



## PUBLIC WORKS - COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

# Notice of Decision

## Conditional Use Review

CU-05-18

September 4, 2018

### Application Information

Review Body:	Staff (Type I-L review)
Type of Application:	Conditional Use Review to Renovate the West Albany High School: 101,900 square foot addition for a new performing arts center, administration and education wing. A new bus drop-off and parent drop-off will be added with modified parking lots along Elm, Queen and Liberty, and the existing tennis courts will be relocated to the south of the property. Through this conditional use review, a request for a waiver to the 30-foot building height limit is included per ADC 3.340(2) to allow the proposed gymnasium addition to be 34 feet in height, and the performing arts center to be 54 feet in height.
Property Owner / Applicant:	Russ Allen, Greater Albany Public School District, 718 Seventh Avenue SW, Albany, OR 97321
Architect / Representative:	Amy Vohs, DLR Group, 421 SW Sixth Ave, Suite 1212, Portland, OR 97204
Address/Location	1130 Queen Avenue SW
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-12D Tax Lot 200
Zoning:	RS-6.5 – Residential Single-Family District

On September 4, 2018 the City of Albany Community Development Director granted **TENTATIVE APPROVAL WITH CONDITIONS** of the application described above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact Project Planner **Melissa Anderson** at 541-704-2319 or Bob Richardson, Planning Manager, at 541-917-7555.

This notice of the tentative decision is mailed to the applicant and any party who provided written comments on the proposal. A public hearing may be requested in writing ten days from notification if a person with standing believes that the conditions of approval do not adequately address the established approval criteria or alleviate adverse impacts on the neighborhood. If no one requests a public hearing within the ten-day response period (by 5:00 p.m. on September 14, 2018), the tentative decision automatically becomes final without further notice [ADC 1.350(3)]. Prior to the end of the appeal period, the applicants may proceed at their own risk, provided they sign a Release and Indemnity Agreement with the City.



This land use decision shall expire three years from the date of approval unless the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Albany Development Code Section 12.600, or if the development did not require public infrastructure, a valid building permit exists for new construction or improvements and work has commenced.

*Signature on file*

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Community Development Director

**Appeal Deadline: September 14, 2018**

**Approval Expiration Date (if not appealed): September 4, 2021**

Attachments: Location Map, Site and Parking Plan, Site Plan

## Conditions of Approval

### Compatibility

- Condition 1 Prior to issuance of a building permit, a final site plan shall be submitted for review and approval by the Community Development Department to ensure that all new school building and recreational facilities (i.e. tennis courts) are setback at least 25 feet from the front property lines in accordance with ADC 3.330.
- Condition 2 Prior to issuance of a building permit, a detailed plan of the trash enclosure screening shall be submitted for review and approval by the Community Development Department.
- Condition 3 Prior to issuance of a building permit, a final landscape and irrigation plan shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the landscaping standards of ADC 9.140(2), landscape parking lot standards of ADC 9.150, buffering standards of ADC 9.240 and irrigation standards of ADC 9.160.
- Condition 4 Prior to installation, all landscape materials shall be inspected and approved by the Community Development Department to ensure consistency with the approved plans.
- Condition 5 Prior to issuance of the final certificate of occupancy, all proposed and required site improvements (e.g. vehicle and bicycle parking, landscaping, refuse screening, lighting, etc.), shall be constructed and completed in accordance with approved plans. Landscaping may be financially secured through a completion guarantee, per ADC 9.190.

### Transportation

- Condition 6 Prior to issuance of an occupancy permit, the applicant shall construct a new driveway to Liberty Street and a new driveway to Elm Street at the locations shown on the approved site plan.

### Utilities

- Condition 7 Before the City will issue a final occupancy permit, the applicant must obtain a storm water quality permit and construct the required storm water quality facilities according to the City's Engineering Standards.
- Condition 8 Before the City will issue a final occupancy permit, the applicant must construct storm water detention facilities generally as shown in the submitted storm drainage report.

### Lighting

- Condition 9 Prior to issuance of a building permit, the applicant shall submit an exterior lighting plan to the Community Development Department for review and approval to ensure exterior lighting is contained on-site. All new exterior light fixtures shall be down directed and incorporate full cut-off shields.

**The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.**

## Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

### Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. The development must substantially conform to the conditions of approval and approved site plan. Planning staff must approve any changes to the plans.

### Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

In all cases, final design details for all work will be determined as part of the City's review of the required permits.

### Fire Department

The fire department has reviewed the above project for conformance to the 2014 Oregon Fire Code (OFC) and has the following comments:

1. Due to the proposed layout of the new WAHS, the school will be addressed off Liberty St.
2. All newly constructed buildings 50,000 square feet in size or larger shall have *approved* radio coverage for emergency responders within the building based upon the existing coverage levels of the Albany Police and Fire Department communication systems the exterior of the building [see OFC Appendix J and Attachment]. (OFC 510; OSSC 915)

Be advised the Albany Police Department operates on the 700 MHz radio spectrum, while the Albany Fire Department currently operates on the VHF spectrum transmitting and receiving on the same radio frequency. Your solution must address both frequency spectrums and provide for future movement of the fire department's radio communications to the 700 or 800 MHz radio spectrum. **Please see the attachment "Emergency**

**Responder Radio Coverage” and contact the fire department for specific requirements as early as possible in your design process. This requirement will also be applied to the existing structure.**

3. Commercial developments which exceed three stories or 30’ in height or have a gross building area of more than 62,000 square feet shall be provided with at least 2 means of fire apparatus access. These access points shall be remotely separated by at least ½ the length of the maximum overall diagonal dimension of the property or area served. (OFC Appendix D104.1 & 104.3).
4. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an approved route of travel around the exterior of the structure. (OFC 503.1.1)
5. Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (OFC 503.2.5 and D103.4)
6. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required for shall be as specified in Appendix B of the fire code. (OFC 507.3)
7. The location and spacing requirements for fire hydrants are based on four project-specific criteria:
  - The distance from the most remote exterior point of the building(s) to the closest available fire hydrant.
  - The calculated “fire flow” of the proposed building(s)
  - The spacing of the existing fire hydrants along the public and private fire apparatus roads serving the property.
  - The location of new required public or private fire apparatus access roads located adjacent to the proposed building(s) to be constructed.

The requirements for fire hydrants for this proposed project will be based on the following requirements:

- a. Fire hydrant location: All portions of buildings constructed or moved into the City shall be located within 400 feet (600 feet for fire sprinkler-protected buildings) of a fire hydrant located on a fire apparatus access road using an approved route of travel. (OFC 508.5.1)
- b. Required hydrants based on the required fire flow as calculated in accordance with OFC 503.7 and OFC Appendix B. The minimum number of fire hydrants is determined by OFC Table C105.1.
- c. Required fire hydrant spacing will be based upon your required fire flows as determined by OFC Appendix C105.1 and Table C105.1. Please note that dead end roads require a reduced spacing.
- d. Fire hydrant spacing along new/required fire apparatus access roads. In addition, OFC Section C103.1; requires the placement of additional hydrants along all of your required fire access roads that are adjacent to any proposed building (and any future additions) and circulating through your private property with spacing requirements per Appendix C 105.1. (See 2009 ICC Commentary, Appendix C-1, Section C103.1).

## Building Division

### PERMITS

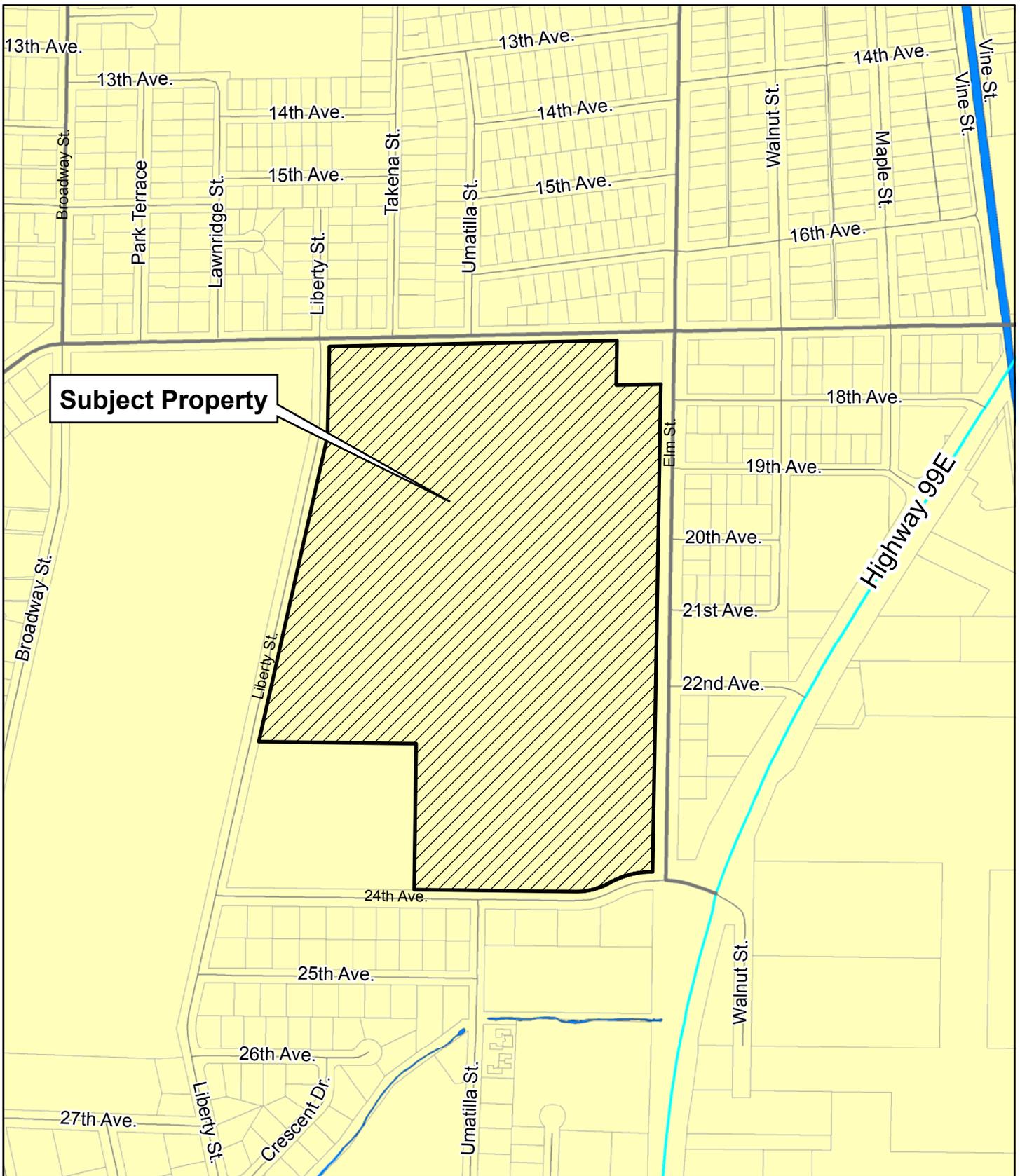
1. Obtain Building Permits prior to any construction.
2. Removal of modular units and other existing buildings will require demolition permits to be obtained from the Building Division.
3. Separate applications are required for electrical work, fire hydrant/fire water supply lines, fire sprinklers, fire alarms, and signs.
4. Erosion Sediment Control Permits (EPSC) are required by Public Works.

### PLAN REVIEW FOR PERMITS

5. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at [ePlans@cityofalbany.net](mailto:ePlans@cityofalbany.net) for details and instructions prior to submittal.

### CODES

6. The current building codes are:
  - a. The 2014 Oregon Structural Specialty Code (OSSC) (Code will change October/November 2019.)
  - b. Use 209 ICC A117.1 for accessibility.
  - c. The 2014 Oregon Energy Efficiency Specialty Code (OEESC) (Code will change October/November 2019.)
  - d. The 2014 Oregon Mechanical Specialty Code (OMSC) Code will change October/November 2019.
  - e. The 2017 Oregon Plumbing Specialty Code (OPSC) based on the 2011 OPSC.
  - f. The 2014 Oregon Fire Code (OFC). (Code will change October/November 2019, but all construction references are to be obtained from OSSC Appendix D and N.)
  - g. The 2017 National Electrical Code (NEC) with Oregon amendments.
  - h. 2013 NFPA 13 for fire sprinklers. (Unknown if standard will change with new codes.)
  - i. 2013 NFPA 72 for fire alarms. (Unknown if standard will change with new codes.)
  - j. Use ICC 300-2012 for bleachers, folding and telescopic seating and grandstands or whichever version has been adopted in the new codes.



## Location Map: 1130 Queen Avenue SW



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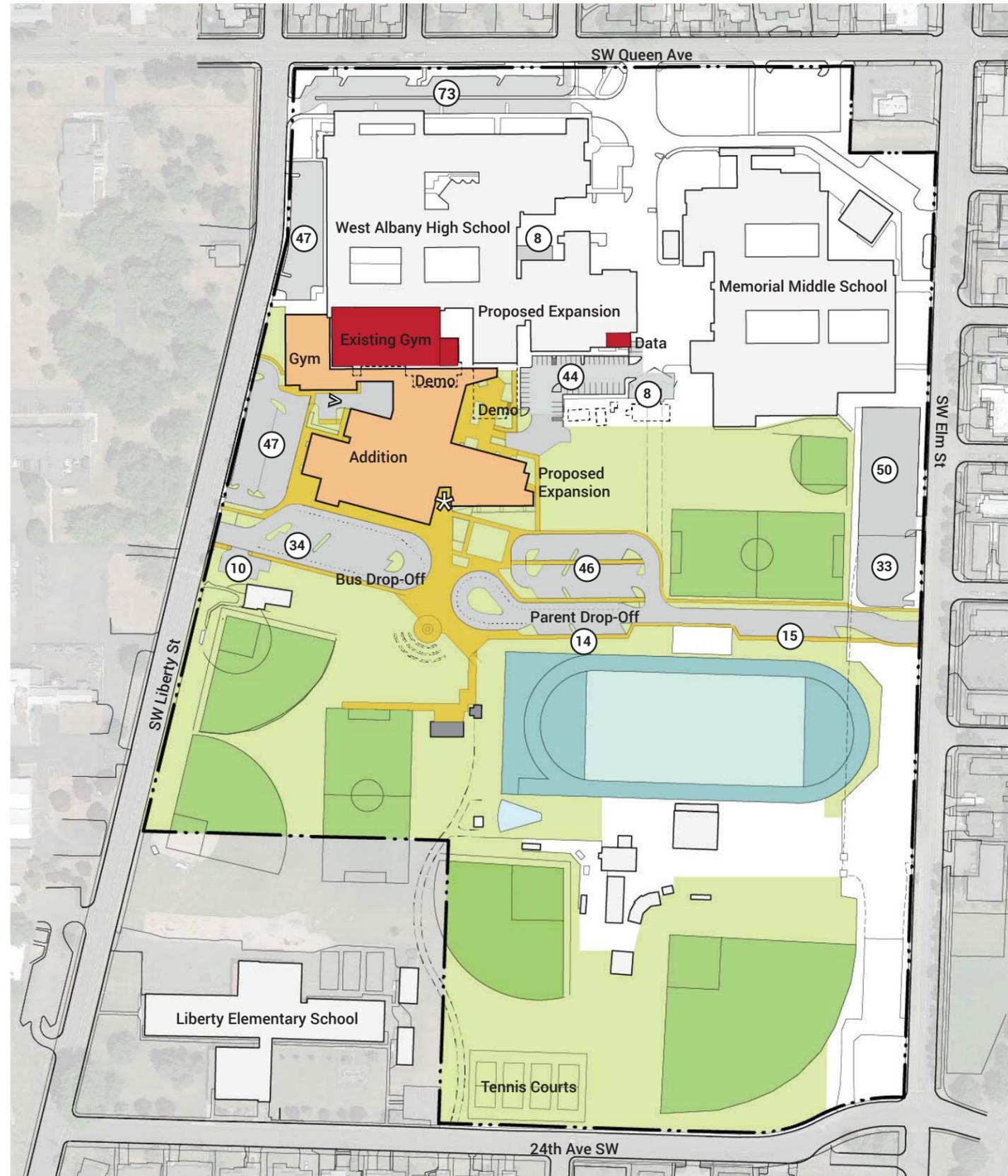
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Date: June 26, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

# Addition: Site & Parking Layout



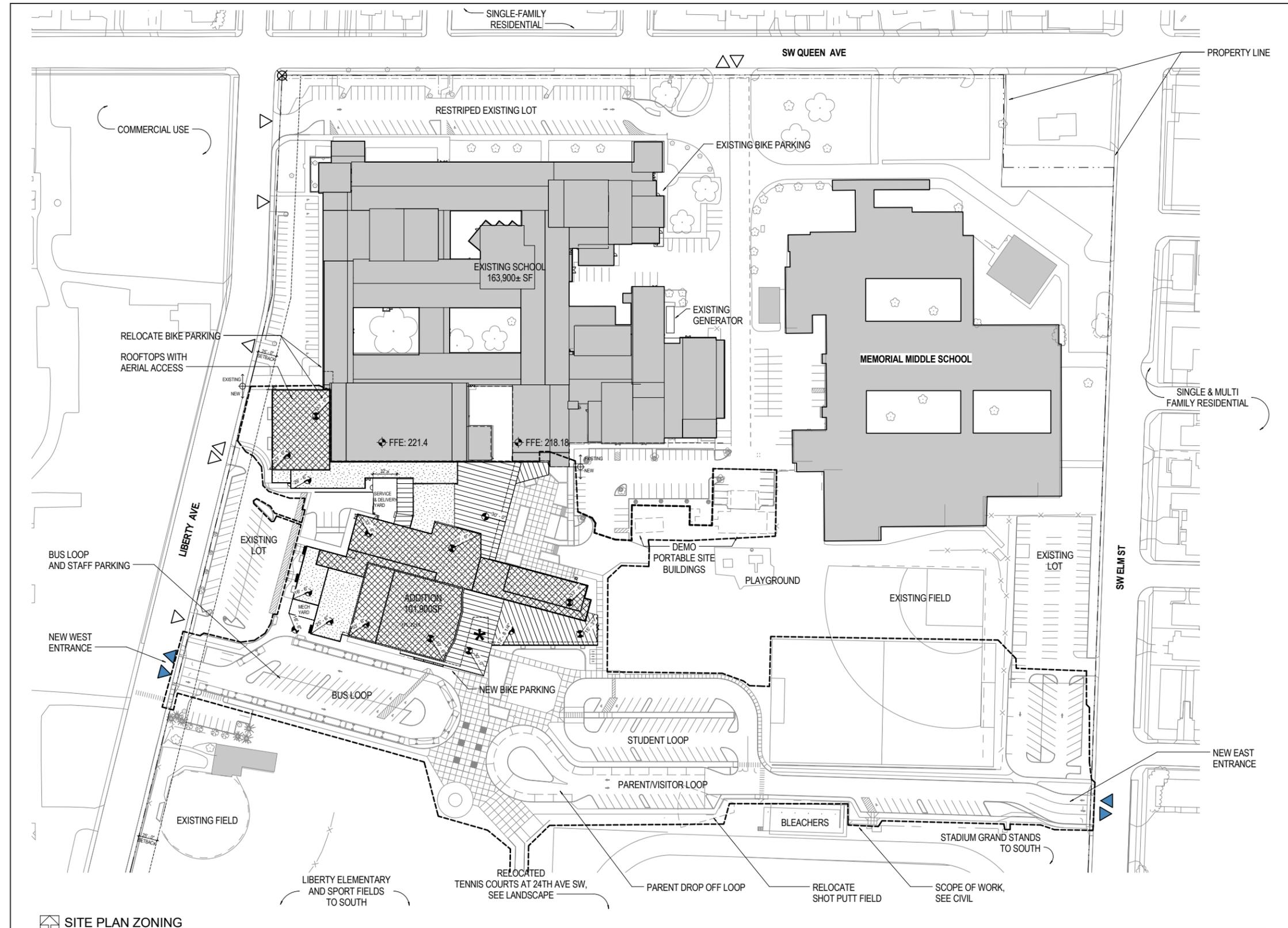
## SITE LEGEND

- Existing
- Phase I
- Athletic Fields
- Hardscape
- ✱
 Entrance
- Service
- Parking

## SUMMARY

Existing On Site Parking	359
Existing Parking After Completion	287
New Parking Created (ADA)	142 (10)
<b>Total Parking</b>	<b>429</b>
<b>Net Increase</b>	<b>70%</b>





**LEGEND NOTES**

- PLANTING AND FIRE ACCESS SEE CIVIL

**SITE PLAN LEGEND**

- ⊕ PROJECT BASE COORDINATE
- ⊕ PROJECT BOUNDARY
- ▲ PRIMARY ENTRANCE / EXIT VEHICLE
- △ SECONDARY ENTRANCE / EXIT VEHICLE
- ▭ EXISTING BUILDING / STRUCTURE
- ▨ ROOFS REQUIRING AERIAL ACCESS
- \* SCHOOL ENTRANCE
- - - PROPERTY LINE
- - - FENCE
- - - EASEMENT LINE
- - - SCOPE OF WORK LINE

**BUILDING AREAS - ADDITION**

GROUND LEVEL	- 74,300
UPPER LEVEL	- 27,600
<b>TOTAL</b>	<b>- 101,900</b>

1130 SW Queen Ave,  
Albany, OR 97321

CONDITIONAL  
USE

ARCHITECTURAL SITE PLAN  
WEST ALBANY HIGH SCHOOL  
GREATER ALBANY SCHOOL DISTRICT

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**DLR Group**  
Architecture Engineering Planning Interiors  
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**SITE PLAN ZONING**  
SCALE: 1" = 50'-0"

**GENERAL INFORMATION**

<b>PERMIT APPLICANT</b> ART FORM DLR GROUP 421 SW 5TH AVE #1200 PORTLAND, OR 97204	<b>PROJECT ADDRESS</b> WEST ALBANY HIGH SCHOOL 1130 SW QUEEN AVE, SW ALBANY, OR 97321	<b>BUILDING OWNER</b> GREATER ALBANY SCHOOL DISTRICT (GASD) ATTN: BUSS ALLEN 778 SOUTH AVE, SW ALBANY, OR 97321
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**SITE DESCRIPTION**

THE SITE CONSISTS OF A CONTIGUOUS PARCEL LOCATED WEST OF HWY 99 AND SOUTH OF QUEEN BLVD. THE LOTS ARE ACCESSIBLE ON ALL SIDES AND ARE OCCUPIED BY LIBERTY ELEMENTARY SCHOOL AT THE SOUTH, MEMORIAL MIDDLE SCHOOL AT THE NE CORNER AND WEST ALBANY HIGH SCHOOL AT THE NW CORNER AND MIDDLE OF THE SITE. ALL SCHOOLS CONTAIN DESIGNATED AND SHARED PARKING LOTS WITH DRIVEWAY ACCESS ON ALL THREE SIDES.

AT THE CENTER OF THE SITE IS A SPORTS STADIUM AND EXISTING GRAND STAND BLEACHERS, SURROUNDED BY ATHLETIC AND RECREATION FIELDS, WHICH ARE ACCESSIBLE BY ALL SCHOOLS AND OPERATED BY GASD.

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF A BUILDING ADDITION OF AN EXISTING HIGH SCHOOL. THE ADDITION WILL BE LOCATED AT THE SOUTH FRONTAGE OF THE EXISTING SCHOOL AND WILL CONTINUE TO BE OPERATED AS A SCHOOL WITH NEW EDUCATIONAL USES, INCLUDING SEATED THEATER, CAFETERIA, VOCATIONAL TRAINING AND AN AUXILIARY COMMUNITY. THE ADDITION WILL RECONNECT THE SCHOOL'S MAIN ENTRANCE TO THE CENTRALLY LOCATED WITHIN THE SITE.

NEW VEHICULAR BUS AND PARENT DROP-OFF LOOPS, AS WELL AS DEDICATED STUDENT PARKING IS PROPOSED. NOONING DEMOLITION OF THE EXISTING SCHOOL IS REQUIRED AS WELL AS RENOVATION OF THE EXISTING GRAND STAND BLEACHERS AT THE STADIUM. SITE ELEMENTS INCLUDE NEW CONTINUOUS SIDEWALK AND STREET CONNECTIVITY THROUGH THE SITE. PEDESTRIAN AMENITIES INCLUDE NEW PLAZA AND COURTYARD SPACES.

**ZONING DESIGNATION**

ZONING DISTRICT: RS-6.5 RESIDENTIAL SINGLE-FAMILY DISTRICT  
EXISTING BUILDING USE: EDUCATIONAL, GROUP-F  
CONDITIONAL USE APPROVAL THROUGH TYPE II PROCESS

**BUILDING SETBACKS - ADC 3.190, 3.330**

SPECIAL SETBACKS FOR EDUCATION: 25' FROM ANY PROPERTY LINE  
NO EQUIPMENT OR MATERIAL STORAGE WITHIN SETBACKS

**BUILDING HEIGHT - ADC 3.190, 3.340**

MAXIMUM HEIGHT: 30'  
EXCEPTION: ADC 3.340 (2) CONDITIONAL USE REVIEW

**VEHICLE PARKING - ADC 9.120**

**VEHICLE PARKING**  
CURRENT STUDENT POPULATION: 1300  
CURRENT STAFF POPULATION: 110  
EXISTING POPULATION OF OCCUPANTS ABLE TO PARK: 790 OF 1485  
EXISTING RATIO OF OCCUPANTS ABLE TO PARK: 12.2 OR 45%  
EXISTING PARKING: 369 SPACES

**FUTURE SCHOOL POPULATION: 1800**  
FUTURE STAFF POPULATION: 120  
PROPOSED POPULATION OF FUTURE OCCUPANTS ABLE TO PARK: 870 OF 1820  
PROPOSED RATIO OF OCCUPANTS PARKING: 1.23 OR 49.3%  
PROPOSED PARKING: 429 SPACES

NET INCREASE OF 39 SPACES  
NET INCREASE OF PARKING % BY 4.3%

**BICYCLE PARKING:**  
REQUIRES BICYCLE PARKING SPACES PER 110 SQ FT TO 43  
EXISTING PARKING TO REMAIN: 29 (ALL UNCOVERED)  
NEW BIKE PARKING COVERED 50% MIN: 32 (2)  
TOTAL BIKE PARKING: 61

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