



## PUBLIC WORKS - COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

# Notice of Decision

## Conditional Use Review, Site Plan Review for Tree Felling Variance and Tentative Replat Review

Files: CU-03-19, RL-01-20, SP-09-20 & VR-01-20

August 3, 2020

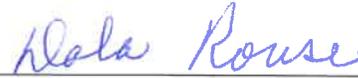
### Application Information

Review Body:	Hearings Board (Type III review)
Proposal:	Conditional Use Review to expand the existing PacifiCorp substation facility (CU-03-19); Tentative Replat Review to combine six lots into one lot (RL-01-20); Site Plan Review for Tree Felling (SP-09-20); and Variance applications for 1) installing an eight-foot tall fence within the front yard setback, 2) including barbed wire on top of the fence in a residential zone, and 3) not including landscaping around the perimeter setbacks (VR-01-20).
Property Owner / Applicant:	Pacific Power and Light Attention: John Aniello, Project Manager 825 NE Multnomah Boulevard Portland, OR 97232
Applicant's Attorney:	Garrett Stephenson Schwabe Williamson & Wyatt 1211 SW 5 <sup>th</sup> Avenue, Suite 1900 Portland, OR 97204
Address/Location:	1920, 1930, 1940, and 1950 17th Avenue SW and 1917 Queen Avenue SW
Map/Tax Lot:	Linn Tax Assessor's Map No. 11S-04W-13BA Tax Lot 400 and 11S-04W-12CB Tax Lot 7500, 7401, 7400 & 7300
Zoning:	R-6.5 (Single Family Residential) District

On July 30, 2020, the City of Albany Hearings Board granted **Approval with Conditions** of the application referenced above. The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The Hearings Board based its decision upon consideration of applicable standards and review criteria listed in the Albany Development Code and consideration of public testimony. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact Project Planner Melissa Anderson at [melissa.anderson@cityofalbany.net](mailto:melissa.anderson@cityofalbany.net) or 541-917-7550 or Planning Manager David Martineau at 541-917-7561.



The City's decision may be appealed to the City Council if a person with standing files a completed Notice to Appeal application and the associated filing fee no later than 10 days from the date the City mails the Notice of Decision.



Hearings Board Chair

**Appeal to City Council Deadline:** August 13, 2020

**Approval Expiration Date (If not appealed):** August 3, 2023

## Condition of Approval

### Transportation

- Condition 1 Prior to beginning construction activity on the proposed substation expansion, the applicant shall construct or financially assure construction of the following:
- Removal of all unused curb cuts along the site's frontage on 17th Avenue and replacement with curb and gutter to City standards.
  - The construction of 20 feet of pavement at all driveways into the site from Queen Avenue and 17th Avenue.
  - The construction of public sidewalk to City standards along the site's frontage on 17th Avenue.

### Utilities

- Condition 2 Before a final approval of the encroachment permit will be granted for the project, the applicant must complete the stormwater collection and detention facilities and obtain final approval of the facilities by the Public Works Department.

### Variance Mitigation Measures

- Condition 3 The new fence shall provide screening with sight-obscuring fencing, such as slatted chain-link fencing. The total height of the fence shall be no higher than eight feet per code standards. Prior to issuance of a building permit, a detail of the fencing materials shall be submitted for review and approval by the Community Development Department.
- Condition 4 As required under Condition 1.c, the new sidewalk shall be designed with a curb-tight sidewalk and park strip next to the site's front property line. Prior to issuance of an encroachment permit, a detail of the sidewalk with front setback shall be submitted for review and approval by the Community Development Department and the Public Works Engineering Department.
- Condition 5 Landscaping shall be installed in the area between the new fence and the back of sidewalk along 17th Avenue. Landscaping is not required within five feet of the new fence. The landscape materials shall meet the buffering standards of ADC 9.240.
- The required landscaping must be provided with a piped underground water supply irrigation system unless a licensed landscape architect or certified nurseryman submits written verification that the proposed plant materials do not require irrigation.
  - Prior to issuance of an encroachment permit, a landscape and irrigation plan shall be submitted for review and approval by the Community Development Department.
  - Prior to final approval of the encroachment permit, all landscaping and irrigation must be installed in accordance with the approved plan.
- Condition 6 The property owner must maintain the required landscaped areas in an attractive manner, free of weeds and noxious vegetation. The minimum amount of required living landscape materials must be maintained.

**The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.**

## Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

### Planning

Prior to development, planning staff must review the building plans to verify consistency with the Conditional Use approval.

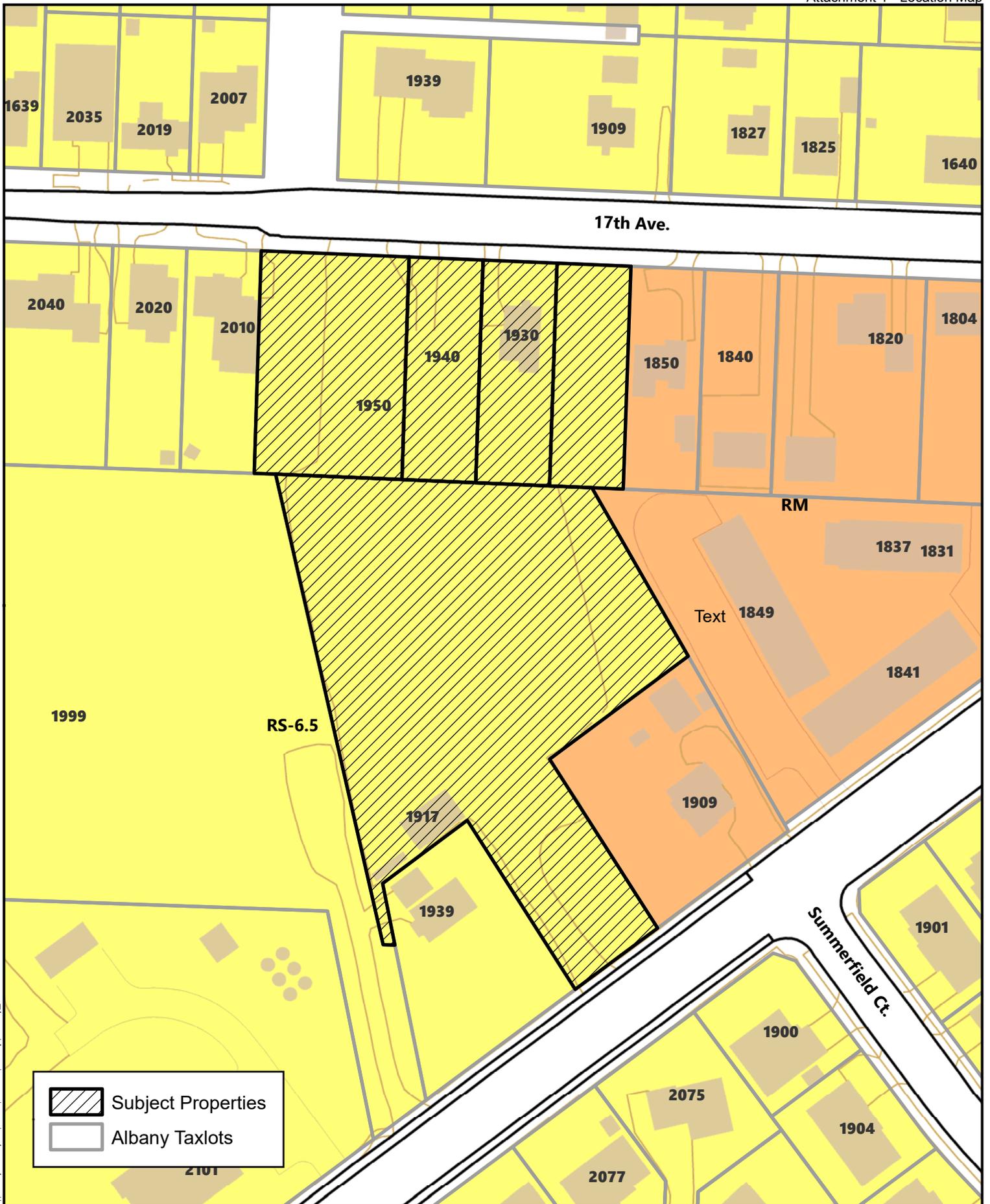
Land use approval does not constitute building or public works permit approvals.

### Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

### Attachments:

1. Location Map
2. Site Plan
3. Plat Map
4. Stormwater Plan



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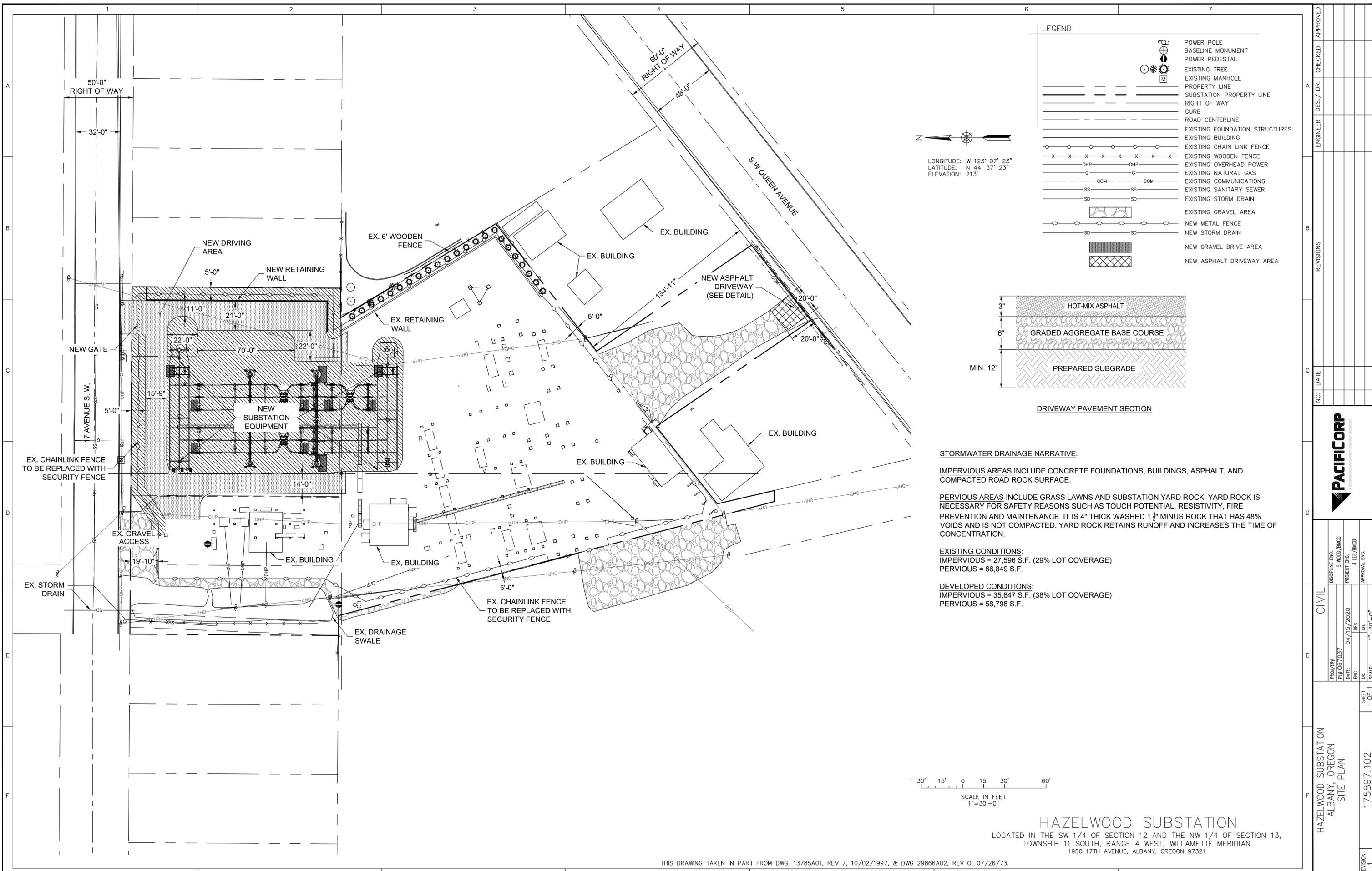


0 12.5 50 Feet

Date: 12/6/2019 Map Source: City of Albany

# 1950 17th Avenue SW Properties

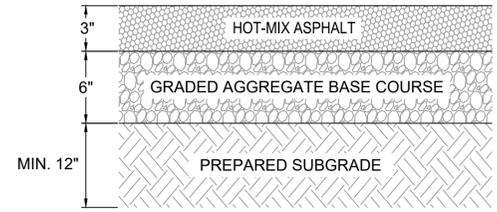
## Site Area Vicinity Map



**LEGEND**

	POWER POLE
	BASELINE MONUMENT
	POWER PEDESTAL
	EXISTING TREE
	EXISTING MANHOLE
	PROPERTY LINE
	SUBSTATION PROPERTY LINE
	RIGHT OF WAY
	CURB
	ROAD CENTERLINE
	EXISTING FOUNDATION STRUCTURES
	EXISTING BUILDING
	EXISTING CHAIN LINK FENCE
	EXISTING WOODEN FENCE
	EXISTING OVERHEAD POWER
	EXISTING NATURAL GAS
	EXISTING COMMUNICATIONS
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING GRAVEL AREA
	NEW METAL FENCE
	NEW STORM DRAIN
	NEW GRAVEL DRIVE AREA
	NEW ASPHALT DRIVEWAY AREA

LONGITUDE: W 123° 07' 23"  
 LATITUDE: N 44° 37' 23"  
 ELEVATION: 213'



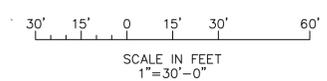
**STORMWATER DRAINAGE NARRATIVE:**

IMPERVIOUS AREAS INCLUDE CONCRETE FOUNDATIONS, BUILDINGS, ASPHALT, AND COMPACTED ROAD ROCK SURFACE.

PERVIOUS AREAS INCLUDE GRASS LAWNS AND SUBSTATION YARD ROCK. YARD ROCK IS NECESSARY FOR SAFETY REASONS SUCH AS TOUCH POTENTIAL, RESISTIVITY, FIRE PREVENTION AND MAINTENANCE. IT IS 4" THICK WASHED 1 1/2" MINUS ROCK THAT HAS 48% VOIDS AND IS NOT COMPACTED. YARD ROCK RETAINS RUNOFF AND INCREASES THE TIME OF CONCENTRATION.

**EXISTING CONDITIONS:**  
 IMPERVIOUS = 27,596 S.F. (29% LOT COVERAGE)  
 PERVIOUS = 66,849 S.F.

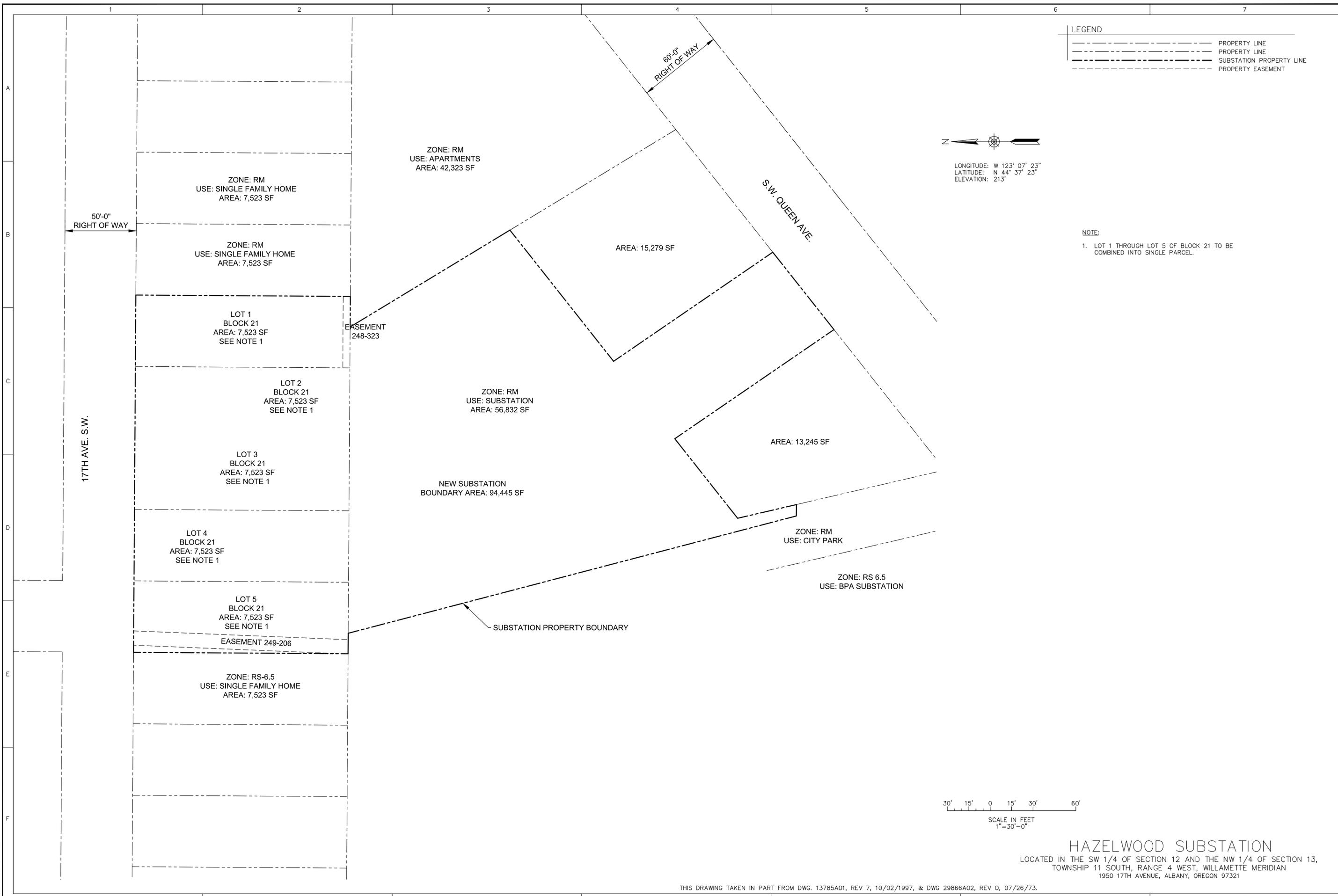
**DEVELOPED CONDITIONS:**  
 IMPERVIOUS = 35,647 S.F. (38% LOT COVERAGE)  
 PERVIOUS = 58,798 S.F.



**HAZELWOOD SUBSTATION**  
 ALBANY, OREGON  
 SITE PLAN  
 LOCATED IN THE SW 1/4 OF SECTION 12 AND THE NW 1/4 OF SECTION 13,  
 TOWNSHIP 11 SOUTH, RANGE 4 WEST, WILLAMETTE MERIDIAN  
 1950 17TH AVENUE, ALBANY, OREGON 97321

THIS DRAWING TAKEN IN PART FROM DWG. 13785A01, REV 7, 10/02/1997, & DWG 29866A02, REV 0, 07/26/73.

APPROVED	
CHECKED	
DES./DR.	
ENGINEER	
REVISIONS	
NO.	DATE
CIVIL	
DISCIPLINE ENG.	S. WOOD/BMCD
PROJECT ENG.	J. LEE/BMCD
DATE:	04/15/2020
DR.	CH
APPROVAL ENG.	
SCALE:	1" = 30'-0"
SHEET	1 OF 1
175897.102	



LEGEND

	PROPERTY LINE
	PROPERTY LINE
	SUBSTATION PROPERTY LINE
	PROPERTY EASEMENT

NOTE:  
 1. LOT 1 THROUGH LOT 5 OF BLOCK 21 TO BE COMBINED INTO SINGLE PARCEL.

LONGITUDE: W 123° 07' 23"  
 LATITUDE: N 44° 37' 23"  
 ELEVATION: 213'

SCALE IN FEET  
 1"=30'-0"

**HAZELWOOD SUBSTATION**  
 ALBANY, OREGON  
 REPLAT PLAN  
 LOCATED IN THE SW 1/4 OF SECTION 12 AND THE NW 1/4 OF SECTION 13,  
 TOWNSHIP 11 SOUTH, RANGE 4 WEST, WILLAMETTE MERIDIAN  
 1950 17TH AVENUE, ALBANY, OREGON 97321

THIS DRAWING TAKEN IN PART FROM DWG. 13785A01, REV 7, 10/02/1997, & DWG 29866A02, REV 0, 07/26/73.

APPROVED	
CHECKED	
DES./DR.	
ENGINEER	
REVISIONS	
NO.	DATE
<b>PACIFIC CORP</b> <small>INCORPORATED IN OREGON</small>	
CIVIL	
DISCIPLINE ENG.	S WOOD/BMCD
PROJECT ENG.	J LEE/BMCD
DATE:	04/15/2020
DES.	
CHK	
APPROVAL ENG.	
SCALE:	1"=30'-0"
SHEET	1 OF 1
175897.103	
HAZELWOOD SUBSTATION ALBANY, OREGON REPLAT PLAN	
REVISION	
1	

