



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF DECISION

DATE OF NOTICE: July 13, 2018
FILE: CU-04-18
TYPE OF APPLICATION: Conditional Use Review (Type III application) for new construction of a 4,500-square-foot education addition to an existing youth correctional facility.
REVIEW BODY: Hearings Board (Type III process)
APPLICANT: Michael L. Beaman, Beaman Architecture; 1634 SE 54th Avenue; Portland, OR 97215
PROPERTY OWNER: Mark Connors, Oregon Youth Authority; 530 Center Street NE, Suite 500; Salem, OR 97301
ADDRESS/LOCATION: 4400 Lochner Road SE
MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-19A; Tax Lot 501
ZONING: Light Industrial (LI) District
OVERLAY: /SW – Significant Wetland; /RC - Riparian; /FP Floodplain Development

On July 12, 2018, the City of Albany Hearings Board granted **APPROVAL WITH CONDITIONS** for the application referenced above. The Hearings Board based its decision upon consideration of applicable standards and review criteria listed in the Albany Development Code and consideration of public testimony. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact Project Planner David Martineau, at david.martineau@cityofalbany.net, 541-917-7561, or Planning Manager Bob Richardson, at 541-917-7555.

The City's decision may be appealed to the City Council, if a person with standing files a completed Notice to Appeal application and the associated filing fee no later than 10 days from the date the City mails the Notice of Decision.

Signature on file

Hearings Board Chair

Appeal Deadline: July 23, 2018
Approval Expiration Date (If not appealed): July 13, 2021

Attachments: Location Map, Site Plan

CONDITIONS OF APPROVAL

- Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.
1. **Lighting.** The applicant shall ensure that any new on-site lighting associated with the Enrichment Facility be shielded or arranged so that no lighting reflects on adjacent properties, streets or into the night sky.

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

INFORMATION FOR THE APPLICANT

Please read through the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Albany Development Code (ADC) regulations or administrative policies of the Planning, Public Works, Fire, or Building Departments that you must meet as part of the development process. You must also comply with state, federal, and local law.

PLANNING

1. Land use approval does not constitute Building or Public Works permit approvals.

PUBLIC WORKS – ENGINEERING

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

BUILDING

Building Division Comments have been provided by Gary Stutzman Building Official. 541-917-7626. For questions related to the information below, please contact Johnathan Balkema, Building Official Manager, at 541-791-0199.

PERMITS

1. Obtain Building Permits prior to any construction.
2. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.

PLAN REVIEW FOR PERMITS

3. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.

CODES

4. The current building codes are:
 - a. The 2014 Oregon Structural Specialty Code (OSSC) based on the 2012 International Building Code (IBC) Additionally Oregon uses the Standard ICC A117.1-2009 (ICC) for accessibility.
 - b. The 2014 Oregon Energy Efficiency Specialty Code (OEESC),
 - c. The 2014 Oregon Mechanical Specialty Code (OMSC) based on the 2012 International Mechanical Code (IMC) and 2012 International Fuel Gas Code
 - d. The 2017 Oregon Plumbing Specialty Code (OPSC) based on the 2011 OPSC.
 - e. The 2014 Oregon Fire Code (OFC) based on the 2012 International Fire Code (IFC). For construction purposes, please use OSSC Appendix D and N.
 - f. The 2017 National Electrical Code (NEC) with Oregon amendments.
 - g. 2013 NFPA 13 for fire sprinklers
 - h. 2013 NFPA 72 for fire alarms.

ENGINEERING

5. All new commercial buildings are required to have all construction documents and engineering calculations to be prepared, signed and sealed by an Oregon registered engineer or architect.
6. Provide a geotechnical report from a soil engineer that shows the soil conditions will support the proposed structures.
7. Based on an I-3 occupancy, **OSSC Table 1604.5** lists this as a Risk Category III.
8. **ORS 455.447 (e) (A)** defines this structure as a “special occupancy structure”, meaning it is considered a jail or detention facility. Due to this, **ORS 455.447** and **OSSC 1803.1** require that the site be specifically evaluated for vulnerability to seismic induced geologic hazards. This evaluation is to be done by an especially qualified engineer or engineering geologist registered by the state to practice as such.
 - a. A geotechnical report shall be presented at time of application per **OSSC 1803.6** which includes 10 items that must be included or addressed.
 - b. A seismic site hazard report shall be presented per **OSSC 11803.7** which includes 11 items that must be included or addressed.
9. The building is to be designed for wind loads determined per **Chapters 26 to 30 of ASCE 7 (2010)** and **2014 OSSC 1609** using **Figures 1609A, B, or C** for the **Ultimate Design Wind Speeds** for the appropriate **Risk Category** determined from **OSSC Table 1604.5**. Snow loads shall be determined by **Chapter 7** of the **ASCE 7 (2010)** and the **December 2007 Snow Load Analysis for Oregon**. Design roof snow to be not less than required by ice, drifting, rain on roof and other calculations but never less than 20 psf.

OCCUPANCY

10. The occupancy of the structure will be Group E occupancy used for educational use for juvenile students if unrestrained. If the students are restrained, the occupancy will be Group I-3 and must be classified as one of the occupancy conditions 1-5 listed in **OSSC 308.5.1** through **308.5.5**.

OCCUPANT LOAD

11. The occupant load of a classroom is determined by dividing the net classroom square footage floor area by 20.

ALLOWABLE AREA AND FIRE RESISTANCE RATINGS

12. Group I-3 occupancy is allowed 5,000 square feet and can be doubled with the use of fire sprinklers. **OSSC 506.3 Exception #4**

FIRE RESISTANCE

13. Fire resistance rating of exterior walls of commercial buildings shall be as per **OSSC Tables 601** and **602** with opening protection as per **OSSC 705.8.1** through **705.8.6** and **OSSC Table 705.8** If the building maintains 10' or more set-back to the property line or an assumed property line between two buildings, rated exterior walls and parapets would not be required unless required by the type of construction.
14. Parapet walls are required as per **OSSC 705.11**. See the 6 exceptions. Fire separations in the building will depend on the use of incidental use, accessory use, separated or non-separated use provisions of **OSSC 508**.

ACCESSIBILITY-Comments reflect ICC A117.1-2009

15. Provide at least one accessible route to the public way and accessible route between buildings. **OSSC 1104.1 and 2**
16. If any parking is provided, provide accessible parking per **ORS 447.233 number (1)** through **(7)** and **OSSC Chapter 11** which also references **ICC A117.1-2009**.

a. **OSSC Figures 1-10** limit the slope of the parking space and aisle to 2% in any direction.

17. At one of each type of fixture provided in the restroom must be a fixture that is accessible to the physical disabled. See handout for details. **OSSC 1109.2**

FIRE PROTECTION

18. Automatic fire sprinklers are required when an E occupancy fire area exceeds 12,000 square feet. **OSSC 903.2.3**

19. An automatic fire sprinkler system is required in all I occupancies. **OSSC 903.2.6**

20. All fire sprinklers and fire hydrant calculations are required to use the latest City of Albany Water Model Data information for designs. Contact the Building Division for current numbers prior to design and submittal of application for permits.

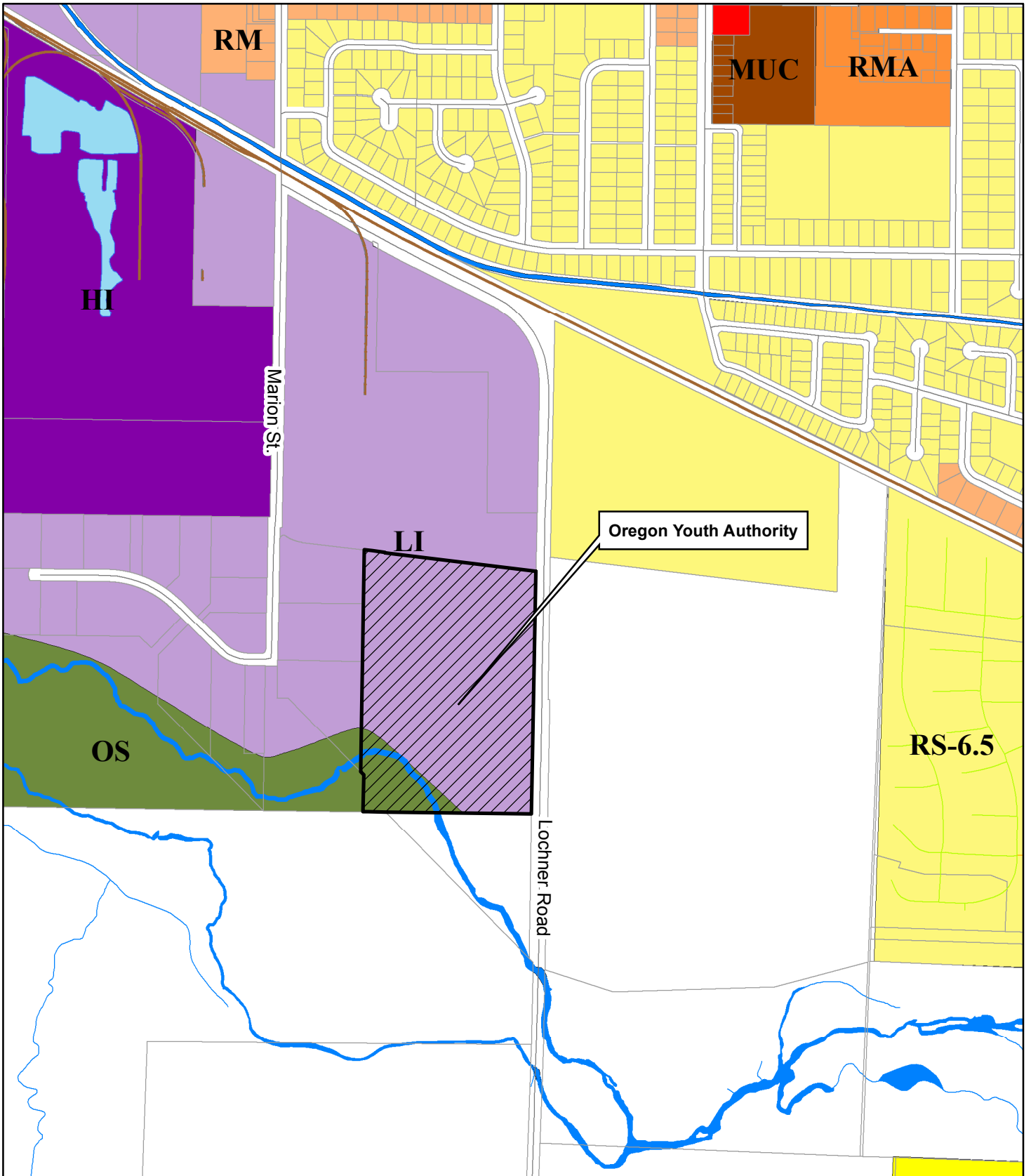
ALARM SYSTEMS

21. A manual fire alarm system is required in a Group E occupancy when the occupant load is 51 or more occupants. **OSSC 907.2.3**

22. Group I-3 occupancies are required to have a manual fire alarm and detection system that alerts the staff. **OSSC 907.2.6.3**

DRAINAGE

23. Provide a complete drainage plan for all hard surface drainage areas. Shape the lot to facilitate surface, gutter, and under-floor drainage to the street or an approved system or area.



Location Map: 4400 Lochner Road

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Albany

0 150 300 600 900 1,200 Feet

N

April 6, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

CONSULTANTS

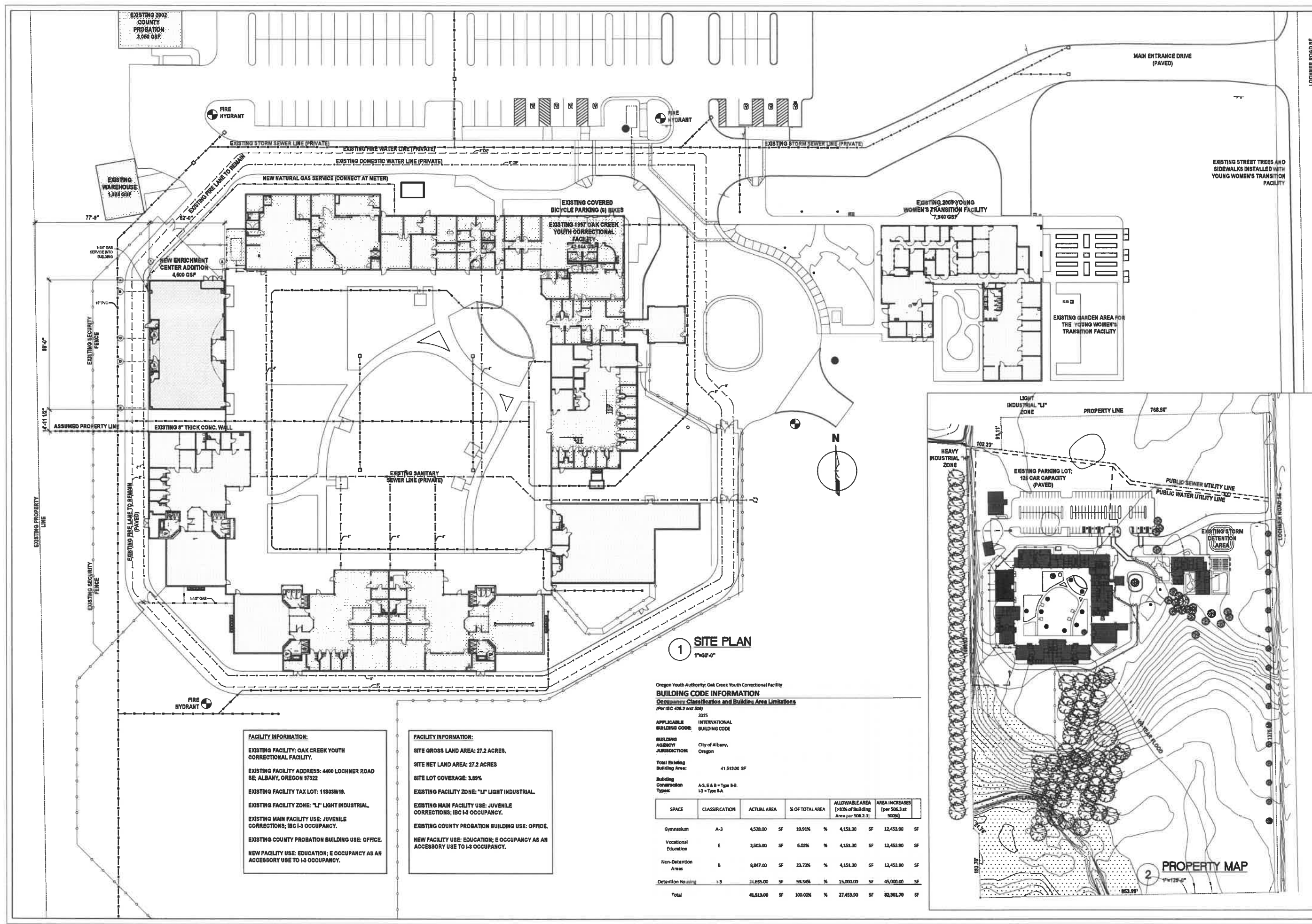
No.	Revision	Date

OREGON YOUTH AUTHORITY (OYA)
 Oak Creek Youth
 Correctional Facility (OCYCF)
ENRICHMENT CENTER
 Albany, Oregon

SITE PLAN

Scale:
 AS NOTED
 Project No.
 17105
 Date:
 MARCH 30, 2018
 SET:
 DESIGN SET

A1-1



1 SITE PLAN
 1"=30'-0"

Oregon Youth Authority: Oak Creek Youth Correctional Facility
BUILDING CODE INFORMATION
 Occupancy Classification and Building Area Limitations
 (Per IBC 408.2 and 509)

2015
 APPLICABLE BUILDING CODE: INTERNATIONAL BUILDING CODE
 BUILDING AGENCY: City of Albany, Oregon
 JURISDICTION: City of Albany, Oregon
 Total Existing Building Area: 41,519.00 SF
 Building Construction Types: A-3, E & B = Type B-3, I-3 = Type B-4

SPACE	CLASSIFICATION	ACTUAL AREA	% OF TOTAL AREA	ALLOWABLE AREA (+10% of Building Area per SMC 2.3)	AREA INCREASES (per SMC 3 at 300%)
Gymnasium	A-3	4,528.00 SF	10.91%	4,151.30 SF	12,453.90 SF
Vocational Education	E	2,503.00 SF	6.03%	4,151.30 SF	12,453.90 SF
Non-Detention Areas	B	9,847.00 SF	23.72%	4,151.30 SF	12,453.90 SF
Detention Housing	I-3	24,685.00 SF	59.34%	15,000.00 SF	45,000.00 SF
Total		41,513.00 SF	100.00%	27,453.90 SF	82,361.70 SF

FACILITY INFORMATION:
 EXISTING FACILITY: OAK CREEK YOUTH CORRECTIONAL FACILITY.
 EXISTING FACILITY ADDRESS: 4400 LOCHNER ROAD SE; ALBANY, OREGON 97322
 EXISTING FACILITY TAX LOT: 11905W19.
 EXISTING FACILITY ZONE: "LI" LIGHT INDUSTRIAL.
 EXISTING MAIN FACILITY USE: JUVENILE CORRECTIONS; IBC I-3 OCCUPANCY.
 EXISTING COUNTY PROBATION BUILDING USE: OFFICE.
 NEW FACILITY USE: EDUCATION; E OCCUPANCY AS AN ACCESSORY USE TO I3 OCCUPANCY.

FACILITY INFORMATION:
 SITE GROSS LAND AREA: 27.2 ACRES.
 SITE NET LAND AREA: 27.2 ACRES
 SITE LOT COVERAGE: 3.89%
 EXISTING FACILITY ZONE: "LI" LIGHT INDUSTRIAL.
 EXISTING MAIN FACILITY USE: JUVENILE CORRECTIONS; IBC I-3 OCCUPANCY.
 EXISTING COUNTY PROBATION BUILDING USE: OFFICE.
 NEW FACILITY USE: EDUCATION; E OCCUPANCY AS AN ACCESSORY USE TO I3 OCCUPANCY.