

COMMUNITY DEVELOPMENT DEPARTMENT

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STAFF REPORT

Conditional Use Review – New Modular Classroom North Albany Elementary School

EXECUTIVE SUMMARY

The Greater Albany Public School District (GAPS) requests Conditional Use approval to place a two-classroom, 28-foot by 64-foot modular building with additional landscaping by the existing North Albany Elementary School. The modular unit contains two classrooms and is proposed to be located to the rear of the northeastern portion of the existing school buildings. No site improvements are proposed outside the immediate vicinity of the location of the modular unit and associated sidewalk connections.

Conditional Use Review criteria contained in Albany Development Code (ADC) 2.250 are addressed in this report. These criteria must be satisfied to grant approval for this application.

APPLICATION INFORMATION

DATE OF REPORT: March 28, 2018

FILE: CU-03-18

TYPE OF APPLICATION: Conditional Use Review to add a two-classroom, 28-foot by 64-foot modular building with additional landscaping to the existing North Albany Elementary School.

REVIEW BODY: Planning Staff (Type II)

PROPERTY OWNER / APPLICANT: Russ Allen, Greater Albany School District, 718 Seventh Avenue SW, Albany, OR 97321

REPRESENTATIVE: Rich Catlin, Reece & Associates Inc.; 321 1st Avenue E., Suite 3A, Albany, OR 97321

ADDRESS/LOCATION: 815 East Thornton Lake Drive NW

MAP/TAX LOT: Linn County Assessor's Map No. 10S-04W-36DD Tax Lot 700 and 800

ZONING: RS-10 – Residential Single-Family District

EXISTING LAND USE: North Albany Elementary School

SURROUNDING ZONING:
North: RS-10 (Residential Single Family)
South: RS-6.5 (Residential Single Family)
East: RS-10 (Residential Single Family)
West: RS-10 (Residential Single Family)

- 1.5 Operating Characteristics of the Proposed Use. The subject site consists of approximately 7.7 acres at the northeast corner of East Thornton Lake Drive and North Albany Road intersection. The site also abuts the access for North Albany middle school along the north site boundary. North Albany Elementary School has been in operation at this location for many years. The school buildings are centrally located on the site with parking and public access to the south west via East Thornton Lake Drive and playing fields in the western portion of the site.

The applicant indicates that the existing school generally operates Monday through Friday for nine months during the year, from September to June. Staff hours range from 8:00 a.m. to 5:00 p.m., and student hours are generally 8:30 a.m. to 3:30 p.m. After hours, the school is occasionally used for practice space for community youth sporting activities both on the field behind the school and in the gymnasium. During summer/spring/winter break periods, the school is used infrequently for similar activities. Community groups will also occasionally use the library as meeting space.

The proposed modular building will contain two new classrooms. Access to the site would continue from East Thornton Lake Road. Students and staff would continue to enter at the main entrance and proceed through the existing building to the new modular. The playground would also continue in use in the existing location. Therefore, the operating characteristics of the school would be unaltered by the introduction of the modular building.

CONCLUSIONS

- 1.1 The proposed modular unit will add two classrooms and the additional students will not substantially change the use or the operating characteristics of the existing school.
- 1.2 The proposed use is consistent with the intended character of the base zone and the operating characteristics of the neighborhood.
- 1.3 This criterion is met without conditions.

Criterion (2) The proposed use will be compatible with existing or anticipated uses in terms of size, building scale and style, intensity, setbacks, and landscaping or the proposal calls for mitigation of differences in appearance or scale through such means as setbacks, screening, landscaping or other design features.

FINDINGS

- 2.1 Proposed Use. The proposed use and its operating characteristics are described under criterion one above, which are incorporated here by reference.
- 2.2 Existing and Anticipated Uses. The operating characteristics of the surrounding neighborhood are described under criterion one above, which are incorporated here by reference.
- 2.3 Development Standards. The subject property is zoned RS-10. ADC 3.190, Table 1 establishes minimum requirements for development within the RS-10 zone with respect to size, building scale, intensity, setbacks, and landscaping.

Building Height. The proposed single-story modular unit will be approximately 15 feet high, well under the 30-foot maximum height allowed in the RS-10 zoning district.

Setbacks. The minimum setbacks in the RS-10 zone are 20 feet on the front and five feet on the interior for single story structures. In addition, ADC 3.330 requires a 25-foot special setback for educational buildings from any property line adjoining or across the street from a residential district. As illustrated in Attachment C, the proposed modular building will be placed west of the existing school buildings, and it will be setback 28 feet from the northern property line, 199 feet from the eastern property line and 217 feet from the southern property line.

Lot Coverage. The maximum lot coverage in the RS-10 zone is 50 percent. The existing school building, covered play area, and modular occupy approximately 24,000 square feet of area, and the parking area is

28,500 square feet in area. The proposed modular is 1,800 square feet in size, which will bring the lot coverage up to 54,300 square feet or 16 percent of the 7.7-acre site.

- 2.4 Building Style. The proposed modular building is one-story construction, consistent with the existing school building. The style is simple without articulation and decorative features of note as is typical of prefabricated structures used for classroom use. The applicant indicates that the proposed modular is very similar to the existing school in appearance, and the roof height of the new building is lower than the existing main building and will be similar in color.
- 2.5 Vehicle Parking – Required Number. Albany Development Code 9.020, Table 1, specifies minimum parking requirements for various uses. The parking ratio specified for elementary schools is one (1) parking space per classroom plus one (1) space per two (2) employees. The applicant states that the proposed modular would increase the number of classrooms to 16 and employees to 16. Based on the parking ratio, a minimum of 24 parking spaces are required and 32 spaces are provided in the existing parking lot.
- 2.6 Design Standards. The proposed use is subject to the Commercial and Institutional Site Design standards beginning of ADC 8.310. These standards are intended to facilitate quality design in new commercial, mixed-use, and institutional development.

The proposed modular unit is considered a building addition under the building code and functions as part of the existing school buildings. The proposed modular unit does not include a customer entrance for the school or otherwise affect the design and function of existing parking, vehicular access, and onsite circulation. As such, many of the design standards do not apply because they focus on new buildings, commercial uses, or development features that are neither proposed nor required in conjunction with the proposed modular unit.

Specifically, the building orientation standards of ADC 8.330 do not apply because they are specific to new buildings and customer entrances. The general building design standards of ADC 8.340 and the street connectivity and internal circulation standards of ADC 8.350 do not apply because they are specific to new commercial buildings and new vehicle circulation systems. The parking area requirements of ADC 8.380 do not apply because the proposed use does not involve the addition of more than 75 parking spaces in conjunction with commercial development. The compatibility standards of ADC 8.380 are not applicable because they apply to commercial development.

Regarding pedestrian amenity requirements of ADC 8.360, the subject site is fully developed for elementary school use including play area, ball fields, benches, and other amenities for outdoor use by students and visitors, which meet and exceed the pedestrian amenity requirements.

The pedestrian connection requirements of ADC 8.370 are also met. The site is fully developed for school use with internal pedestrian connections. Pedestrian access to the site would continue from East Thornton Lake Road. The pedestrian pathway between the elementary school and the North Albany Middle School will also remain. Students and staff would continue to enter at the main entrance and proceed through the existing building to the new modular. The proposed modular unit will be fully integrated with the existing school buildings and a pedestrian walkway will connect the new modular with the adjacent school buildings. The school site is not located near existing or planned transit stops. No additional pedestrian connections are required to meet the design standards.

- 2.7 General Landscaping. With respect to the landscaping requirements at ADC 3.360, the school site is already fully developed with an established school and the majority of the property and street frontage is landscaped with grass, shrubs, mature trees, play areas, and other outdoor amenities which will remain in place with the addition of the new modular unit.
- 2.8 Buffering and Screening. Buffering and screening between different types of uses is required in accordance with the Buffer and Screening Matrix (Table 9-4). ADC 9.210 states that where a use abuts a different type of use except for separation by right-of-way, buffering, and not screening, is required.

Where a use abuts undeveloped property, only one half of the buffer width specified in the matrix is required.

The Buffer and Screening Matrix does not include a use category for public or institutional uses, such as schools. The category most closely resembling a school use is “commercial/professional use.” The matrix specifies a 10-foot buffer for proposed commercial/professional uses adjacent to residential uses. The minimum improvements within a buffer area are:

- 1) At least one row of trees. Deciduous trees will be not less than 10 feet high at time of planting and spaced not more than 30 feet apart; evergreen trees will be five feet high at time of planting and spaced not more than 15 feet apart.
- 2) At least five five-gallon shrubs or ten one-gallon shrubs for each 1,000 square feet of required buffer area.
- 3) The remaining area treated with attractive ground cover (e.g., lawn, bark, rock, ivy, evergreen shrubs) (ADC 9.240).

Except for the vacant residential property to the north, the proposed modular building is already buffered by existing development and landscaping. Except for the area immediately north of the location of the proposed modular building, a site visit and aerial photos verify that mature landscaping exists along the north property boundary. A 25-foot wide right-of-way and a vacant residentially zoned property is located north of the proposed modular building. Therefore, only one-half of the buffer width is required.

Although a detailed landscape plan and irrigation was not submitted, the site plan (Attachment C) shows a five-foot-wide, 200-foot-long buffer along the north property line with one row of trees a minimum of 10 feet tall planted, spaced a maximum of 30 feet on center with five five-gallon shrubs and grass ground cover.

- 2.9 Irrigation. Per ADC 9.160, all required landscape areas shall be provided with a piped underground irrigation system, unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plant materials do not require irrigation.

CONCLUSIONS

- 2.1 The proposed use will be compatible with existing or anticipated uses in terms of size, building scale, and style.
- 2.2 As proposed, the new modular building will comply with the setback, building height, and lot coverage standards.
- 2.3 The proposal complies with applicable design standards.
- 2.4 As presented in the site plan, a landscaped buffer is proposed along the north property line adjacent to the proposed modular building to meet the buffering standards. A detailed landscape and irrigation plan will be required to meet minimum code requirements.
- 2.5 As conditioned, the proposed modular building meets the applicable development standards and will be compatible with existing or anticipated uses in terms of intensity, setbacks, and landscaping.

CONDITIONS

1. Landscape buffering shall be provided between the northern property boundary and the proposed modular building, in accordance with ADC 9.240. As proposed on the site plan, landscaping shall include a five-foot-wide, 200-foot-long buffer with one row of trees a minimum of 10 feet tall planted, spaced a maximum of 30 feet on center with five five-gallon shrubs, and grass ground cover.
2. The required buffer shall be provided with a piped underground irrigation system unless the applicant submits written verification from a licensed landscape architect, landscape construction professional, or certified nurseryman that the proposed plant materials do not require irrigation.

3. Prior to issuance of a building permit, the applicant shall submit a landscape plan, and irrigation plan (as needed), for Planning Division verification of compliance and approval.
4. Prior to issuance of a certificate of occupancy, the applicant shall complete the installation of required buffer landscaping and irrigation (if any) in accordance with the approved landscape plan.

Criterion (3) The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, on-street parking impacts, access requirements, neighborhood impacts and pedestrian safety.

FINDINGS

- 3.1 The proposed development will locate a modular classroom on the North Albany Elementary School grounds. The site is located on the east side of North Albany Road and north of East Thornton Lake Drive.
- 3.2 Albany's Transportation System Plan (TSP) does not identify any capacity or level of service problems adjacent to the proposed development.
- 3.3 North Albany Road is classified as a minor arterial street and is constructed to city standards. Improvements include curb, gutter, and sidewalk; a vehicle travel lane in each direction; a two-way center left turn lane; and on street bike lanes.
- 3.4 The applicant was not required to submit a traffic study with the application. Staff has estimated trips that will be generated by the new classroom the 6th edition of ITE's Trip Generation guidelines. The project is expected to generate an additional 28 vehicle trips per day on the public street system, of which two are expected to occur during the peak PM traffic hour.
- 3.5 School bus traffic for the Elementary School currently shares a driveway with the adjoining Middle School in order to utilize a traffic signal when making turn movements to and from North Albany Road. The volume of traffic that currently uses the driveway when school gets out has routinely resulted in queue lengths that back up to the signal and impact movements along North Albany Road. The School District has acknowledged that the operational characteristics at both schools, particularly end times, contributes to the congestion. The School District is exploring options for school year 2018-19 to resolve this issue.

CONCLUSIONS

- 3.1 The project will construct a modular classroom at North Albany Elementary School. The classroom will generate about 28 new vehicle trips per day and two peak PM hour trips on the public street system.
- 3.2 The project side has frontage on North Albany Road. The road is improved to city standards.
- 3.3 Albany's TSP does not identify any capacity or level of service problems adjacent to the development.
- 3.4 Some congestion does currently occur along North Albany Road when classes get out. That congestion results from a queue issue on the school site and is not the result of a capacity deficiency on the public street system. The School District is exploring options for school year 2018-19 to resolve this issue.
- 3.5 The public street system can accommodate the proposed development.
- 3.6 This criterion is met without conditions.

Criterion (4) Public services for water, sanitary and storm sewer, water management and for fire and police protection are capable of servicing the proposed use.

FINDINGS

- 4.1 Sanitary Sewer. City utility maps show a 24-inch public sanitary sewer main in North Albany Road and an eight-inch main in East Thornton Lake Drive. The applicant is proposing no plumbing in the modular building.

- 4.2 Water. City utility maps show a 20-inch public water main in North Albany Road, and eight-inch mains in East Thornton Lake Drive and the private driveway that serves the middle school to the north. The applicant is proposing no plumbing in the modular building.
- 4.3 Storm Drainage. City utility maps show a 42-inch public storm drainage line in North Albany Road. Roof drainage from the proposed structure must be discharged to a location acceptable to the City Engineer and the Building Official. Because the project will not create or replace over 8,100 square feet of impervious surface, no storm water quality facilities will be required.
- 4.4 Police and Fire. The City's Police and Fire Departments provide police and fire protection to the school now and the addition of the modular unit will not adversely affect these services.

CONCLUSIONS

- 4.1 No plumbing is proposed for the new modular classroom.
- 4.2 Roof drains must be discharged to a location acceptable to the City Engineer and the Building Official.
- 4.3 Albany fire and police providers are capable of servicing the proposed development.
- 4.4 This criterion is met without conditions.

Criterion (5) The proposal will not have significant adverse impacts on the livability of nearby residentially zoned lands due to: (a) Noise, glare, odor, litter, and hours of operation; (b) Privacy and safety issues.

FINDINGS

- 5.1 The proposed modular will be located on the northeast side of the existing elementary school. Residentially zoned lands are located to the north, south, and west of the existing school site. The nearest homes are located approximately 300 feet south, and the next closest home is approximately 450 feet to the north. The proposed modular unit will be separated from residential zoned property to the north, south, and west by a combination of landscaping, streets and drives, and existing buildings.
- 5.2 Noise. Use of the modular building for classrooms, as proposed, is not expected to significantly increase noise levels generated from the site.
- 5.3 Glare. The applicant's site plan indicates that new lighting will be provided along the exterior walls of the existing and new buildings to light sidewalk connections as necessary for exiting. The application states that new lighting will be down-lit to prevent light trespass.
- 5.3 Odors. The proposed classroom building and associated activities are not expected to generate odors, and no new odor-generating facilities or activities are proposed.
- 5.4 Litter. No new trash facilities or changes to trash collection for the larger school facility are proposed in conjunction with the Conditional Use request. Available evidence does not indicate the need for additional measures with respect to litter collection.
- 5.5 Hours of Operation. The existing school generally operates Monday through Friday for nine months during the year from September to June. Staff hours range from 8:00 a.m. to 5:00 p.m., and student hours are generally 8:30 a.m. to 3:30 p.m. After hours, the school is occasionally used for practice space for community youth sporting activities both on the field behind the school and in the gymnasium. During summer/spring/winter break periods, the school is used infrequently for similar activities. Community groups will also occasionally use the library as meeting space. These uses and hours of operation will not change as a result of the new classroom building, and no new impacts related to the hours of school operation are anticipated.
- 5.6 Privacy/Safety. The proposed modular unit is separated from residential development and residential zoned lands by existing buildings, streets, and vegetation. Student behavior and activity is monitored by

school staff. The proposed modular unit does not present any safety issues that would require additional measures beyond those that will be addressed through the building permit review process.

CONCLUSIONS

- 5.1 The proposal will not have significant adverse impacts on the livability of nearby residentially zoned land.
- 5.2 This review criterion is met without conditions.

Criterion (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

FINDINGS

- 6.1 The Floodplain overlay district (/FP) is the only special purpose district applicable to the subject property. The property is not shown in any other special purpose district in Comprehensive Plan Plate 3 (Natural Vegetation and Wildlife Habitat), Plate 4 (Streams, Rivers and Lakes), Plate 5 (Floodplains), Plate 6 (Wetlands), Plate 7 (Steep Slopes), or Plate 9 (Historic Districts). Also, the subject property is not located in an Airport Approach area per ADC Article 4, Figure 4-1.
- 6.2 *Article 6, Comprehensive Plan, Plate 5: Floodplains:* The National Flood Insurance Program (NFIP), Flood Insurance Rate Map (FIRM) Community Panel Number 41043C0213H, dated December 8, 2016, shows the western portion of the subject property, west of the existing school building, to be located within Zone AE, an area determined to be within the Special Flood Hazard Area (SFHA), commonly referred to as the 100-year floodplain, with a Base Flood Elevation (BFE) of approximately 202 feet North American Vertical Datum of 1988 (NAVD '88).
- 6.3 The proposed modular classroom will serve the North Albany Elementary School, and schools are considered a "critical facility" per definitions of ADC 6.075. According to ADC 6.113, "Construction of new critical facilities, and additions to critical facilities built after September 29, 2010, shall be, to the maximum extent feasible, located outside the limits of the Special Flood Hazard Area (100-year floodplain)."
- 6.4 According to the FIRM the applicants Site Plan (Attachment C), the proposed modular classroom will be located entirely outside of the 100-year floodplain, where the ground elevation is a minimum of 205.4 feet (NAVD '88) or higher.

CONCLUSIONS

- 6.1 The only special feature of note under this review criterion is the portion of the subject property located in the floodplain overlay district; however, as presented in the application, the modular classroom will be located outside of the 100-year floodplain.
- 6.2 This criterion is met without conditions.

OVERALL CONCLUSION

As proposed and conditioned, the application for Conditional Use Review satisfies all applicable review criteria as outlined in this report.

CONDITIONS OF APPROVAL

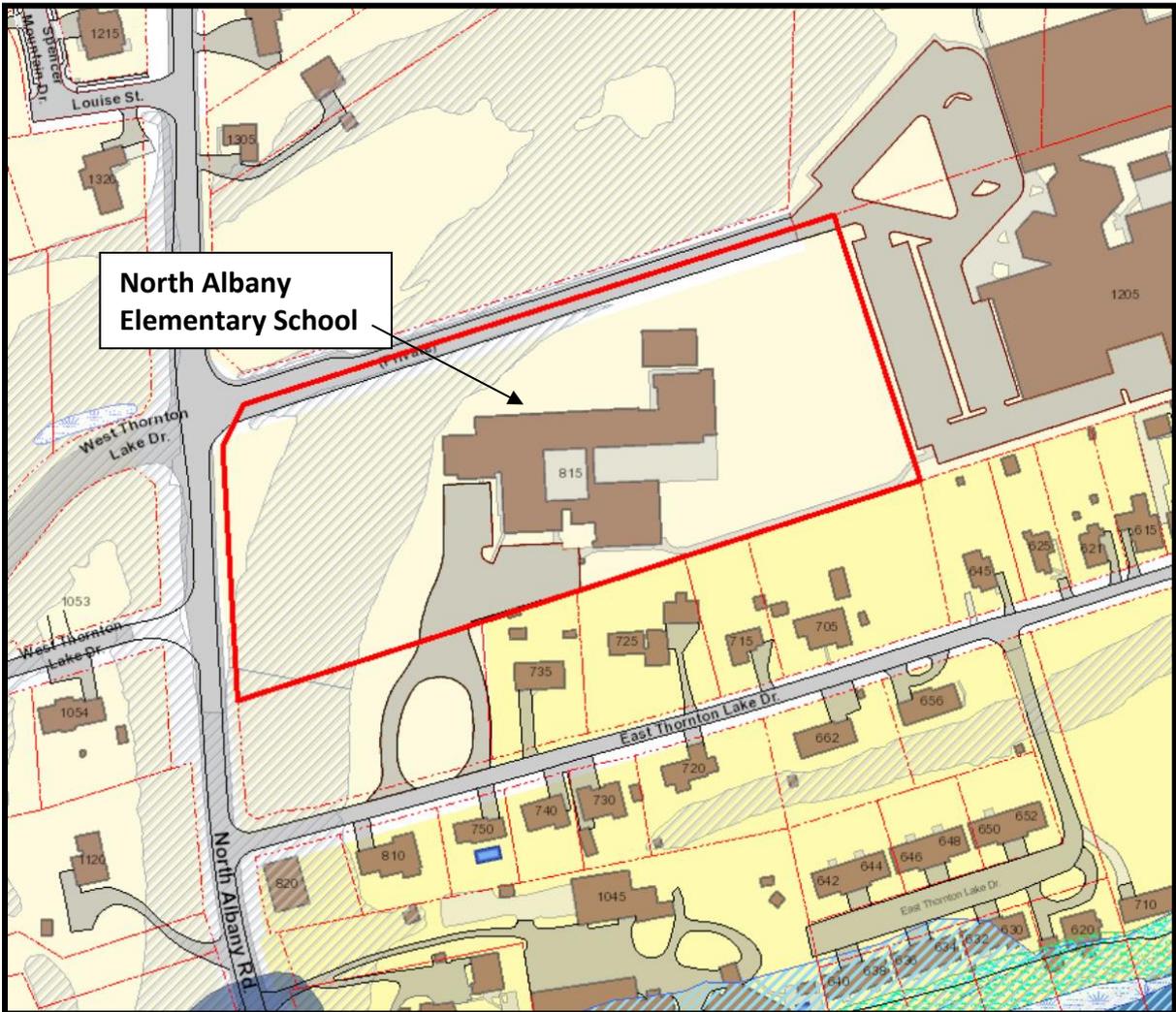
1. Landscape buffering shall be provided between the northern property boundary and the proposed modular building, in accordance with ADC 9.240. As proposed on the site plan, landscaping shall include a five-foot-wide, 200-foot-long buffer with one row of trees a minimum of 10 feet tall planted, spaced a maximum of 30 feet on center with five five-gallon shrubs, and grass ground cover.
2. The required buffer shall be provided with a piped underground irrigation system unless the applicant submits written verification from a licensed landscape architect, landscape construction professional, or certified nurseryman that the proposed plant materials do not require irrigation.

3. Prior to issuance of a building permit, the applicant shall submit a landscape plan, and irrigation plan (as needed), for Planning Division verification of compliance and approval.
4. Prior to issuance of a certificate of occupancy, the applicant shall complete the installation of required buffer landscaping and irrigation (if any) in accordance with the approved landscape plan.

ATTACHMENTS

- A. Location Map
- B. Applicant's Findings Narrative
- C. Site Plan

**NORTH ALBANY ELEMENTARY SCHOOL
815 East Thornton Lake Drive NW**



Conditional Use Application
Response to Review Criteria

Modular Addition
North Albany Elementary School
815 East Thornton Lake Drive NW
Map/tax lot 10436DD00700, 00800

Greater Albany Public Schools is moving ahead with plans to reconstruct Oak Grove School, 1500 Oak Grove Drive NW. This 15-month project is planned to begin in summer of 2018. All Oak Grove students would be relocated for the 2018-19 school year. One element of the relocation plan is to move the modular classroom currently located on the Oak Grove School site to North Albany Elementary School.

The modular would be placed just east of the existing modular building (Land Use File No. CU-02-15). Staff and students would access the proposed modular from a door on the north side of the classroom wing. Roof runoff would be directed away from the buildings. Power and data connections would be made overhead from the existing building. There are no plumbing fixtures.

The property is zoned RS-10 which allows expansion of a school through the Conditional Use Type II process.¹ Responses to the Conditional Use criteria follow.²

(1) The proposed use is consistent with the intended character of the base zone and the operating characteristics of the neighborhood.

The modular would expand the existing school in an established residential neighborhood. It is a semi-public use that is recognized as an integral part of a neighborhood. As such, a school is an allowed use in the RS-10 zoning district. The operating characteristics of the school would be unaltered by the introduction of the modular building. Access to the site would continue on East Thornton Lake Road. Students and staff would enter at the main door and proceed through the existing building to the new modular. The playground would continue in use in the existing location. Staff hours range from 8:00 a.m. to 5:00 p.m. Students hours are generally 8:30 a.m. to 3:30 p.m. There are infrequent evening activities. The school operates from September to June.

(2) The proposed use will be compatible with existing or anticipated uses in terms of size, building scale and style, intensity, setbacks, and landscaping or the proposal mitigates difference in appearance or scale through such means as setbacks, screening, landscaping or other design features.

The modular is one-story construction, consistent with the existing school building. The existing school building, covered play area, and modular occupy approximately 24,000 s.f. The proposed modular is 1,800 s.f. The lot coverage on the 8.17-acre site is approximately seven percent, far less than the maximum standard of fifty percent.³

Adjoining right-of-way to the north provides access to North Albany Middle School which is situated to the east of North Albany Elementary School. Farther north is a vacant parcel. The proposed

¹ ADC 3.080(13)

² ADC 2.250

³ ADC 3.190 Table 1

modular would be placed approximately 28 feet from the north property line, exceeding the special setback of 25 feet from any adjoining property line.⁴

The proposed modular is an Institutional use that is subject to Commercial and Institutional Site Design standards.⁵ The proposed modular would contain classrooms only and would be fully integrated into the existing school facilities. It would not have a customer entrance. It is not a commercial building. The parking lot does not exceed 75 parking spaces. Therefore design standards that pertain to building orientation, general building design, façade design, street connectivity, internal circulation, pedestrian amenities, pedestrian connections, large parking lots, and compatibility details do not apply.⁶

The proposed modular would increase the number of classrooms to 16 and employees to 16. A minimum of 24 parking spaces are required; 32 are provided in the existing parking lot.⁷

The uses of abutting properties were examined for purposes of determining buffering and screening.⁸ To the east, the subject property abuts the same type of use, North Albany Middle School. To the north, the subject property abuts a 25-foot right-of-way. North of the right-of-way is undeveloped property. Therefore only one-half of the buffer width is required. The proposed landscape area, five feet wide and 160 feet long, shows six trees, five five-gallon shrubs, and ground cover along the north property line.

(3) The transportation system can support the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, on-street parking impacts, access requirements, neighborhood impacts and pedestrian safety.

The proposed modular relies on the existing transportation system. Access to the modular would be the existing driveway from East Thornton Lake Drive NW. No changes are planned to the parking lot.

Currently buses for the elementary school queue up along the middle school access road in the afternoon, along with buses for the middle school. At the same time, passenger vehicles turn onto the same road from North Albany Road. The volume of traffic and turning movements for buses and passenger vehicles entering and exiting the middle school access road during this afternoon window dramatically reduces the level of service at that signalized intersection. The school district acknowledges that operational characteristics at both schools particularly end times, contribute to this congestion. The school district is exploring options for school year 2018-19 to resolve this issue.

(4) Public services for water, sanitary and storm sewer, water management, and for fire and police protection, can serve the proposed use.

The site is served by municipal water, sanitary, police and fire services provided by the City of Albany. Stormwater from roof drains would be directed away from the buildings onto existing grade which sheet flows to the west.

(5) The proposal will not have significant adverse impacts on the livability of nearby residentially zoned lands due to:

(a) Noise, glare, odor, litter, or hours of operation.

(b) Privacy and safety issues.

⁴ ADC 3.330

⁵ ADC 8.315

⁶ ADC 8.330- 8.380

⁷ ADC 9.020 and Table 1

⁸ ADC 9.210 and Table 9-4

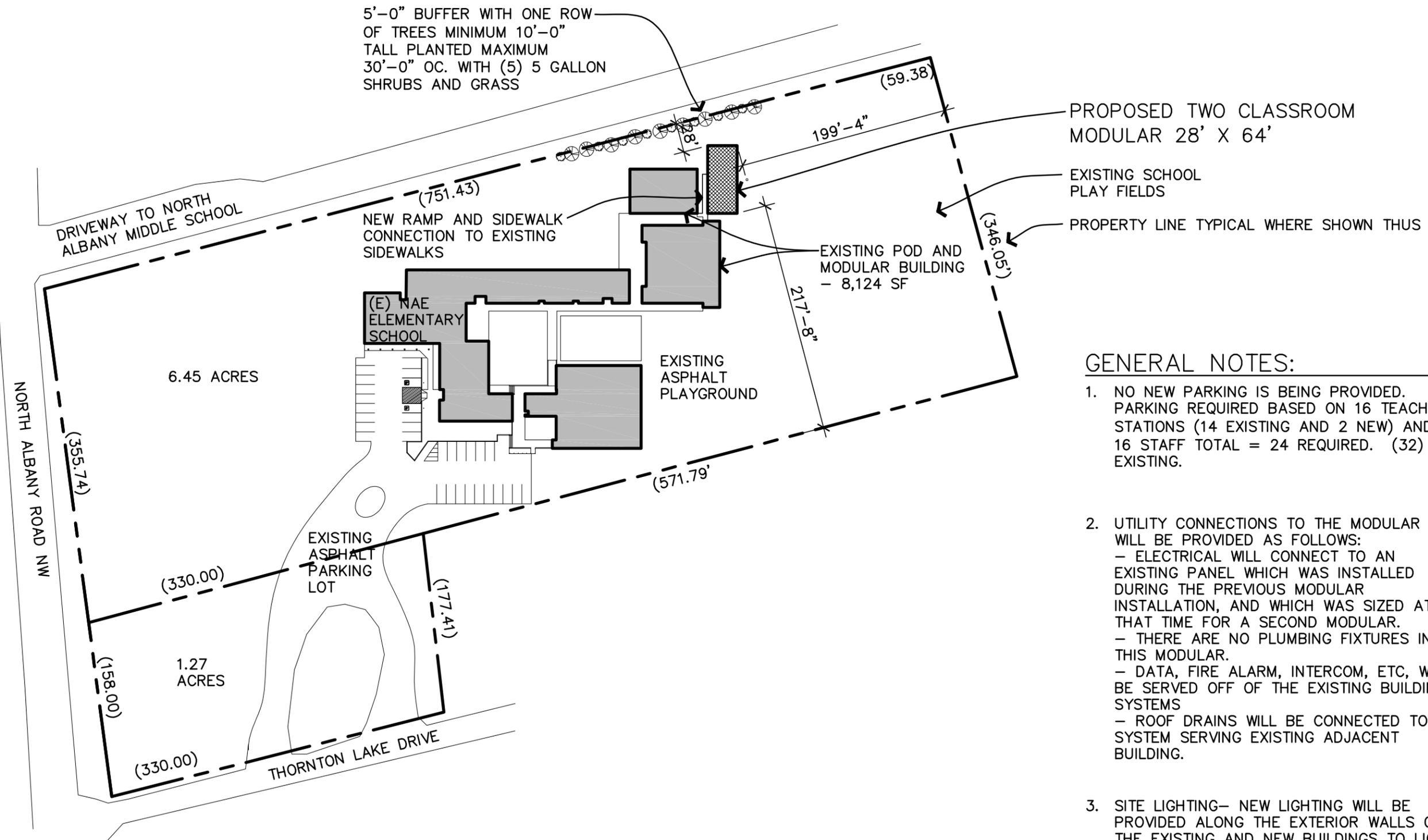
The proposed modular is situated on the north side of the existing elementary school. The nearest homes are located approximately 300 feet south where the existing school building would screen the modular from view. The next closest home is approximately 450 feet to the north. There would be no change to hours of operation or operating characteristics of the existing school.

(6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

The site is outside the mapped floodplain.⁹ The site is not located within a special purpose district.

///R&a February 7, 2018

⁹ FIRM 41043C0213H, effective 12/08/2016



PROPOSED TWO CLASSROOM
MODULAR 28' X 64'

EXISTING SCHOOL
PLAY FIELDS

PROPERTY LINE TYPICAL WHERE SHOWN THUS

GENERAL NOTES:

1. NO NEW PARKING IS BEING PROVIDED. PARKING REQUIRED BASED ON 16 TEACHING STATIONS (14 EXISTING AND 2 NEW) AND 16 STAFF TOTAL = 24 REQUIRED. (32) EXISTING.
2. UTILITY CONNECTIONS TO THE MODULAR WILL BE PROVIDED AS FOLLOWS:
 - ELECTRICAL WILL CONNECT TO AN EXISTING PANEL WHICH WAS INSTALLED DURING THE PREVIOUS MODULAR INSTALLATION, AND WHICH WAS SIZED AT THAT TIME FOR A SECOND MODULAR.
 - THERE ARE NO PLUMBING FIXTURES IN THIS MODULAR.
 - DATA, FIRE ALARM, INTERCOM, ETC, WILL BE SERVED OFF OF THE EXISTING BUILDING SYSTEMS
 - ROOF DRAINS WILL BE CONNECTED TO SYSTEM SERVING EXISTING ADJACENT BUILDING.
3. SITE LIGHTING- NEW LIGHTING WILL BE PROVIDED ALONG THE EXTERIOR WALLS OF THE EXISTING AND NEW BUILDINGS TO LIGHT THE SIDEWALK CONNECTIONS. LIGHTING WILL BE LIMITED TO DOWNLIGHTING AND AS NECESSARY FOR EXITING.

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A1

NORTH ALBANY ELEMENTARY SCHOOL SITE PLAN

SCALE: 1" = 80' - 0"

815 THORNTON LAKE DRIVE NW
TAX LOT 10S04W36DD00700



SITE PLAN

PROJECT NUMBER
18010

DATE
02/07/18

A-1