIGN

LINN-BENTON COMMUNITY COLLEGE	
MOBILITY HUB	
COVER	
CITY OF ALBANY	
DATE: 05/12/2023 PROJECT NO.:	
DESIGNED BY: KE/SR/CL	
DRAFTED BY: CL/SR	
CHECKED BY: RWR	
NO. DATE:	1. 2. 3.
REVISIONS	
Sheet No. G1.0	



↑
TAKENA HALL

DEMOLITION PLAN
SCALE IN FEET
0 20 40'

GENERAL NOTES:

1. REMOVAL OF EXTG. SURFACES INCLUDING ASPHALT, CONCRETE, SIDEWALKS AND CURBS ARE INCLUDED IN THE GENERAL EXCAVATION QUANTITY.
2. ALL CONCRETE CURBS AND SIDEWALK IDENTIFIED FOR REMOVAL SHALL BE REMOVED TO THE CLOSEST CONTROL JOINT, UNLESS OTHERWISE NOTED IN THESE PLANS.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, INFRASTRUCTURE, AND IMPROVEMENTS IN PLACE. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS, RESULTING FROM THE CONTRACTOR'S OPERATION, SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

DEMOLITION NOTES:

- 1 SAWCUT EXTG. ASPHALT AND CONCRETE SURFACES
- 2 SAWCUT, REMOVE AND DISPOSE OF EXTG. CONCRETE CURB
- 3 REMOVE AND SALVAGE EXTG. LIGHTED BOLLARDS
- 4 REMOVE AND PRESERVE EXTG. BUILDING DIRECTORY FOR REINSTALLATION
- 5 SEE SIGNING AND STRIPING PLAN (SHEET ST1.0) FOR RELOCATION AND REMOVAL OF EXTG. SIGNAGE
- 6 PROTECT EXTG. VALVE AND VALVE BOX IN PLACE
- 7 PROTECT EXTG. HYDRANT ASSEMBLY IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 8 PROTECT EXTG. FIRE DEPARTMENT CONNECTION IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 9 PROTECT EXTG. SANITARY SEWER MANHOLE IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 10 EXTG. IRRIGATION SYSTEM NOT SURVEYED. REMOVE CONFLICTING IRRIGATION SPRINKLER HEADS AND UNDERGROUND IRRIGATION PIPING. CONTRACTOR TO COORDINATE WITH LBCC MAINTENANCE STAFF TO EXTEND COVERAGE AND REPAIR IRRIGATION SYSTEM TO FULLY OPERATIONAL CONDITION

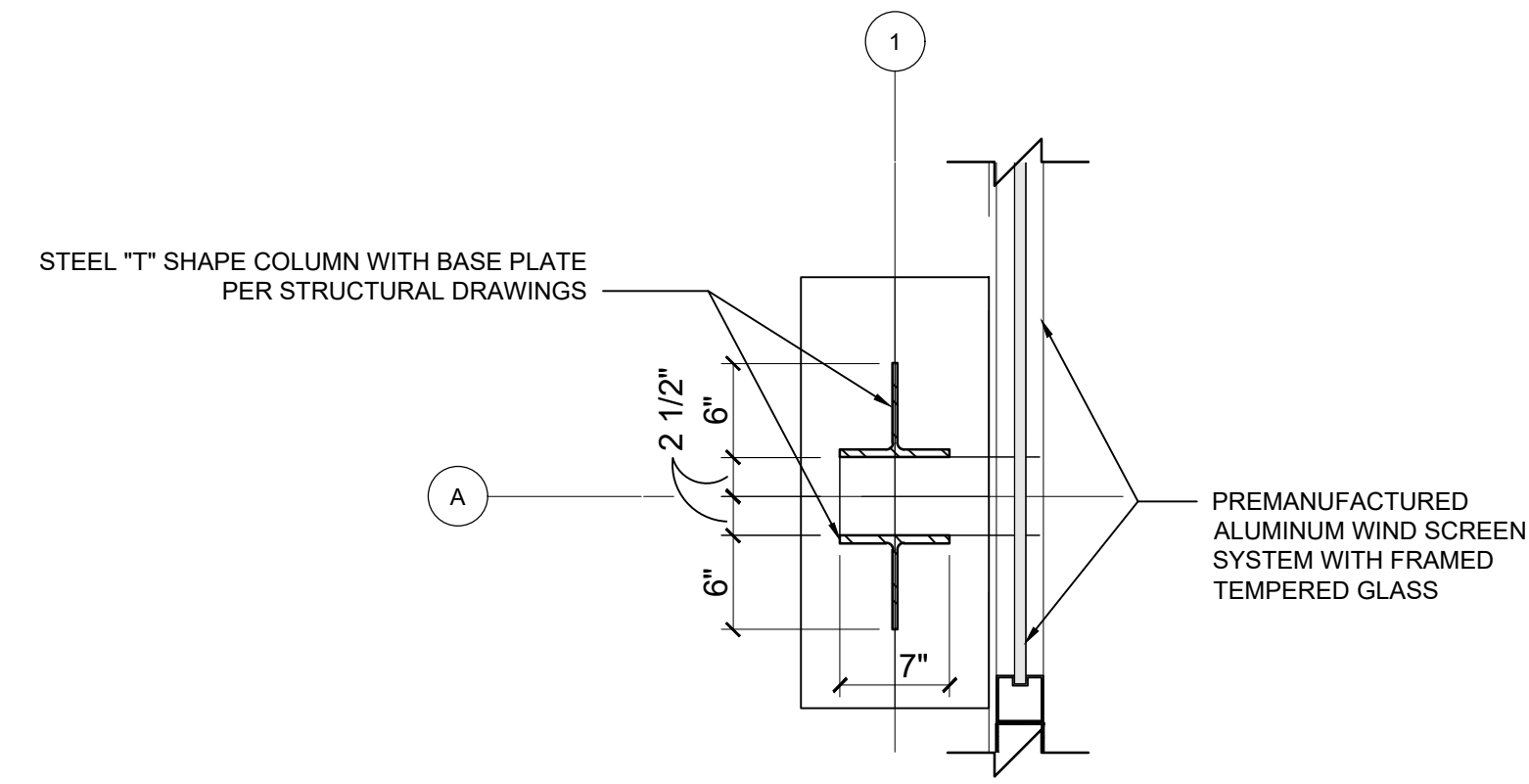
LEGEND:

- EXTG. DECIDUOUS TREE
- EXTG. JUNIPER OR CEDAR TREE
- CLEARING & GRUBBING
- REMOVE EXTG. ASPHALT, BASE MATERIAL AND OTHER CLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CONCRETE, BASE MATERIAL AND OTHER UNCLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CURB
- PROJECT WORKING EXTENTS
- CUT SLOPE
- ASPHALT SAWCUT

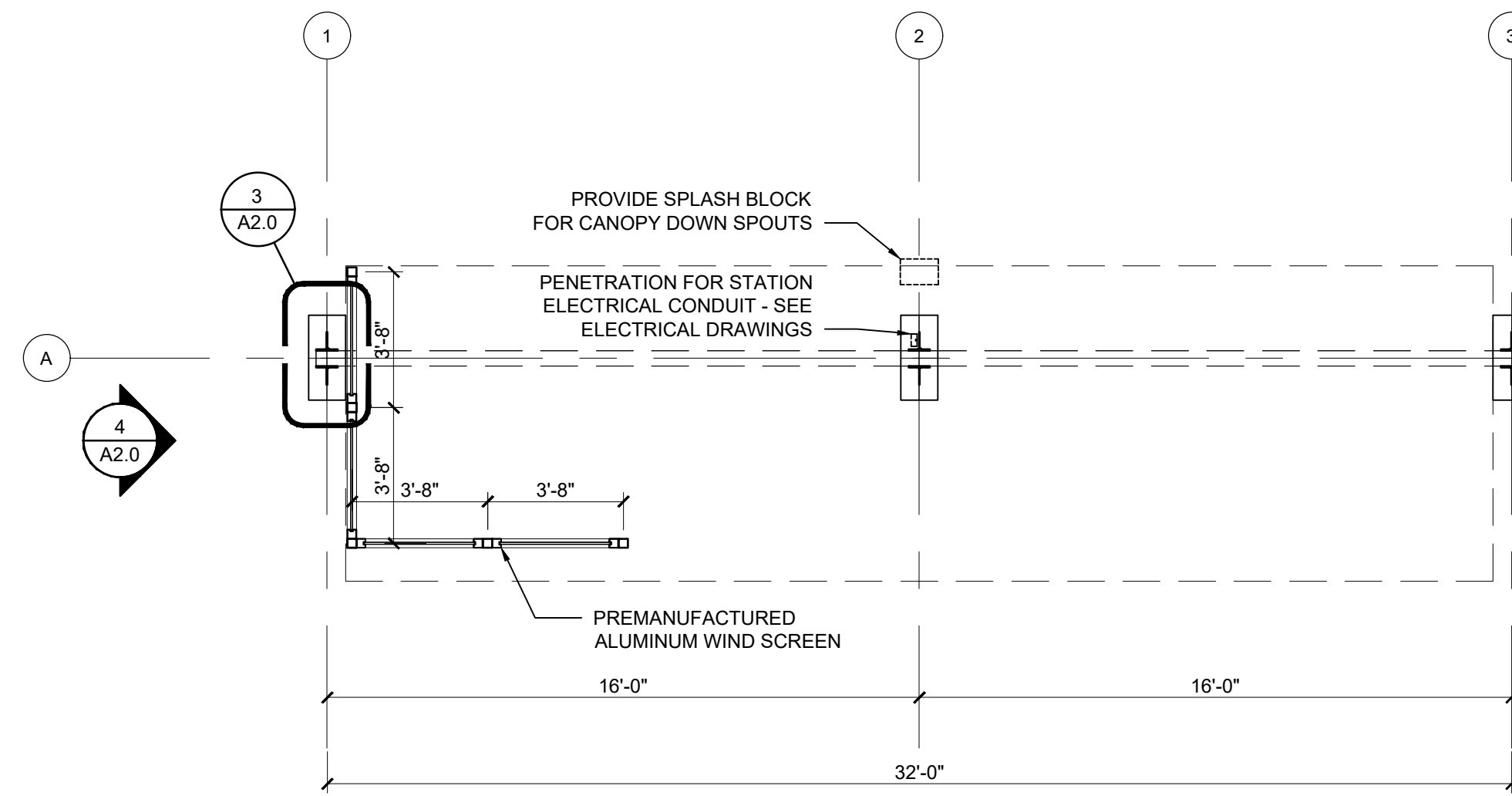
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DESIGNED BY: KE/SR/L
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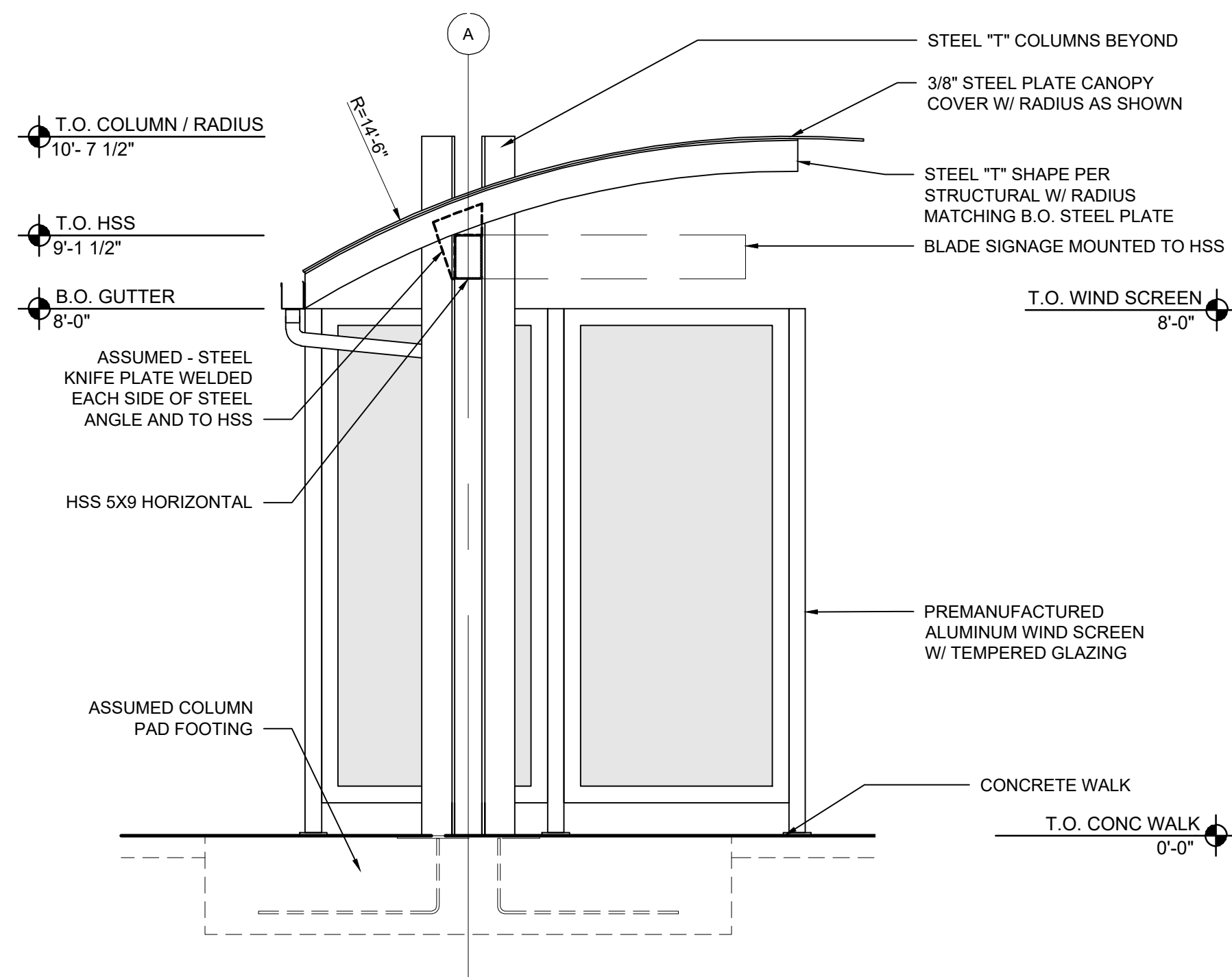
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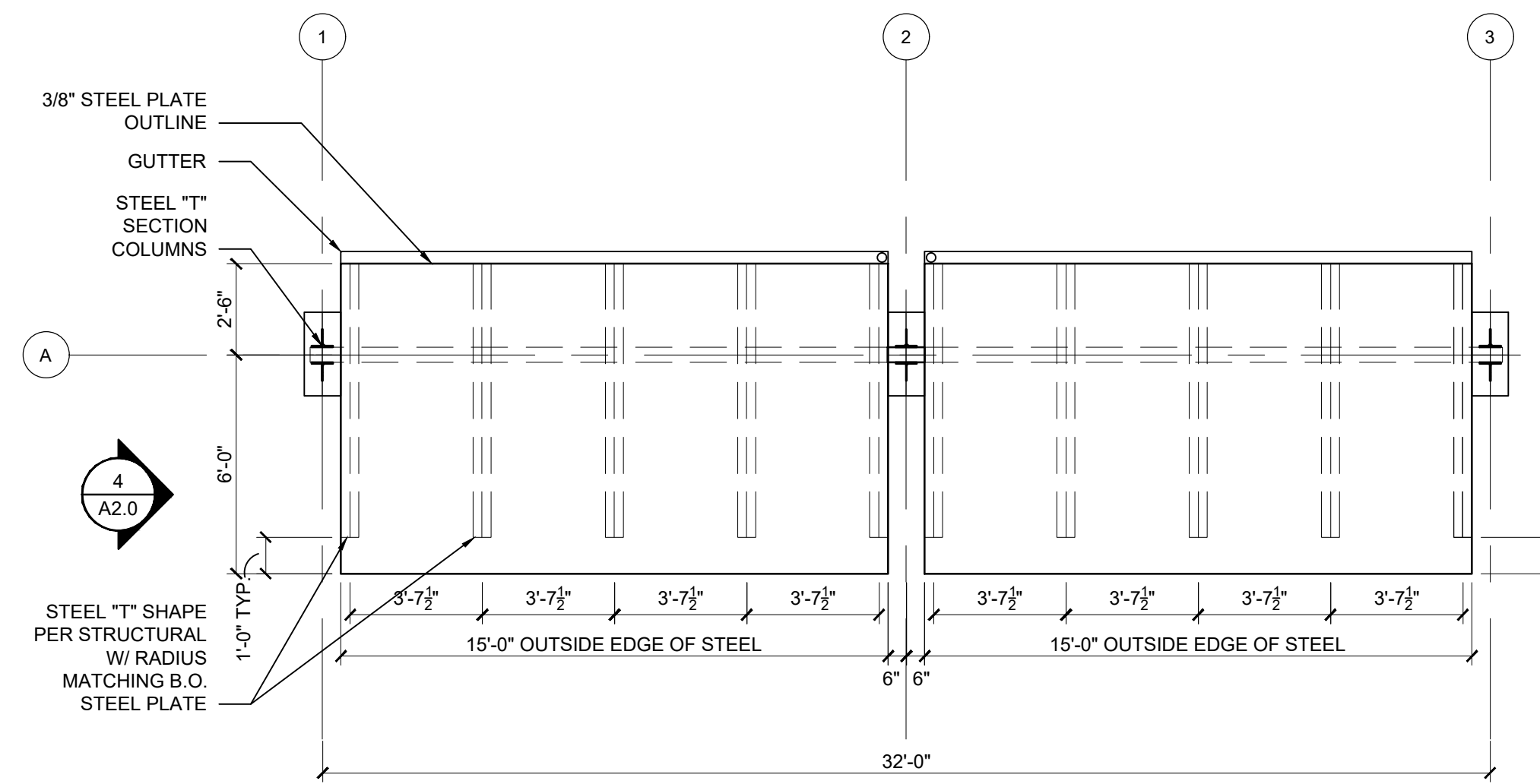
3 COLUMN BASE
A2.0 SCALE: 1"=1'-0"



1 SHELTER PLAN
A2.0 SCALE: 1/4"=1'-0"



4 ELEVATION
A2.0 SCALE: 1/2"=1'-0"



2 SHELTER ROOF PLAN
A2.0 SCALE: 1/4"=1'-0"

LINN-BENTON COMMUNITY COLLEGE
MOBILITY HUB
ARCHITECTURAL SHELTER AND WINDSCREEN
PLANS AND ELEVATIONS
CITY OF ALBANY

DATE: May 08, 2023 PROJECT NO.:

CITY OF ALBANY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
333 BROADALEIN ST SW, ALBANY, OR 97321

DESIGNED BY: EK
DRAFTED BY: MS
CHECKED BY: JS

REVISIONS

NO.	DATE:

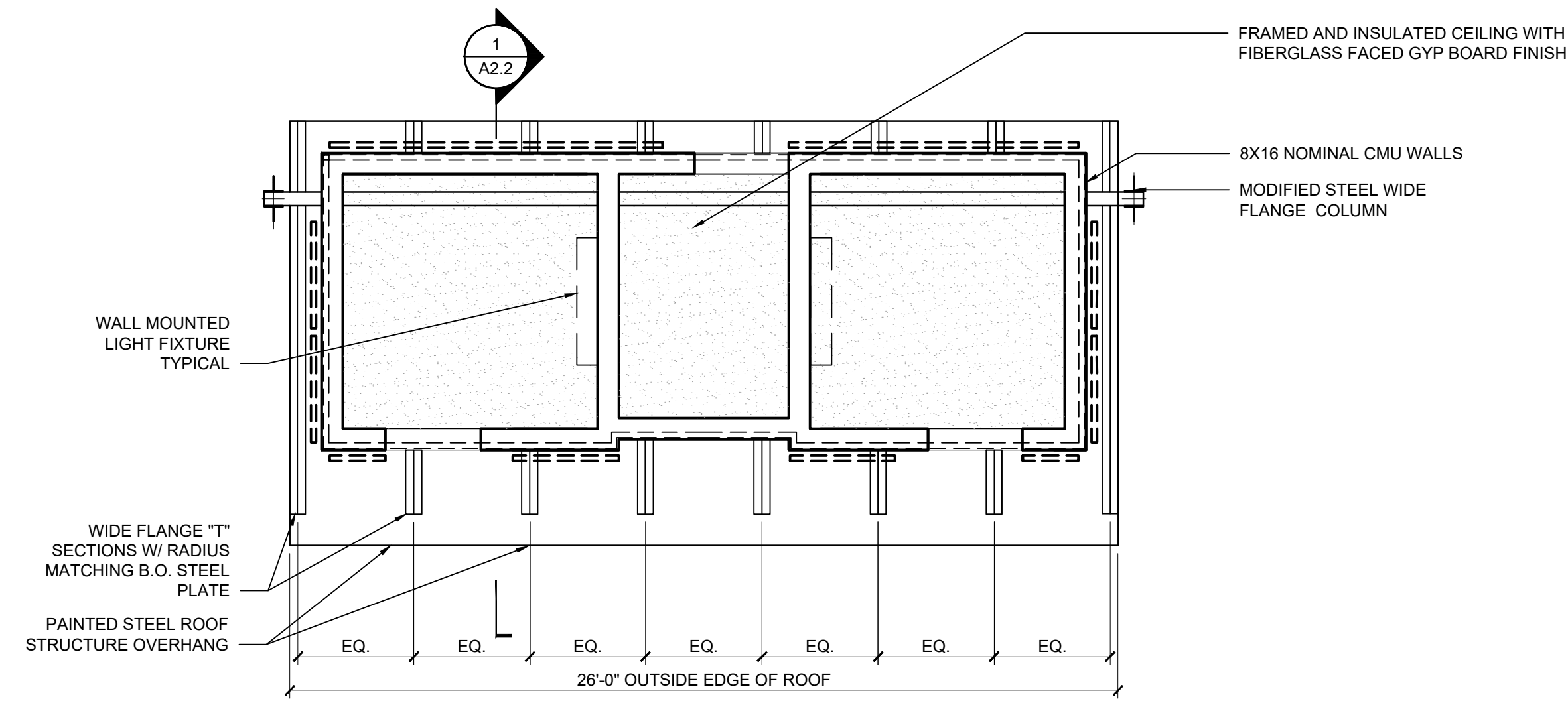
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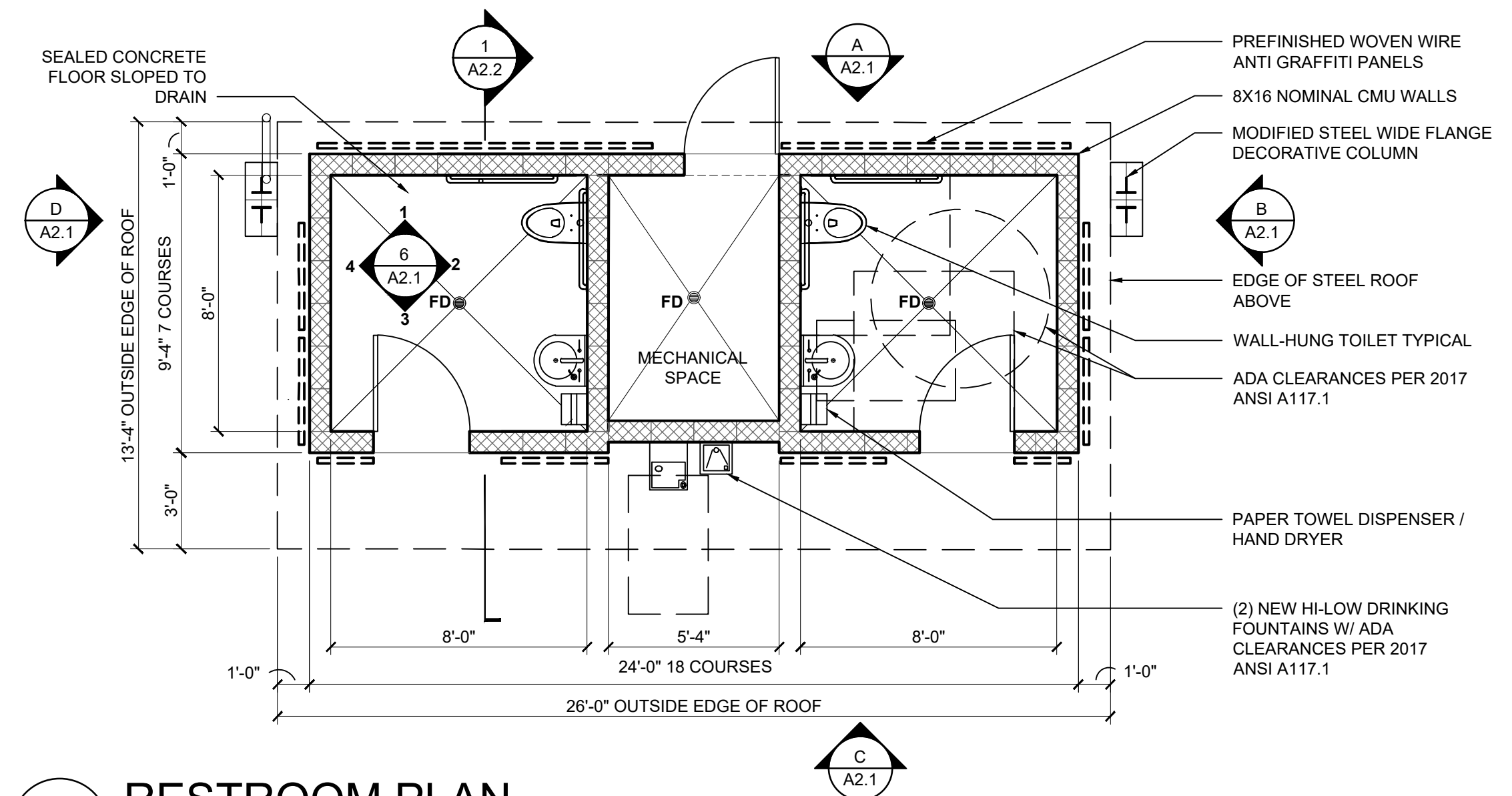
waterleaf



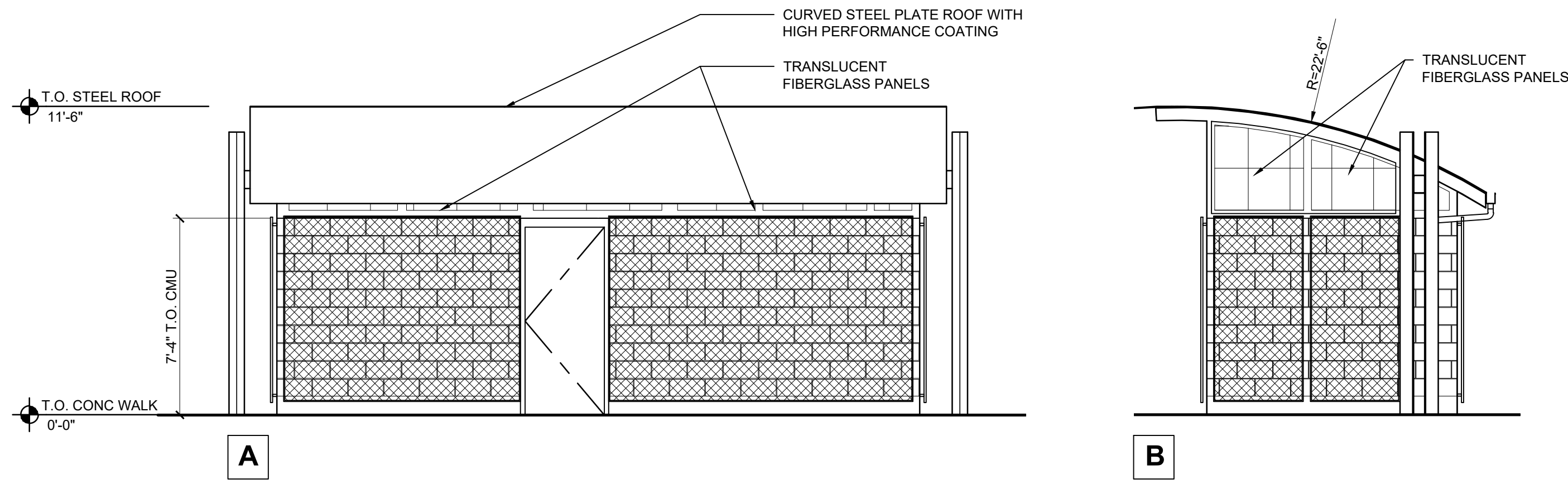
architecture, interiors & planning



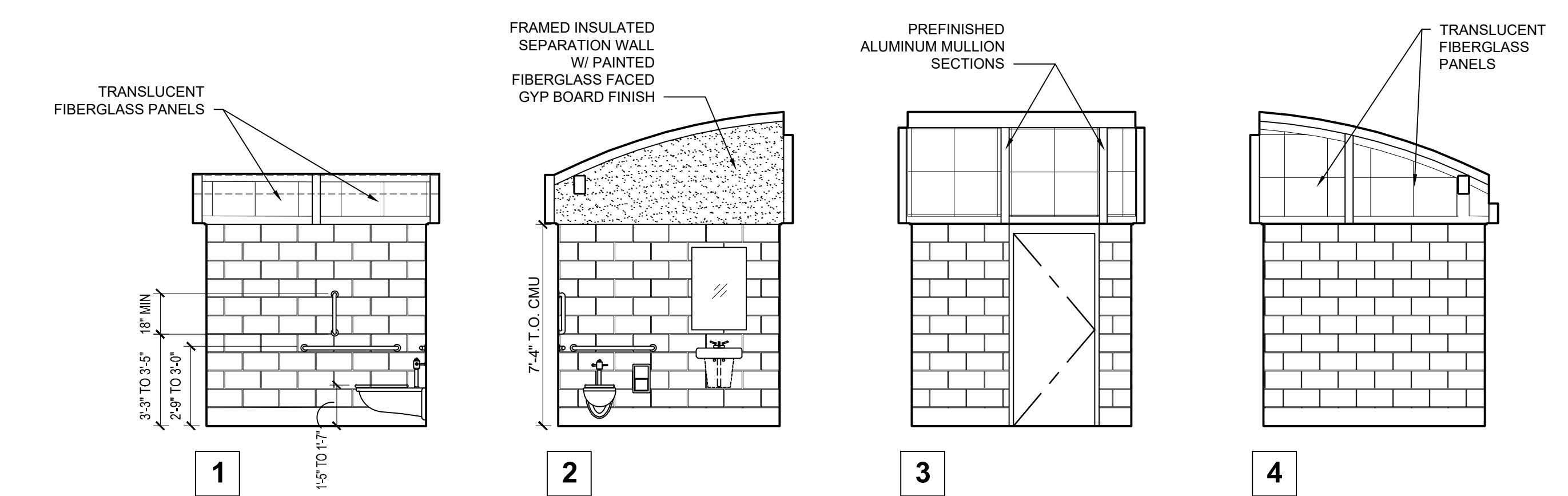
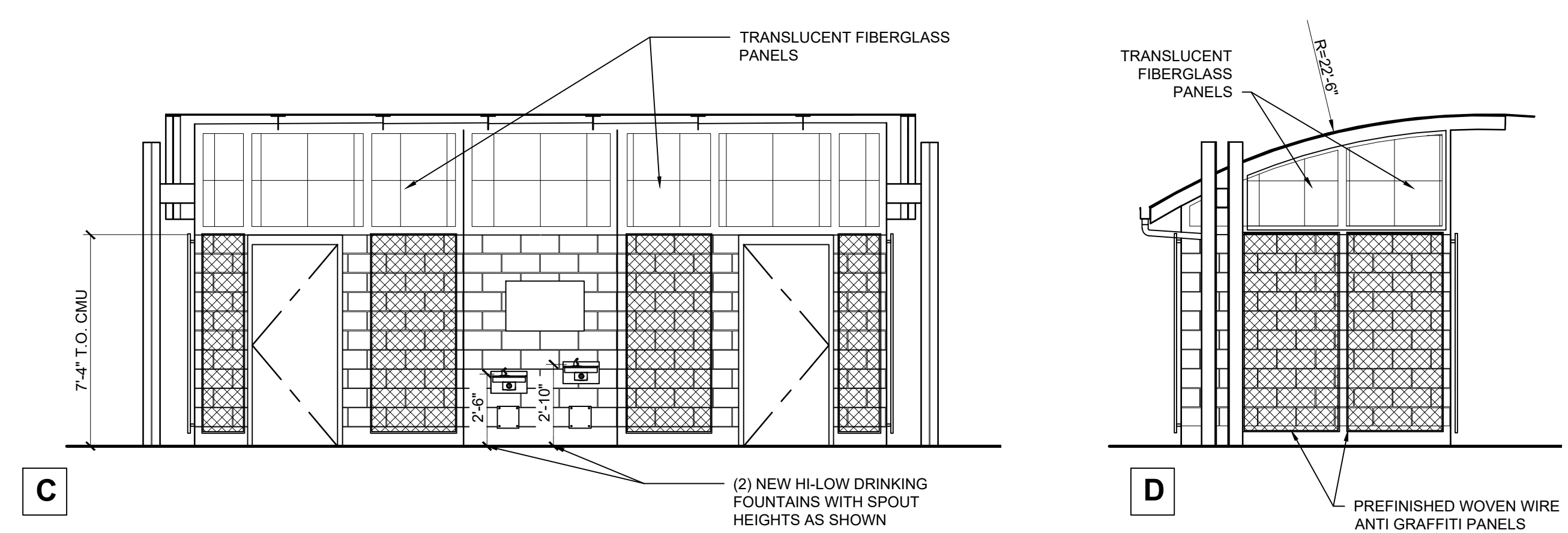
1 RESTROOM REFLECTED CEILING PLAN
 A2.1 SCALE: 1/4"=1'-0"



2 RESTROOM PLAN
 A2.1 SCALE: 1/4"=1'-0"



3 RESTROOM ENCLOSURE - EXTERIOR ELEVATIONS
 A2.1 SCALE: 1/4"=1'-0"

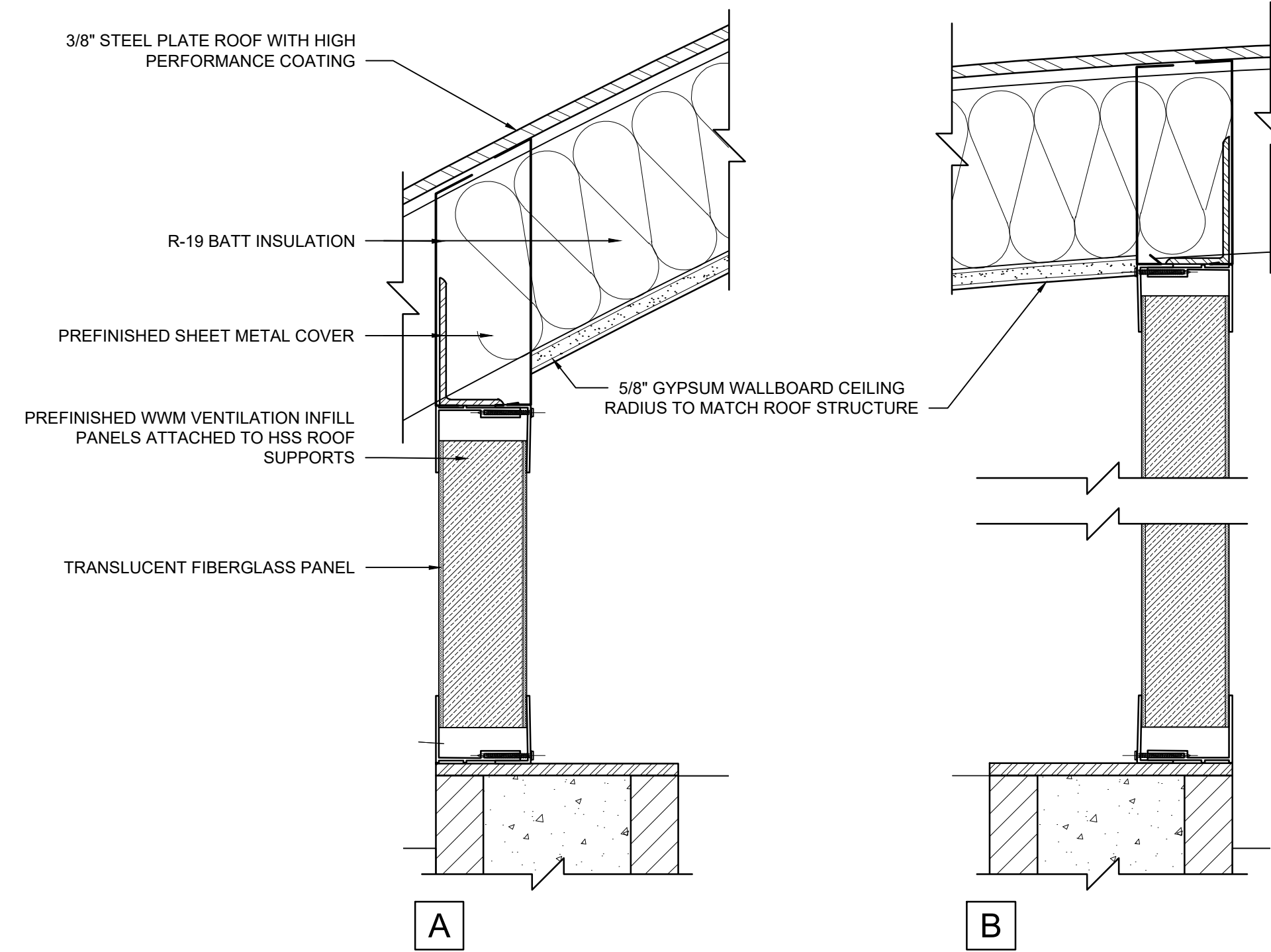


6 TYPICAL RESTROOM INTERIOR ELEVATIONS
 A2.1 SCALE: 1/4"=1'-0"

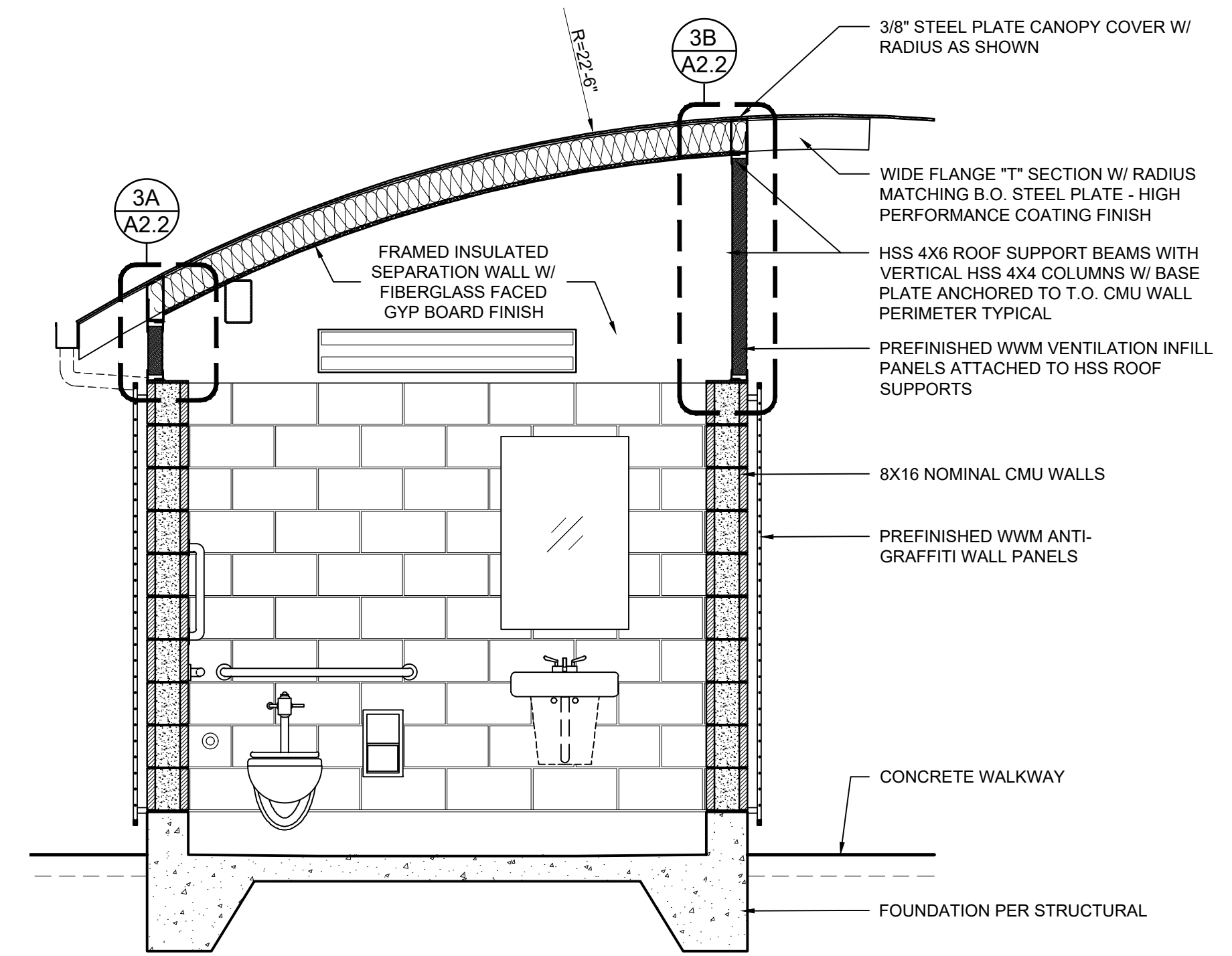
DESIGNED BY:	EK
DRAFTED BY:	MS
CHECKED BY:	JS

NO.	DATE:	REVISIONS





3 VENT GRILL DETAILS
A2.2 SCALE: 3/4"=1'-0"



1 RESTROOM SECTION
A2.2 SCALE: 1/2"=1'-0"

LINN-BENTON COMMUNITY COLLEGE
MOBILITY HUB
ARCHITECTURAL RESTROOM SECTIONS AND DETAILS
CITY OF ALBANY
DATE: May 08, 2023 PROJECT NO.:

CITY OF ALBANY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
333 BROADALEIN ST SW, ALBANY, OR 97321

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NO.	DATE	REVISIONS

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Application for Type IL Land Use Application
Site Plan Review – Modify Existing

6500 Pacific Blvd SW, Albany, OR 97322
11S04W25 TL1200

June 14, 2023

Project:	Mobility Hub at Linn-Benton Community College
Location:	6500 Pacific Blvd SW, Albany, OR 97322
Property ID:	11S04W25 TL1200
Applicant:	Sheldon Flom, Linn Benton Community College Kevin Nicholson, Linn Benton Community College
Applicant's Representative	Robin Scholetzky, UrbanLens Planning LLC
Owner:	Linn Benton Community College
Development Team:	Nick Meltzer, Cascades West Council of Governments (OWCOG) Ryan Farncomb, Adrianna Stanley, Kendra Ely, Seth Rankin, Parametrix Jon Styner, Ellen Krusi, Waterleaf Architecture
Site Zoning:	RS-6.5, Residential Single-Dwelling Unit District
Request:	SITE PLAN REVIEW- MODIFY EXISTING
Submittal includes:	01_City of Albany Application Form 02_Application Narrative/Approval Criteria (this document) 03_Intergovernmental Agreement 04_Engineering Plan set (selected sheets) 05_Architectural Plan set

I. Project Overview

A. Proposal

This project will construct a mobility hub on the existing circulating roadway for the south parking lots at Linn - Benton Community College, 6500 Pacific Blvd, SW.

Improvements will be constructed near the entrance to Takena Hall and the driveway approximately 400' east from the Hall. A two-lane one-directional private drive aisle where vehicles travel from east to west will be modified so that the interior lane provides markings for four (4) bus bays adjacent to the newly constructed curb. A new thickened sidewalk connection between existing sidewalks along the greenspace north of the bus bays will be constructed to facilitate maintenance access to utilities. The project will provide two open-air transit shelters and a small restroom facility will be constructed as part of the project. A footprint for a future mobility hub is also proposed as part of this project. The Hub shelter will be constructed at a later date.

The transit shelters will feature a distinctive curved steel roof canopy, as well as glass windbreaks to provide protection from the elements. The restroom building will utilize a similar roof form above CMU walls. The CMU will be clad in a steel wire mesh to provide visual interest as well as a deterrent against vandalism.

Minor amounts of building lighting will be provided as part of the improvements. The project will also run conduit for future electrical bus charging infrastructure and micro-mobility (bike or scooter share) elements as well as providing capacity to be 'solar-ready'. The project may also

provide real-time transit monitors at each of the shelters and miscellaneous routing signage. Should a signage permit be required, this will be requested as part of a separate sign permit.

Some private utilities will require protection and/or relocation as a result of the improvements. Water service for the restroom will be connected to existing private water mains on the subject property. Sanitary sewer service will connect to an existing private gravity sewer main on the subject property. Conduit for proposed and future electrical and communications connections will be provided. Electrical and communications connections will come from the building to the north. While very minor amounts of existing green space will be impacted, the project will not impact any trees on the site.

B. Context

The site is the Linn Benton Community College (LBCC) and the current use is Educational/Institutional. No changes to the site’s operations, uses or access is proposed as part of this request. The area proposed for modifications currently contains a transit area.

A PreApplication Conference was held on July 6, 2022 with City of Albany staff. As part of this meeting, staff noted a previous land use review: SP 27-18, which reflected a request and approval for other minor changes to the site.

II. Land use Review Code Criteria-Zoning Summary

A. Zoning Summary

This project is located within the RS 6.5, Residential Single-Dwelling Unit District.

A review of the applicable sections of the City’s zoning code and the application responses are found in **Table 1, Zoning Summary**.

Table 1, Zoning Summary

Standard/Reference	Code Summary	Applicant’s Response
Article 3 Residential Zoning Districts		
Table 3.190 Residential District Development Standards	Setbacks: Minimum Front: 15 feet Maximum Front: none Minimum Interior: 5-8 feet Minimum Building Separation: varies	This project is internal to the LBCC campus; no changes to existing setbacks is proposed as the work is internal to the site. This section is not applicable. Setbacks from the proposed shelters to the site extents are in excess of 500 feet in all directions. See Site Map, Cover Sheet provided with the Engineering Plan Set.
	Maximum Height: 30 feet Maximum Lot Coverage: 60% Minimum Open Space: not applicable Min. Landscaped Area: Yards adjacent to streets	The proposed transit structures will be approximately 10’ 6” in height, and the bathroom will be 11’ 6”, both are within the requirements. See Architectural Plan Set for detailed information.

Standard/Reference	Code Summary	Applicant's Response
		<p>Lot coverage for the existing site is approximately 40%: well under the maximum noted for this zone.</p> <p>See Table 2, Site Areas and Cover Sheet, Project Areas table for additional detail.</p> <p>No changes to yard areas adjacent to streets is proposed. This section is not applicable.</p>
3.350 Minimum Space Requirements.	Off-street parking shall be provided for all residential development in the amounts indicated in Article 9, Table 9.020-1. All parking lots in residential districts must comply with applicable requirements in Article 9.	No changes to off street parking in terms of quantities or circulation is proposed with this application.
3.360 Landscaping Requirements	Requirements. All front yards shall be landscaped in accordance with Section 9.140.	No changes to yard areas adjacent to streets is proposed. This section is not applicable.
3.370 Buffering and Screening	General. Buffering and screening may be required to offset the impact of development. See Sections 9.210 through 9.270.	This project is internal to the LBCC campus; no changes to existing setbacks is proposed. This section is not applicable.
3.380 Outside Storage	General. In any district, outside storage or display of materials, junk, parts, or merchandise shall not be permitted in required front setbacks or buffer areas.	No outside storage is proposed as part of this application. This section is not applicable
Article 8, Design Standards		
8.315 Commercial and Institutional Site Design	Purpose. These sections are intended to set threshold standards for quality design in commercial and institutional development..	Standards which are applicable to this project are responded to below.
8.330 Entrance Orientation and Parking Location.	The purpose of the entrance orientation and parking location standards is to help create an attractive streetscape and pleasant pedestrian environment that is conducive to walking, and to help further Crime Prevention Through Environmental Design (CPTED) principles such as natural surveillance of public spaces.	No changes to parking lot entrances or locations are proposed. This section is not applicable.
8.345 Façade design, articulation, and windows.	<p>The standards in this subsection are intended to provide architectural relief and visual interest to promote pedestrian-oriented design.</p> <p>These standards apply to new buildings (excluding accessory buildings). Standards include:</p> <ul style="list-style-type: none"> (1) Regulated facades (2) Façade design and articulation (3) Ground Floor Windows 	<p>This project is proposing transit shelters and a bathroom.</p> <p>The transit shelters are exempt from Item (1) as a result of their distance to the adjacent streets. Distances are in excess of 500 feet in each direction. See Site Map, Cover Sheet provided with the Engineering Plan Set.</p> <p>For item (2), the transit shelters, the buildings are not fully enclosed and therefore, this requirement may not be applicable to this project. However, the</p>

Standard/Reference	Code Summary	Applicant's Response
		<p>shelters themselves are providing <i>weather protection</i> as noted in item 2c and include a <i>decorative top</i> as noted in item 2d. The project is also providing contextually appropriate designs as noted in 2e, with the use of similar roof forms for both structures.</p> <p>For item (3), Ground Floor Windows, both buildings are located more than 50 feet from a street and are exempt per (3)b.1.</p> <p>These standards are not applicable for the bathroom building as it is considered an accessory structure as a result of its size—less than 750 square feet, per 8.345.1(b).</p>
8.350 Street Connectivity and Internal Circulation.	Circulation standards associated with pedestrians and a street edge.	This project is being proposed for the interior of the LBCC campus; no changes to existing site circulation are being proposed. This section is not applicable.
8.360 Pedestrian Amenities.	Per the point values per TABLE 8.360-2: Point Value of Pedestrian Amenities, this project is required to provide 1 point.	<p>This project is, at its nature, designed to provide amenities for users of the transit/mobility hub and for pedestrians passing through the site. These amenities include the following:</p> <p>Each shelter will include a bench with overhead weather protection. Total seating varies, but would likely be 4 people per bench, resulting in multiple points. The shelters will provide 64 lineal feet of weather protection, resulting in the provision of 12 points at 1 point per 5 linear feet of protection. The shelters will also have glass windbreaks to help shield pedestrians from the weather.</p> <p>Additionally, the project will be providing a number of bicycle parking racks, at approximately 10 bike spaces per shelter. As these bicycle spaces are not required, each shelter will provide 2 points toward the City's requirements.</p> <p>Lastly, the project is providing two separate restrooms, which will include a drinking fountain.</p>

Standard/Reference	Code Summary	Applicant's Response
		In total, this project is providing well over one point of amenities for the site, and in turn, for the campus.
8.370 Pedestrian and Bicycle Connections.	The intent of these standards is to help ensure convenient pedestrian and bicycle access to nearby streets, adjacent uses, and transit stops in compliance with the Transportation Planning Rule	No changes to pedestrian and bicycle connections are being proposed. This section is not applicable. However, this project, as a whole, is designed to provide stronger connections to the existing transit area with provision of new transit facilities, options for connections, and amenities that make it more pleasant to use transit.
8.380 Large Parking Areas.	This section applies when improvements to parking areas when at least 75 new parking spaces are proposed.	No physical changes to the parking area to the extent noted in the code (greater than 75 spaces) are being proposed. This section is not applicable.
8.390 Compatibility Standards.	This section is included to provide opportunities to increase the compatibility of commercial and institutional development with adjacent uses through the application of shielded lighting and screening.	This project is being proposed at the interior of the site. This is well-distanced from any adjacent properties because of the campus' size; this greatly reduces the possibility of impacts to adjacent uses. Additionally, no undue impacts from noise, glare, odors, dust, or vibrations are likely in any greater capacity than can be found currently on-site.
Article 9, On Site Development and Environmental Standards		
9.020 Off Street Parking	This section of the code includes requirements for off-street parking.	No changes to parking are being requested; this section is not applicable to this proposal.
9.140 Landscaping	This section of the code includes requirements for landscaping requirements in conjunction with development.	This project is not proposing any work within or adjacent to the site's property lines (setbacks). All work will take place at the interior of the site. The landscaping areas proposed as part of the Site Plan reflect minor sod removal and replacement of existing. No new landscaping areas are proposed to be created.
9.202 Tree Protection	City requirements for tree protection	No changes to trees on-site or tree removals are being proposed. This section is not applicable.
9.208 Buffering and Screening	This section of the code includes screening and landscaping requirements depending on adjacency to surrounding uses.	The development of the mobility hub is taking place at the interior of the site and this project is not proposing any improvements at the site's property lines or where it would abut a different use or zoning district. This section is not applicable to this proposal.

Standard/Reference	Code Summary	Applicant's Response
9.400 Environmental	9.435 Neighborhood Compatibility 9.440 Noise 9.450 Visible Emissions 9.460 Vibration 9.455 Water Quality 9.470 Odors 9.480 Glare and Heat 9.490 Insects and Rodents 9.500 Hazardous Waste	There will be very minimal impacts for these criteria for this project. There will not be any increases in noise, emissions, vibration, odors, or glare. Any materials stored on-site would be those expected with bathroom cleaning and would be considered 'household grade' in nature.
Article 12, Public Improvements		
12.060 Streets	The standards in this subsection refer to street access for projects and associated street improvements.	The greater LBCC campus has street access via Pacific Boulevard SW/Highway 99E and Allen Lane. See Site Map, Cover Sheet provided with the Engineering Plan Set. No changes to any of the public improvements for streets are proposed for this project.
12.290 Sidewalks	The standards in this subsection refer to improvements for sidewalks in conjunction with development.	No changes to any of the public improvements for Sidewalks are proposed as part of this project.
12.231 Street Trees	The standards in this subsection refer to requirements for street tree plantings in conjunction with development.	Changes proposed affect the interior of campus and do not trigger requirements for street trees. This section is not applicable.
12.330 Bikeways	The standards in this subsection refer to requirements for bikeways in conjunction with development.	No changes to any of the city bikeways are proposed as part of this project.
12.360 Utilities General	The standards in this subsection refer to requirements for connections to utilities in conjunction with development.	The greater LBCC campus contains connections to all expected utilities.
12.410 Water	The standards in this subsection refer to requirements for connections to water in conjunction with development.	Very minor modifications to existing public water and internal campus sanitary sewer hookups are proposed as a result of this project. The connections to these facilities will be made via existing interior connections and will not require any new direct connections to public facilities. See Utility Plan, provided with the Engineering Plan Set for additional information.
12.470 Sanitary Sewer	The standards in this subsection refer to requirements for connections to sanitary sewer in conjunction with development.	
12.530 Storm Drainage	The standards in this subsection refer to requirements for providing storm drainage facilities in conjunction with development. Preliminary storm drainage management plans and systems must be submitted to the City	Based on calculations noted in the Engineering Plan set, this project is under the threshold for any new storm drainage improvements.

Standard/Reference	Code Summary	Applicant's Response
	Engineer as part of the Tentative Plat or Site Plan Review application. These plans must provide enough information to enable the City Engineer to determine that the proposed development is feasible, but are not required to be detailed construction level documents.	See Table 2, Site Areas and Cover Sheet, Project Areas table.
12.590 Improvement Assurances	The standards in this subsection refer to requirements for financial assurances in conjunction with requirements of development.	Not applicable; no changes to public facilities are proposed and therefore, no bonding or other requirements are necessary.

Table 2, Site Areas

Area	Entire Site Existing	Proposed/Resulting Site
Structures/building	312,901 sq ft	1,038 sq ft (shelter areas)
Landscaping/grass area	1,960,502 sq ft (~60%)	1,957,355 sq ft (~60%)
Impervious surface*	1,326,608 sq ft (~40%)	1,329,755 sq ft (~40%) (new: 3,147 sq ft; replacement 3,929 sq ft)
TOTAL	3,287,704 (site size)	3,287,704 (site size)

*See Cover Sheet, Project Areas table for additional detail

** Lot coverage for R 6.5 zone is 60%

III. Review Criteria – Site Plan Review, Modification

SITE PLAN REVIEW

2.400 Purpose. Site Plan Review is intended to promote functional, safe, and attractive developments that maximize compatibility with surrounding developments and uses and with the natural environment. It mitigates potential land use conflicts through specific conditions attached by the review body. The review focuses on the layout of a proposed development, including building placement, setbacks, parking areas, external storage areas, open areas, and landscaping.

2.410 Section removed by Ordinance 5767 adopted December 7, 2011.

2.415 Procedure. An application for Site Plan Review shall be reviewed through either a Type I or Type I-L procedure, as indicated below.

(1) Single dwelling unit detached, two primary detached units, and middle housing development: Type I procedure.

(2) Multiple-dwelling unit development, units above or attached to a business, and manufactured home parks: Type I-L procedure.

(3) Non-residential development: Type I-L procedure.

Applicant Response: This is non-residential development and is therefore, a Type I-L procedure.

2.420 Relationship to Other Regulations. When a land use application is approved based on review criteria in this Code, the applicant must still comply with other applicable codes, ordinances, statutes, and regulations.

Applicant Response: This is understood by the Applicant.

2.430 Applicability. In general, Site Plan Review is intended for all new development within the city that specifically requires Site Plan Review as listed in Articles 3, 4 and 5. It applies to new construction, additions or expansions, site modifications, and changes in land use categories. Sites that contain a legal nonconforming use will be processed in accordance with Section 2.350.

(1) Any development that requires Site Plan Review, unless specifically exempt in Section 1.105.

(2) A change of use or reuse of a building or site when the use is allowed through Site Plan Review, and that requires construction of three or more new parking spaces, additional loading areas, or that modifies site circulation or access.

(3) Building additions or use expansions greater than 2,000 square feet or greater than 50 percent of existing building area, whichever is less, or any expansion that requires three or more new parking spaces, additional loading areas, or modifies site circulation or access.

(4) New parking areas or expansions to existing parking areas greater than 1,000 square feet (contiguous) or modifications that change site circulation or access.

(5) Temporary placement of a manufactured home for: (a) night watchman; (b) business office space during construction or remodeling; (c) building space for education, non-profit, and government

Applicant Response: This application falls under category (3): ...the project is proposing 167+ square feet of building area which is greater than 50% of existing, as existing is 0%.

2.440 Section removed by Ordinance 5767 adopted December 7, 2011.

2.450 Review Criteria – All Site Plan Review Applications. Site Plan Review approval will be granted if the review body finds that the application conforms with the Albany Development Code and meets all of the following criteria that are applicable to the proposed development.

(1) The application is complete in accordance with the applicable requirements.

Applicant Response: This is understood by the Applicant.

(2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

Applicant Response: Table 1 includes applicable provisions of the underlying zoning district, the RS 6.5 Residential Single Dwelling Unit district.

(3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Applicant Response: This project is not located within any of these special purpose districts. This criterion does not apply.

(4) The application complies with all applicable Design Standards of Article 8.

Applicant Response: Table 1 includes responses to all applicable standards in Article 8.

(5) The application complies with all applicable Design Standards of Article 10.

Applicant Response: This project is not proposing a Manufactured home, Manufactured housing or Manufactured home park. Therefore, these standards in Article 10 are not applicable.

(6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Applicant Response: Table 1 includes responses to applicable standards in Article 9.

(7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

(8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Applicant Response(s): Table 1 includes responses to applicable standards in Article 12.

(9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Applicant Response(s): No post-construction thresholds are being reached with this project and no changes are being proposed as part of this request.

(10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Applicant Response(s): The last land use decision for this site was noted by staff as SP 27-18. These requested changes will not affect this prior land use decision.

(11) Sites that have lost their non conforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.330.

Applicant Response(s): The site's non-conforming status is not a requirement of this application.

2.455 Review Criteria – Additional Criteria for Non-Residential Applications (including the non-residential portion of a mixed-use development). Site Plan Review approval will be granted if the review body finds that, in addition to meeting the review criteria in 2.450, the application meets all of the following criteria that are applicable to the proposed development.

(1) The transportation system can safely and adequately accommodate the proposed development.

Applicant Response: Although transit-related site improvements are being proposed with this project, no changes to the current transportation system as access to the site will result from this project.

(2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

Applicant Response: No changes to any parking areas which would affect vehicle entrance/exit points are proposed with this application.

(3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Applicant Response: As noted within Table 1, this project is located solely within the interior of the site and will have a negligible impact, if at all, on the surrounding land uses to the LBCC campus.

2.460 Conditions of Approval. The City may attach conditions to the approval of a Site Plan Review application in order to ensure that the proposal will conform to the applicable review criteria. Conditions of approval should be specific to the proposal and the facts set in the staff report for the application. In addition to conditions of approval, a list of general Code provisions that apply to the application may be attached to the approval.

2.465 Approved Plans are Final. Projects shall be completed according to the approved site plan and landscape plan. Modifications to approved plans are subject to the standards in Section 1.330.

Applicant Response(s): These are understood by the Applicant for these criteria.

2.490 Application Contents. A Site Plan Review application must include:

(1) A completed application form. The application shall be signed by the subject property's owner(s) and/or the owner's legal representative(s). If a legal representative is used as a signatory, written proof of ability to be a signatory shall be furnished to the City. The owner's name(s) and address, and the applicant's name, address, and signature shall also be provided.

Applicant Response: This has been included with the application package. The associated Intergovernmental Agreement (IGA) has been provided in order to provide documentation that the applicant is a legal signatory for the site and the Community College.

(2) A written narrative describing the proposed development and explanation of how the development satisfies applicable Albany Development Code standards and review criteria, including information required by Article 6 – Natural Resource Districts.

Applicant Response: The narrative is this document which has been included with the application package.

(3) One set of conceptual drawings, including floor plans, lighting details, and building elevations and materials.

Applicant Response: This has been included in this application package. See Architectural Plan Set for details.

(4) A conceptual landscape plan showing the type and location of proposed landscaping and screening, including any vegetated post-construction stormwater quality facilities.

Applicant Response: No additional landscaping is being proposed other than minor replacements of existing sod as part of construction. A separate landscaping plan has not been provided.

(5) A site plan showing the following applicable information:

Applicant Response: A site plan meeting the applicable information noted in 5.a through bb has been included with this application submittal.

2.500 Appeals. A Site Plan Review decision is a limited land use decision and may be appealed in accordance with Sections 1.220 and 1.410. [Ord. 5445, 4/12/00; Ord. 5947, 1/01/21]

Applicant Response: This is understood by the Applicant.