



Community Development Department

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STAFF REPORT

Conditional Use (CU-06-16) and Site Plan Review for Tree Felling (SP-16-16) for New Construction of a Skilled Nursing Facility and a Memory Care Building within an existing Senior Care Community (Mennonite Village)

HEARING BODY

Planning Commission

HEARING DATE

Monday, November 21, 2016

HEARING TIME

5:15 p.m.

HEARING LOCATION

Albany City Hall Municipal Court Room, 333 Broadalbin Street SW

EXECUTIVE SUMMARY

This report reviews and evaluates a consolidated Conditional Use and Site Plan Review for Tree Felling application submitted by Mennonite Village for conformance with the Albany Development Code (ADC). The 5.14-acre property located at 5353 Columbus Street SE is zoned Residential Medium Density (RM) (Attachment A). The project is proposed to be completed in three phases. First, the applicant proposes to construct a 62,850 square-foot, three-story skilled nursing facility. According to the applicant, an in-patient rehabilitation center would be located on the ground floor along with a community gathering room, beauty salon, chapel, as well as administrative offices and a training center for nursing certification. Two upper floors would have a total of 42 private rooms for skilled nursing residents as well as a communal dining room, living rooms, outdoor decks and laundry facilities on each resident floor. The second phase of the development would remodel the existing skilled nursing facility resident rooms. All remodeling work would be done within the existing footprint of the building. The third phase would construct a 9,600 square foot memory care home for 16 residents for those with dementia and Alzheimer's disease (Attachment D.1).

Parking on site is proposed to be reconfigured and several existing structures including residential cottages and building areas would be demolished as part of the reconfiguration. The proposal includes site work to accommodate the new development including adjusting roadways, curbs, lighting, landscaping, circulation paths, gathering spaces, service areas and utilities. There would be 130 parking spaces and 11 bicycle parking spaces, six sheltered.

Site Plan Review approval is required for the felling of five or more trees larger than 25 inches in circumference (approximately 8 inches in diameter) on a lot or property in contiguous single ownership in excess of 20,000 square feet in any zone, according to (ADC) Section 9.207. The proposed development is located on a lot that measures 5.14 acres (223,898 sq. ft.). The applicants submitted a Site Plan Review application to remove 16 trees larger than 8 inches in diameter to construct the development (Attachment C.5).

Expiration of Approval: Final approval is valid for three years from the date of final approval unless: (a) The applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Section 12.600, or the first phase, if the development was approved for phased construction; or (b) A valid building permit exists for new construction or improvements, and work has commenced. If (a) or (b) has been done, then the project may continue to completion.

APPLICATION INFORMATION

DATE OF REPORT: November 10, 2016

STAFF REPORT PREPARED BY: David Martineau, Planner III

PROPERTY OWNER: Mennonite Home of Albany, Inc.; Attn: Dave Detweiler; 5353 Columbus Street SE; Albany, OR 97322-7136

ENGINEER: Dan Watson, K&D Engineering, Inc; PO Box 725; Albany, OR 97321

ARCHITECT: Michelle Rea, LRS Architects; 720 NW Davis, Suite 300; Portland, OR 97209

ADDRESS: 5353 Columbus Street SE

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-20; Tax Lot 1400

ZONING: RM (Residential Medium Density) District

TOTAL LAND AREA: 5.14 acres

EXISTING LAND USE: Mennonite Village, a residential retirement community

NEIGHBORHOOD: South Albany

SURROUNDING ZONING: North: Residential Medium Density (RM); Single-Family Residential (RS-6.5)
South: RM; Open Space (OS)
East: RM; RS-6.5
West: Urban Residential Reserve (Linn Co.)

SURROUNDING USES: North: Mennonite Village-single-story apartment units
South: Mennonite Village-existing skilled nursing facility
East: Mennonite Village-residential cottages (will be demolished)
West: Mennonite Village-parking lot; Columbus Street

PRIOR HISTORY: According to Planning Division files, a Planned Development was approved in 1997 for 128 attached dwelling units, 24 apartment units, community center, senior education and resource center, together with off-street parking spaces (File PD-02-97). A Planned Development that included an assisted living facility, multifamily dwelling units, a medical clinic and maintenance building was approved for this property in 1994 (PD-01-94). Other case history includes a sign variance (VR-17-93), an earlier planned development (PD-01-88), 63.84-acre annexation (AN-01-88), a comprehensive plan and zoning map amendment (CP-09-87; ZC-08-87), a 2.8-acre annexation (AN-04-86), two site plan review approvals (SP-43-86; SP-34-86), another annexation (AN-02-84), and a site plan review approval (SP-55-84) for construction of 71 dwelling units, a 3,360 square foot recreation building and a lake. Prior to 1984, Mennonite Village was in the jurisdiction of Linn County. The original nursing facility, Mennonite Home, was established in 1947.

NOTICE INFORMATION

On October 31, 2016, a Notice of Public Hearing was mailed to property owners within 300 feet of the subject property in accordance with ADC 1.360. The site was posted on November 14, 2016, in accordance with Section 1.410 of the Albany Development Code. As of November 7, 2016, no comments were received.

APPEAL

Within five days of the Planning Commission's final decision on these applications, the Community Development Director will provide written notice of decision to the applicant and any other parties entitled to notice.

Any person who submitted written comments during a comment period or testified at the public hearing has standing to appeal the Type III decision of the Planning Commission to the City Council by filing a Notice of Appeal and associated filing fee within 10 days from the date the City mails the Notice of Decision.

STAFF ANALYSIS

Conditional Use

File CU-06-16

Section 2.250 of the ADC contains the following review criteria, which must be met for this application to be approved. Code criteria are written in *bold italics* and are followed by findings, conclusions and conditions where needed to meet the criteria.

Criterion (1) The proposed use is consistent with the intended character of the base zone and the operating characteristics of the neighborhood.

FINDINGS OF FACT

- 1.1 Proposed use. The first phase of the proposed development is a building addition for a 62,850 square-foot, 3-story skilled nursing facility. The ground floor will feature an in-patient skilled rehabilitation center, resident services, chapel, administrative offices and a training center for nursing certification. The two upper floors will have a total of 42 private rooms for residents along with a communal dining room, living room areas, outdoor decks, and laundry facilities on each resident floor. The second phase of the development will be a remodel of the existing skilled nursing resident rooms immediately to the south of the proposed building addition. The two buildings will be connected on the ground floor. After completion of Phase 2, the remodeled facility will have 53 beds. The third phase features a new memory care home for 16 residents with dementia and Alzheimer's. The applicants are requesting approval for all three phases. The new development necessitates the removal of several residential cottages, a portion of the existing one-story skilled nursing building, a laundry facility, and some existing curbs and landscaping. At the conclusion of the project, 130 parking spaces will be provided; many of which already exist. The applicant also plans to remove 22 trees, which will be addressed separately in this report. The subject property is 5.14 acres, and is located east of Columbus Street at 5353 Columbus Street SE (Attachment A).
- 1.2 Intended character of the base zone. The property is zoned RM (Residential Medium Density). Albany Development Code (ADC) 3.020 states that this district is intended primarily for medium-density residential urban development. New RM districts should be located on a collector or arterial street or in Village Centers. Front yard setbacks are 15 feet; interior setbacks vary depending on use. Maximum height is 45 feet; maximum lot coverage is 70%. All yards adjacent to streets must be fully landscaped.

The development will be devoted to skilled nursing and memory care, both of which are classified as "assisted living facilities" in the ADC. "Assisted Living Facility" is defined in Article 22 of the ADC as: "[P]laces that provide housing, personal care or assistance to unrelated residents that need help with activities of daily living, who are usually elderly or disabled persons. At least one person resides on the site that is responsible for providing daytime care, protection, supervision, monitoring and/or training or treatment of residents. Larger group-living facilities may offer shared facilities for eating, hygiene and/or recreation. Tenancy is for longer than one month." The applicant does not propose having a caregiver reside on the premises; however, in their capacity as employees, caretakers will be present 24 hours a day to assist residents. An assisted living facility may be consistent with the RM zoning district if all of the review criteria for a conditional use are met. This staff report reviews the applicant's proposal against the review criteria. According to the Schedule of Permitted Uses in ADC 3.050, in the RM zoning district, assisted living facilities are allowed through Type III Conditional Use approval.

According to ADC 2.230, “Certain uses are conditional uses instead of being allowed outright, although they may have beneficial effects and serve important public interests. They are subject to the conditional use regulations because they may have significant adverse effects on the environment, overburden public services, change the desired character of an area, or create major nuisances. A review of these proposed uses is necessary due to the potential individual or cumulative impacts they may have on the surrounding area or neighborhood. The conditional use process provides an opportunity to allow the use when there are minimal impacts, to allow the use but impose conditions to address identified concerns, or to deny the use if the concerns cannot be resolved.”

- 1.3 Operating Characteristics of the Neighborhood. The 5.14-acre site is bordered by the Mennonite Village Senior Care Community on three sides (north, east and south). The Community is characterized by residential structures ranging from single family duplexes to independent living apartments, assisted living and nursing care facilities. Private streets and utilities serve the Community. Columbus Street abuts the west side of the property. There are two parcels to the west of Columbus Street. Both lie outside of the city limits. The Comprehensive Plan designation for these properties is “Urban Residential Reserve,” and portions of property near Oak Creek are designated “Open Space.” The northerly of the two parcels presently has a dwelling unit and accessory buildings. It is owned by Mennonite Management Services and is used for agricultural purposes.
- 1.4 Operating Characteristics of the Proposed Mennonite Village Senior Care Community. According to the applicant, the proposed development will have a skilled nursing facility expansion and remodel totaling 95 beds, and a new memory care home for 16 residents. An in-patient skilled nursing rehabilitation center will be located on the ground floor along with a community gathering room, beauty salon, chapel, administrative offices and a training center for nursing certification. Two upper floors will have 42 private rooms for skilled nursing residents, a communal dining room, outdoor decks, and laundry facilities on each floor. The development will be designed to meet residents’ physical and social well-being. Staff will be present 24 hours a day. The proposed skilled nursing home will be three stories, and approximately 42 feet tall (see Attachments D.10 & D.11). The 16-bed memory care facility will be located to the southeast of the skilled nursing facility. It will consist of a one-story building that is about 15 feet in height (see Attachment D.12). The project will use architectural features compatible with the existing surrounding buildings.
- 1.5 Public Notification and Participation. A neighborhood meeting was conducted by the applicant at 6:30 p.m. on June 21, 2016, at the Chapel at Mennonite Village, 5353 Columbus Street SE. Notice of the neighborhood meeting was sent at least ten days in advance to a total of 58 property owners within 300 feet of the proposed development (Attachments B.1 – B.4). The meeting was attended by Ron Litwiller, Dave Detweiler and another representative from Mennonite Village, and four representatives from LRS Architects. There were no neighbors in attendance (Attachment B.5).

CONCLUSIONS

- 1.1 The proposed development consists of a new skilled nursing facility and a new memory care home within the existing Mennonite Village Senior Care Community.
- 1.2 The new skilled nursing facility will be three stories and about 42 feet tall. The memory care building will be single-story at about 15 feet in height. The RM zoning district has a maximum building height allowance of 45 feet.
- 1.3 The facilities will have staff on premises 24 hours a day to provide care to residents.
- 1.4 The proposed development will be located near the center of a 5.14-acre parcel that is surrounded on three sides by the existing Mennonite Village Senior Care Community.

- 1.5 The proposed skilled nursing facility and memory care home are consistent with the intended character of the RM zoning district and the operating characteristics of the neighborhood.
- 1.6 Conditions of approval will be proposed in subsequent sections of this report that will ensure the facility will be consistent with the intended character of the base zone.

Criterion (2) The proposed use will be compatible with existing or anticipated uses in terms of size, building scale and style, intensity, setbacks, and landscaping or the proposal calls for mitigation of differences in appearance or scale through such means as setbacks, screening, landscaping or other design features.

FINDINGS OF FACT

- 2.1 Definition of Compatible. “Compatible” does not mean “the same.” *Merriam Webster’s Collegiate Dictionary*, Eleventh Edition, defines “compatible” as “(1) capable of existing together in harmony.”
- 2.2 Existing and Anticipated Uses. The property is currently the main campus of the Mennonite Village Continuing Care Retirement Community that serves aging residents with various levels of housing and day-to-day living activities. Although the subject property is 5.14 acres, Mennonite Village consists of 275 acres overall and includes housing types that range from independent living homes to assisted living apartments, skilled nursing and memory care for persons aged 55 and over. The grounds are landscaped in a park-like setting. The site has recreational trails, garden areas, and a man-made lake that is adjacent to the Lakeside Wellness Center. The campus developed over the past 70 years from the original 24-room Mennonite Home, constructed in 1947, to new development and site updates being proposed at this time. According to the applicant, the proposed development will be compatible in scale and character with the existing development.
- 2.3 Scale of Single-Family Homes. The subject development site is not near any existing single-family homes either on the Mennonite Village campus or off campus. Homes located in the main campus of Mennonite Village are single story duplexes with an average height of about 14 feet to the ridgeline, 36-foot widths, and 88-foot lengths, not including the garages, and multifamily units with similar heights. One property across Columbus Street from Mennonite Village has a single family house on it along with several agricultural accessory structures (e.g. barns, sheds). There are no pending annexations or imminent development proposals on any of these parcels.
- 2.4 Scale of the Proposed Development. ADC Section 3.190, Table 1, shows that the maximum building height allowed in the RM zoning district is 45 feet. The first phase of the development will be construction of a 3-story addition to the existing skilled nursing facility. The footprint for the building addition is approximately 17,000 square feet. The building itself will have a total area of 62,850 square feet, spread across three levels, and this area includes exterior covered areas, decks and a basement. Elevation drawings submitted with the application indicate that the addition will be about 42 feet in height (Attachments D.10 & D.11). Phase 2 of the development is for an interior remodel of the existing nursing home, which will not alter the scale of the building. Phase 3 is a single-story, 16-unit memory care home that will be 15 feet in height. This building will have a footprint of 9,800 square feet. Several smaller existing structures in the project area will be removed to allow for reconfiguration of parking lots, driveways and landscaping in certain areas. These structures are shown on the Architectural Site Plan (Attachment D.1), and include about seven residential cottages, a laundry facility, a portion of the existing skilled nursing facility located on the north side, some portions of existing sidewalk, curb and parking areas.

As noted above under the Prior History section of this report, development of the Mennonite Village campus occurred through a planned development process, which allows flexibility in certain development standards if the result is a more desirable environment or neighborhood than would otherwise occur under the conventional standards such as minimum lot area, height and yard requirements (ADC 11.250 and 11.280). Private streets may also be constructed in a planned development (ADC 11.280). Clay Street

and 53rd Avenue SE are existing private streets within the Mennonite Village community. Both essentially wrap around the 5.14-acre subject property, just outside the property lines (see Location Map, Attachment A). The Phase 1 skilled nursing facility addition will be set back about 13.8 feet south of 53rd Avenue; 29 feet southwest of the closest point on curve at the intersection of Clay and 53rd Avenue; and about 50 feet west of Clay Street. The proposed 13.8-foot setback from private 53rd Avenue is less than the 15-ft minimum front yard setback normally required in the RM zone. However, this site is within a planned development and according to ADC 11.280(1), development standards such as minimum lot area, and height and yard requirements may be adjusted to provide for a higher quality development in planned developments. Reducing the minimum setback distance as proposed would result in development consistent with setback distances previously approved on the site and is not expected to result in any negative impacts. The new facility will be set back from public Columbus Street about 110 feet. The new memory care home proposed in Phase 3 will be set back about 29 feet to the west of Clay Street. The subject property is surrounded by RM zoning containing duplexes and multi-family development that is primarily single story, all belonging to the Mennonite Village community. Based on setbacks being provided, the use, as proposed, can fit within the context of existing and anticipated residential development nearby.

- 2.5 Intensity and Lot Coverage of the Proposed Development. The maximum lot coverage in the RM district is 70%. Lot coverage for single-family detached development only includes areas of the lot covered by buildings or structures. For other uses, lot coverage includes buildings, structures, pavement, and other areas not vegetated or in a naturally permeable state. The building footprint of the skilled nursing building addition in Phase 1 will be 17,000 square feet and the memory care home planned for Phase 3 will be 9,800 square feet. The net area of the subject property is 5.14 acres (223,898 square feet). According to figures in the Conditional Use Review and Checklist provided by the applicant, the square footage of all building pads, both existing and proposed, totals 89,100 square feet. The square footage of all parking and access areas equal 67,600 square feet, for a total lot coverage of 156,700 square feet, or 70% (Attachment E.7). The development, as proposed, meets lot coverage standards.
- 2.6 Architectural Style of Skilled Nursing Facility and Memory Care Building. According to the applicant, the architectural features of the proposed senior care community create the appearance of a collection of smaller buildings. The building facades and roof tops are broken up with a series of projecting bays, entry porches and gable roofs. The stairs for the three-story skilled nursing facility will be enclosed the building itself and are part of the building architecture. The memory care building is single story, and as such, will not have stairs. Drawings submitted with the application reveal a color palette consisting of black asphalt shingle roofs, white vinyl siding, fiber cement shingle siding, charcoal gray vinyl trim, and “tea chest” decorative wood (Attachment D.12). This style and color scheme is also proposed for the skilled nursing facility; however, portions of the first floor wall will consist of brick that will match the brick along the existing skilled nursing facility (Attachments D.10 & D.11).
- 2.7 Vehicle Parking – Required Number. Table 9-1 of ADC Section 9.020 lists minimum parking space requirements for various residential uses. Section 9.070 of the ADC states that, in the case of mixed uses, the total requirement for off-street parking spaces is the sum of the requirements for the various uses. According to the Code, assisted living, residential care facilities, nursing, and convalescent homes require one (1) parking space per three beds at capacity. At project completion, there will be 135 beds distributed across the new skilled nursing wing (Phase 1-42 beds), remodeled skilled nursing facility (Phase 2-53 beds), new memory care building (Phase 3-16 beds), and the existing memory care buildings (Lydia’s Houses A and B-24 beds combined). Therefore, for these uses, 45 parking spaces are required ($135 \div 3$).

The first floor of the new skilled nursing facility measures 16,400 square feet and will not have resident rooms. Instead, the uses will range from a rehabilitation therapy area, staff offices, training classrooms, multipurpose room, salon, a prayer and meditation room and an admissions area. The Albany Development Code lists parking standards for offices, meeting rooms, beauty and barber shops, and medical offices. Office uses, except for medical and dental clinics, require one (1) parking space per 400 square feet of floor area. Meeting rooms require one (1) space per 200 square feet. Beauty and barber

shops require one (1) space per 200 square feet plus one (1) space per three employees. The rehab therapy use could be classified as a medical clinic. This use would require one (1) parking space per 250 square feet of floor area. According to ADC 9.020(1), the area measured is the combined floor area of each level of a building exclusive of vent shafts, court yards, stairwells, elevator shafts, restrooms, storage rooms and rooms designed and used for the purpose of storage and operation of maintenance equipment, and covered or enclosed parking areas. Based on the floor plan, the estimated parking for the sum of uses is as follows:

Table 1: Parking Requirements for Assisted Living and Accessory Uses

Use	Requirement	Area/Quantity	Spaces
Assisted Living Area	1 per 3 beds at capacity	135 Beds	45.00
Facility Offices	1 per 400 sq. ft. floor area	4,554 sq. ft. net	11.39
Rehab Therapy Area	1 per 250 sq. ft. floor area	2,532 sq. ft. net	10.13
Meeting Rooms	1 per 200 sq. ft. floor area	1,485 sq. ft. net	7.43
Beauty Salon/Barber Shop	1 per 200 sq. ft. + 1 per 3 emp.	482 sq. ft. net	3.41
Total			77.36 (77 spaces)

Based on the number of parking spaces required for the skilled nursing and memory care uses (45), plus the sum of parking required for the declared uses on the first floor of the skilled nursing facility addition (32), staff finds that a minimum of 77 parking spaces are required for the proposed development. This is in addition to parking required to be maintained for the existing memory care buildings, which is calculated at eight (8) spaces total for 24 beds, resulting in 85 parking spaces. The applicant intends to provide 130 spaces.

2.8 Parking Lot Design and Construction. Parking lots must be paved, landscaped, and provided with approved drainage. ADC 9.120(3) states that all areas of a parking lot shall have a durable, dust-free surface of asphalt, cement concrete, or other materials approved by the Director of Public Works. ADC 9.130, Table 1, includes dimensional standards for parking lots. The ADC requires a stall depth of 18.5 feet for spaces that are 9 feet wide and angled at 90 degrees. A 3-foot parking overhang with wheel bumpers or 7.5-foot sidewalk must be provided at the front of each space fronting a sidewalk, and can be subtracted to determine actual stall depth. Dead-end back up areas shown on the site plan are at least 5 feet deep. The applicant’s site plans show that these standards will be met (Detail 2 on Attachment D.1).

Parking areas shall be divided into bays of not more than 12 parking spaces, according to ADC Section 9.150(1). Parking spaces shown on the Architectural Site Plan, Attachment D.1 of the applicant’s submittal, are at least 9.0 feet wide by 18.5 feet deep, with a 3-foot bumper overhang where they face a 5-foot wide sidewalk. Wheel stops are also provided in all parking stalls. The width of the two-way travel aisle throughout the parking lot and the perimeter of the property (53rd Avenue, Clay Street, and 54th Avenue) is a minimum of 26 feet. The applicant proposes bays of not more than 12 parking spaces where new parking is being provided together with landscaped planter bays conforming to minimum Code requirements. Of 130 parking spaces being provided on site, 37 spaces will be newly created. These all lie on the east side of the property, west of Clay Street. The other 93 spaces will be left intact with existing planter bays remaining in place.

2.9 Loading Standards. Off-street loading spaces are required for all uses except office and residential uses. Assisted living and skilled nursing facilities are considered residential uses; however, aspects of the use function as an institutional use when support functions such as food services, laundry and housekeeping facilities and medical supplies are considered in the normal daily operations of running a continuing care facility. As a guideline, therefore, Section 4.260(3) of the ADC states that buildings in excess of 50,000 square feet require 750 square feet of loading area. The new skilled nursing facility has a total of 62,850 square feet; however, only the first floor, measuring 16,400 square feet, consists exclusively of nonresidential uses. A building ranging in size from 5,000 square feet to 20,000 square feet is required to have a loading area at least 250 square feet, according to Section 4.260(3)(a). The applicant plans to provide a loading area measuring 500 square feet. The loading area is shown on the northeast side of the property, just east of Phase 1 development. As proposed, the loading area standards are satisfied.

- 2.10 Bicycle Parking. ADC 9.120(13)(a) states that multiple family dwellings must provide one bicycle parking space for every four (4) units. ADC 9.120(13)(h) says at least one-half of required bicycle parking spaces must be sheltered. Under this standard, 34 bicycle spaces, 17 that are covered, would be required for the entire project. Site Plans show that a total of 10 bicycle parking spaces are being provided. Figure 1, Typical Bike Parking detail on Attachment D.1 of the applicant's submittal shows that dimensional requirements listed in ADC 9.120(g) can be met; however, no detail showing overhead clearance of at least 7 feet was provided. The applicant contends that the residents of the facility will not be using bicycles due to their age and physical limitations (Attachment B.24). Staff concurs with this assertion and will instead base required parking on standards for commercial and office development. ADC 9.120(13)(c) requires two spaces, plus one space for every ten automobile spaces required. A total of 85 automobile spaces will be required; therefore 11 bicycle parking spaces will be required, six of which must be covered. According to the applicant, the six covered spaces will be located at the front of the new skilled nursing facility.
- 2.11 Lighting. ADC Section 9.120(14) requires that any lights provided to illuminate any public or private parking area must be arranged to reflect the light away from any abutting or adjacent residential district. According to the applicant, site lighting will match existing lighting in the Village. Pole lights are 12 feet tall and have a "shoebox" fixture that aims the light downward (see Attachments B.25 and E.5). The main entries for the new buildings are set back and covered so the lighting at the buildings will be a mix of down lights in the soffits and sconces adjacent to the doors. Since the new building entries will be recessed from the front of the buildings, there is no concern for glare or of light to be reflected into the adjacent existing structures.
- 2.12 Outside Storage. ADC Section 3.390 states that any refuse container or refuse disposal area which would otherwise be visible from a public street, customer or resident parking area, any public facility, or any residential area, shall be screened from view by placement of a sight-obscuring fence, wall or hedge at least 6 feet in height. All refuse materials shall be contained within the screened area. No refuse container or refuse disposal area shall be placed within 15 feet of a dwelling window. The applicant submitted a detail drawing showing the proposed location and method of screening for the refuse disposal area. The method of screening is acceptable; however, the proposed location may create a site distance problem when the garbage truck pulls out of the loading zone. While the Code doesn't require the refuse disposal area to be moved, staff recommends that it be located to improve safety. If the refuse disposal area is relocated, a new detail drawing shall be submitted to the Planning Division to determine compliance with development standards.
- 2.13 Buffering and Screening. ADC Section 9.210 requires buffering and screening in order to reduce the impacts on adjacent uses which are of a different type. Multifamily developments require 10 feet of buffering when abutting single-family dwellings. In addition, parking lots containing at least five (5) spaces require 10 feet of buffering and screening from abutting single-family uses. The Director may waive the buffering/screening requirements of this section where such has been provided on the adjoining property in conformance with this Code. Where a use would be abutting another use except for separation by right-of-way, buffering (but not screening) shall be required as specified in the matrix. Where a proposed use abuts undeveloped property, only one-half of the buffer width shall be required.

Buffering and screening is provided along the Columbus Street frontage of the Mennonite property. The proposed development does not abut any single-family uses or zoning districts.

2.14 Landscaping. All front setbacks (exclusive of accessways and other permitted intrusions) are required to be landscaped before an occupancy permit will be issued or final building permit approved. In all residential districts except Rural Residential (RR), the minimum landscaping acceptable for every 50 lineal feet of street frontage (or portion thereof, deducting the width of the driveway) is:

- (a) One tree at least six feet tall.
- (b) Four 1-gallon shrubs or accent plants.
- (c) The remaining area treated with attractive ground cover (e.g., lawn, bark, rock, ivy, and evergreen shrubs).

The front setback of the subject property abuts Columbus Street and is located in the RM zoning district. It is about 516 lineal feet in length. There are two driveway intrusions along this frontage, each a one-way access. The first one measures 16 feet in width; the second measures 16 feet presently, but will be widened to 24 feet in order to accommodate a fire access route necessitated by the project. When accounting for driveways, the frontage is reduced to 476 lineal feet, for the purposes of front yard landscaping. With a 15-foot front yard setback in the RM zone, the total landscape area is 7,140 square feet. This area requires nine trees at least six feet tall; 29 shrubs or accent plants at least one gallon in size; and the remaining area treated with attractive ground cover. The applicant confirmed in correspondence dated October 28, 2016, that the required trees, shrubs and groundcover are present on site (Attachment B.26). Staff concurs with the applicant that this requirement has been met.

2.15 Parking Lot Landscaping. ADC 9.150 requires the following:

- (1) Planter Bays. Parking areas shall be divided into bays of not more than 12 parking spaces. Between or at the end of each parking bay there shall be curbed planters at least five feet wide. Each planter shall contain one tree at least ten feet high and decorative groundcover containing at least two shrubs for every 100 square feet of landscape area.
- (2) Entryway Landscaping. Entryways into parking lots shall be bordered by a minimum 5-foot wide landscape planter strip meeting the same landscaping provisions as for planter bays, except that no sight-obscuring trees or shrubs are permitted.
- (3) Parking Space Buffers. Parking areas shall be separated from the exterior wall of a structure by pedestrian entranceways or loading areas or by a five-foot strip of landscaping materials.

The conceptual landscaping plan submitted with the application shows compliance with these standards where new parking spaces are being provided (Attachment C.6). Said landscaping shall be installed with any required irrigation prior to occupancy.

2.16 Landscaping and Vision Clearance Areas. No trees, shrubs, fences, or signs may be located within any vision clearance area, which prohibits structures, or planting that would impede visibility between the heights of two feet and eight feet. A clear vision area consists of a triangular area, two sides of which are lot lines or a driveway, and the third side of which is a line across the corner of the lot joining the non-intersecting ends of the two sides. For this use, the measurement along the drive edge and residential district driveways shall be 15 feet, in accordance with ADC 12.180(2). It is unclear from the applicant's landscaping plan whether landscaping will impede visibility at these intersections. A condition of approval will require the applicant to provide the Planning Division with a detail showing the vision clearance area and the plantings contained therein prior to issuance of a building permit.

2.17 Irrigation. ADC 9.160 requires that all required landscape areas be provided with a piped underground irrigation system, unless a licensed landscape architect or certified nurseryman submits written verification that the proposed plant materials do not require irrigation. Irrigation systems installed in the public right-of-way require an encroachment permit. No irrigation plans were provided with this submittal, however a statement on the applicant's preliminary landscape plans indicates that all landscaped areas will be served by an automatic underground irrigation system. A final landscape and irrigation plan (if applicable) must be submitted for review and approval prior to issuance of a building

permit. The final landscape plan shall indicate the number, size, spacing, and names of all proposed plants. Said landscaping and irrigation (if applicable) shall be installed and approved prior to issuance of an occupancy permit.

- 2.18 ADC 9.200 requires that all required landscaped areas must be maintained in an attractive manner free of weeds and noxious vegetation. The minimum amount of required living landscape materials shall be maintained.
- 2.19 Signs – Residential Conditional Use. Section 13.610 of the ADC states, “For subdivisions, multiple-family units (including planned developments), or identified neighborhood areas, one single- or double-faced, indirectly lit sign not to exceed 24 square feet for one face or 48 square feet in surface area for two or more faces. If the sign is not attached to a building, the sign may be no more than four feet tall. The information allowed on the sign shall be limited to the name and address of the development. If the sign pertains to any development request, then the location and design shall be subject to the appropriate review.” Signs are permitted under separate permit. The applicant’s narrative does not address signage for the proposal.
- 2.20 Design Standards. See review of Design Standards for Multiple Family Homes following this Conditional Use section in the staff report below.

CONCLUSIONS

- 2.1 In terms of size, building scale and style, intensity, setbacks, and landscaping, the proposed development will be compatible with existing uses in this area because it satisfies development standards and incorporates mitigation strategies such as landscaping, common open space, shielded lighting, and architectural features to minimize any adverse impacts.
- 2.2 The proposed development will comply with lot coverage, setback, and building height standards of the RM zoning district.
- 2.3 The applicant demonstrates that required parking can be met. The overall use requires 85 spaces; the applicant proposes 130.
- 2.4 Required bicycle parking will be based on commercial and office development rather than multifamily residential development since most of the residents are of advanced age and have limited mobility. The proposed amount of bicycle parking spaces is expected to adequately serve employees and visitors.
- 2.5 Adequate front yard landscaping is provided on the Columbus Street frontage abutting the property.
- 2.6 Required parking lot landscaping and irrigation, if applicable, will be installed prior to issuance of an occupancy permit.
- 2.7 Based on the observations above, the proposed development will be compatible with existing or anticipated uses in terms of size, building style, intensity, setbacks, and landscaping when the following conditions are satisfied.

CONDITIONS

- 2.1 Prior to issuance of a certificate of occupancy, 77 parking spaces shall be provided at the conclusion of Phase I development. An additional eight (8) parking spaces shall be provided at the conclusion of Phase III development, for a project total of at least 85 spaces.
- 2.2 A total of 11 bicycle parking spaces are required, six (6) of which must be covered. Bicycle parking shall be provided which meets the standards for dimensional requirements specified in ADC 9.120(13)(g)-(h) and in the amount shown in accordance with submitted site plans at the time of occupancy.
- 2.3 In accordance with ADC 3.390, the refuse disposal area must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least six feet in height. This screening shall be installed prior to occupancy.
- 2.4 The applicant shall provide the Planning Division with a detail showing all vision clearance areas and the plantings contained therein prior to issuance of a building permit. All required vision clearance areas shall be maintained.
- 2.5 A final landscape and irrigation plan (if applicable) for each phase must be submitted for review and approval prior to issuance of a building permit in that phase. The final landscape plan shall indicate the number, size, spacing, and names of all proposed plants. Said landscaping and irrigation (if applicable) shall be installed and approved prior to issuance of an occupancy permit.
- 2.6 If the refuse disposal area is moved to a different location, a new detail drawing demonstrating compliance with development standards shall be submitted to the Planning Division for review and approval.

Criterion (3) The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, on-street parking impacts, access requirements, neighborhood impacts and pedestrian safety.

FINDINGS OF FACT

- 3.1 The proposed development is located within the Mennonite Home facility at 5353 Columbus Street. The development will construct a three story skilled nursing facility, remodel existing skilled nursing resident rooms and a memory care home for 16 residents with dementia and Alzheimer's.
- 3.2 Columbus Street is classified as a minor arterial street and is constructed to city standards. Improvements include curb, gutter, and sidewalk, a travel lane in each direction, a two way center left turn lane, and on street bike lanes. No on-street parking is allowed on Columbus Street.
- 3.3 The site currently enjoys two driveway approaches to Columbus Street. The proposed site plan calls for both existing approaches to remain. No new driveways will be installed with the project.
- 3.4 The applicant submitted a trip generation study with the application. The study was performed by K&D Engineering and is dated July 27, 2016. The study estimated that at project completion the development would add 89 weekday trips to the street system. Of those, eight were projected to occur during the PM peak traffic hour.
- 3.5 The City's Transportation Master Plan does not identify a level of service or capacity problem adjoining the development.
- 3.6 Based upon the low number of projected new trips that the development will generate, staff believes the street system has adequate reserve capacity to accommodate the project.

CONCLUSIONS

- 3.1 The development's frontage on Columbus Street is improved to city standards. No on-street parking is allowed on the street.
- 3.2 The development will generate about 89 new vehicle trips, of which eight are projected to occur during the PM peak traffic hour.
- 3.3 Albany's Transportation Master Plan does not identify a level of service or capacity problem adjoining this development.
- 3.4 Based on the low number of projected new trips that the development will generate, the street system has adequate reserve capacity to accommodate the project.
- 3.5 No changes are being proposed to the site's two existing driveway connection points to Columbus Street.
- 3.6 This criterion is satisfied without conditions.

Criterion (4) Public services for water, sanitary and storm sewer, water management and for fire and police protection are capable of servicing the proposed use.

FINDINGS OF FACT

Sanitary Sewer

- 4.1 City utility maps show a 36-inch public sanitary sewer main in Columbus Street. Sewer mains that lie within the development are private.
- 4.2 The applicant is proposing to connect the new buildings to the internal private sewer system that serves the development.
- 4.3 Sanitary sewer system development charges will be due at the time of building permit issuance.

Water

- 4.4 City utility maps show a 12-inch public water main in Columbus Street. Water mains that lie within the development are private.
- 4.5 The applicant is proposing to connect the new buildings to the internal private water system that serves the development.

Storm Drainage

- 4.6 City utility maps show an 18-inch public storm drainage main in Columbus Street. Storm water facilities that lie within the development are private.
- 4.7 ADC 12.530 states that a development will be approved only where adequate provisions for storm and flood water run-off have been made, as determined by the City Engineer.
- 4.8 The applicant is proposing to connect the new buildings to the existing private storm water collection system serving the development.
- 4.9 The applicant is required to provide on-site storm water quality facilities as specified in Article 12 of the Albany Municipal Code, and the City's Engineering Standards.
- 4.10 The City's Engineering Division has reviewed the applicant's storm water quality design information and has concluded that it is acceptable in concept. Final design details for this work will be reviewed in conjunction with the required storm water quality permit.

Police Protection

4.11 Existing police services are capable of serving this property.

Fire Services

4.12 The Fire Department has not identified any problems serving this property.

CONCLUSIONS

- 4.1 Public utilities in the area can accommodate the proposed development.
- 4.2 Police and fire services can be provided to the proposed development.
- 4.3 The applicant must provide water quality facilities to treat on-site storm water runoff before it enters the public storm drainage system. A Storm Water Quality permit must be obtained from the Public Works Department before constructing these facilities.

CONDITION

4.1 Before the City will issue the Certificate of Occupancy for the proposed project, the applicant must obtain a Storm Water Quality permit from the City's Engineering Division, and construct storm water quality facilities as required in Article 12 of the AMC, and the City's Engineering Standards.

Criterion (5) The proposal will not have significant adverse impacts on the livability of nearby residentially zoned lands due to: (a) Noise, glare, odor, litter, and hours of operation; (b) Privacy and safety issues.

FINDINGS OF FACT

- 5.1 Noise. The project is a senior community care facility. Residents in this type of community are not prone to creating excessive noise; however, vehicles may enter or leave the facility at any time, as is the case in any residential neighborhood. Staff will be on hand at the facility 24 hours a day. The development will be set back from the west property line 110 feet. It will be set back about 15 feet from the northern property line. The Mennonite Village Senior Care Community abuts the subject property on three sides, while Columbus Street abuts the property to the west. All abutting residential developments (duplexes and multifamily) are part of Mennonite Village.
- 5.2 Glare. The applicant proposes new onsite lighting to match existing light fixtures. Pole lights around the private drive and parking lot are 12 feet tall and have fixtures that aim the light downward. Exterior building lighting will be a mix of downward lighting in the soffits and sconces adjacent to the doors. New building entries will be recessed, which will mitigate any concerns for glare. Staff finds that the proposed exterior lighting will not result in glare upon the public right-of-way or beyond the facility's property line.
- 5.3 Odor/Litter. The proposed use is primarily residential in character, to be occupied by persons needing assistance with daily living. It is not expected that the development will generate any odors or litter that is not typical of any other residential development.
- 5.4 Hours of Operation. The applicant states that the facility will be staffed 24 hours a day, and will be open to visitors daily from 8:00 a.m. to 8:00 p.m. Staff shift changes will occur daily at 6:30 a.m., 2:30 p.m., and 10:30 p.m.
- 5.5 Privacy and safety issues. All of the surrounding residential development is part of the Mennonite Village community, which encompasses many different types of senior care. New landscaping around the proposed development is proposed to help maintain a level of privacy for the existing buildings on campus. The sidewalks that run throughout the campus and parking lots contain both bollard and pole lighting, which will help to maintain a safe environment, according to the applicant.

CONCLUSIONS

- 5.1 Because of its location, and as conditioned, the proposed development is not expected to negatively impact the livability, privacy, or safety of neighboring residential properties due to noise, glare, odor, litter, or hours of operation.
- 5.2 No changes are proposed that would create new privacy and safety issues.
- 5.3 This criterion is satisfied.

Criterion (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

FINDINGS OF FACT

- 6.1 Airport Approach. The subject property is not located within the Airport Approach District.
- 6.2 Topography. *Comprehensive Plan, Plate 7: Slopes*, shows that the property is nearly level with a rise of only two feet from south (236 feet) to north (238 feet), using the NGVD 1929 datum.
- 6.3 Natural Resources. *Comprehensive Plan, Plate 5: Floodplains*, does not show a 100-year floodplain on this property. FEMA/FIRM Community Panel Number 41043C0527G, dated September 29, 2010, shows the property is in Zone X, an area determined to be outside the 0.2% annual chance floodplain.
- 6.4 Wetlands. *Comprehensive Plan, Plate 6: Wetland Sites*, does not show any wetlands on this property. The National Wetland Inventory does not show wetlands in this location.
- 6.5 Archaeological and Historic Sites. *Comprehensive Plan, Plate 9: Historic Districts*, shows the property is not located in any historic districts. There are no known archaeological sites on the property.

CONCLUSION

- 6.1 There are no special features of this site to be considered, so this review criterion is not applicable.

STAFF ANALYSIS

Design Standards

Multiple Family Development (ADC 8.210-8.300)

In addition to the review criteria above, the following Design Standards must be met. **Note:** If there is a checked box symbol () preceding a standard, it means that staff has compared the applicant's findings and plans to the standard(s) and find the standard(s) is met without comment. If the box is unchecked () , staff has provided findings and conclusions as to the reason(s) why the standard is not met, and has added a condition. "NA" preceding the standard means it is not applicable to this particular development

N/A ***Relationship to Historic Overlay Districts (ADC 8.210)***. *Applicable only for residential property inside the Monteith or Hackleman Historic Overlay Districts, see Article 7 for additional historic review criteria.*

Recreation and Open Space Areas (ADC 8.220). *In multi-family developments, a portion of the land not covered by buildings and parking shall be of adequate size and shape and in the proper location to be functional for outdoor recreation and relaxation. The standards are also intended to ensure that project open space is an integral part of the overall development design, not merely leftover space. In larger developments there should be a variety of open space activities.*

- 1) Common Open Space. For projects of 10 or more units, common open space shall be required at a ratio of 0.25 square feet for each 1.0 square feet of living space.
 - a) Areas designated as common open space shall be at least 500 square feet in size with no horizontal dimension less than 20 feet. The open space shall be functional and shall include one or more of the following types of uses:
 - swimming pools, spas, and adjacent patios and decks
 - developed and equipped adult recreation areas
 - sport courts (tennis, handball, volleyball, etc.)
 - community centers
 - food and ornamental gardens
 - lawn or hard surface areas in which user amenities such as trees, shrubs, pathways, covered picnic tables, benches, and drinking fountains have been placed
 - natural areas
 - b) Developments shall provide a mix of passive and active recreational uses from the above list if the open space can accommodate more than one use.
 - c) Indoor or covered recreational space may count towards 50 percent of the common open space requirement.
 - d) No more than 20 percent of the common open space requirement shall be on land with slopes greater than 20 percent.
 - e) Areas Excluded. Streets and parking areas, including areas required to satisfy parking lot landscape standards, shall not be applied toward the minimum useable open space requirement. Required setback areas may be applied toward the minimum useable open space requirement, with the exception of active, noise-generating activities.
 - f) Designated on Site Plan. Areas provided to satisfy the minimum useable open space requirement shall be so designated on the development site plan and shall be reserved as open space. Adult recreation areas shall not be allowed in any required setback and shall be centrally located.
 - g) Open Space and Recreation Area Credit. An open space credit, not to exceed 25 percent of the common open space requirements, may be granted if there is direct access by a pedestrian path, not exceeding 1/4 mile, from the proposed multiple family development to an improved public park and recreation area or public school playground.
- 2) Children's Play Areas. Multiple family developments larger than 10 units (excluding 1-bedroom and studio units) shall designate one or more children's play areas.
 - a) Children's play areas shall be placed within 300 feet of the units they are intended to serve. More than one play area may be needed in larger developments.
 - b) No horizontal dimension of a children's play area shall be less than 20 feet.
 - c) Placement of children's play areas shall not be allowed in any required setback and shall be centrally located.
 - d) Children's play areas may be part of the common open space area but do not count toward the use requirement as outlined in Section 8.220(1)(a).

FINDINGS OF FACT: The applicant states that the living space for the combined existing development and proposed expansions totals 51,400 square feet, broken out as follows:

- 1) Existing skilled nursing living space, 15,000 square feet;
- 2) Existing memory care living space, 5,800 square feet;
- 3) Phase 1 skilled nursing living space, 25,400 square feet; and
- 4) Phase 3 memory care living space, 5,200 square feet (Attachment C.1).

Total living space was derived from combining the gross floor area of each resident room with the gross floor area of the common living spaces open to residents. Based on these calculations, 12,850 square feet

of common open space is required. The applicant is providing 28,710 square feet in nine locations around the existing and proposed development site (see Attachment D.1).

These nine areas designated common open-space appear to meet the minimum dimensional requirements as shown on the site plan. The applicant states that the open space area includes ornamental gardens, lawns, and hard surface pedestrian walkways, where amenities such as trees, shrubs, benches, and picnic tables will be placed. Because the facility meets the excluding exception allowed in ADC 8.220(2), a dedicated children's play area is not required.

Private Open Space (ADC 8.230). *In all newly constructed multiple family developments, private open space shall be provided as follows:*

- 1) **Building Orientation.** *Buildings shall be oriented so that no private open space or rear entrance faces a public street.*
- 2) **At-Grade Dwellings.** *Dwellings located at finished grade, or within 5 feet of finished grade, shall provide at least 96 square feet of private open space per unit, with no dimension less than 8 feet. Private open space for at-grade dwellings may be provided within interior courtyards created within a single building or cluster of buildings. Private open space for at-grade dwellings shall be screened from view from public streets.*
- 3) **Above-Grade Dwellings.** *Dwellings located more than 5 feet from finished grade shall provide a minimum of 80 square feet of private open space per dwelling unit (such as a yard, deck or porch), with no dimension less than 6 feet. Private open space for units located more than 5 feet above grade may be provided individually, as with a balcony or collectively by combining into a larger area that serves multiple units.*
- 4) **Access to Private Open Space.** *All private open space shall be directly accessible from the dwelling unit through a doorway.*
- 5) **Privacy Requirements.** *Ground-level private open space shall be physically and visually separated from common open space. [Ord. 5445, 4/12/00]*

FINDINGS OF FACT: The applicant contends that private open space requirements do not apply because the residential senior care units are not considered independent multiple family units. Security concerns coupled with the advanced age and limited mobility of residents make the provision of private open space infeasible and unsafe. Staff concurs with this finding.

Maximum Setbacks for Street Orientation (ADC 8.240).

- 1) *On sites with 100 feet or more of frontage on a collector or local public street, at least 50 percent of the site width shall be occupied by a building(s) placed no further than 25 feet from the front lot line.*
- 2) *On sites with less than 100 feet of frontage on a collector or local public street, at least 40 percent of the site width shall be occupied by a building(s) placed no further than 25 feet from the front lot line.*
- 3) *As used in these standards, "site width" does not include significant natural resources as mapped by the City, delineated wetlands, slopes greater than 20%, recorded easements, required fire lanes and other similar non-buildable areas as determined by the City.*

FINDINGS OF FACT: Columbus Street is a minor arterial street. The proposed development does not have frontage on a collector or local public street.

Functional Design and Building Details (ADC 8.250). *These standards are intended to promote functional design and building details that contribute to a high-quality living environment for residents and enhance compatibility with the neighborhood.*

- 1) *Building design shall avoid long, flat, uninterrupted walls or roof planes. Changes in wall plane and height, and inclusion of elements such as balconies, porches, arbors, dormers, gables and other human-scale design elements such as landscaping should be used to achieve building articulation.*

- 2) *Buildings shall be massed so individual units are clearly identifiable from the private or public street that provides access.*
- 3) *Stairways shall be incorporated into the building design. External stairways, when necessary, should be recessed into the building, sided using the same siding materials as the building, or otherwise incorporated into the building architecture.*
- 4) *Building facades shall be broken up to give the appearance of a collection of smaller buildings.*

Building Orientation and Entries (ADC 8.260). *These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.*

- 1) *As many of the dwelling unit entries as possible shall face public local residential streets and along the internal street system of larger scale developments. Internal units may face a courtyard or plaza, but not a parking lot. The use of front porches or entry patios and terraces is encouraged.*
- 2) *Building entries and entries to individual units shall be clearly defined, visible for safety purposes, and easily accessible. Arches, gateways, entry courts, and awnings are encouraged to shelter entries.*
- 3) *Individual entries are encouraged; the use of long access balconies and/or corridors that are monotonous and impersonal are discouraged.*
- 4) *The primary entrance(s) of ground floor units of residential building(s) located within 25 feet of a local street may face the street. Primary entrances may provide access to individual units, clusters of units, courtyard dwellings, or common lobbies. No off-street parking or circulation shall be located between the front of the building and the street. The following exceptions to this standard are allowed:*
 - *On corner lots the main building entrance(s) may face either of the streets or be oriented to the corner.*
 - *For buildings that have more than one entrance serving multiple units, only one entrance must meet this requirement.*

FINDINGS OF FACT: The development is oriented as a campus, with buildings orientated toward each other and to the private driveway loop, creating a sense of neighborhood within the site. This neighborhood-like pattern has been established for many years, as site development was approved through a series of planned developments. The applicant notes the project includes covered front porches and entrance patios in order to “architecturally articulate the point of entry for each individual building.”

Transition to Lower Density Uses (ADC 8.270). *The following design standards shall be incorporated into the design of multiple-family housing to create transitions between multiple-family developments and nearby, lower-density residential development, in order to reduce the impacts of building mass and scale.*

- 1) *When abutting single-family homes, buildings shall be set back at least one foot for each foot in building height from the property line. Building height is measured from the average grade to the top of the wall facing the property line or to the top of the highest window or door, whichever is higher.*
- 2) *Smaller-scale buildings should be sited in the area immediately adjacent to single-family zoning districts, and larger-scale buildings sited at the interior of the development or adjacent to other multiple-family developments.*
- 3) *Parking and maneuvering areas, driveways, active recreation areas, loading areas and dumpsters should not be located between multiple family buildings and abutting single-family homes.*

FINDINGS OF FACT: The memory care building is one story, and the future skilled nursing facility addition will be three stories. The subject development site is not near any existing single-family homes, either on the Mennonite Village campus or off campus. Homes located on the main campus of Mennonite Village are single story duplexes with an average height of about 14 feet to the ridgeline, 36-foot widths, and 88-foot lengths, not including the garages, and multifamily units with similar heights.

Pedestrian Connections (ADC 8.280). *Pedestrian circulation systems shall be designed to provide clear and identifiable connections within the multiple-family development and to adjacent uses and public streets/sidewalks.*

- 1) *Each multiple family development shall contain an internal pedestrian circulation system that makes clear, easily identifiable and safe connections between individual units and parking and shared open space areas. All pedestrian ways shall comply with the requirements of the Americans with Disabilities Act.*
- 2) *The pedestrian circulation system shall be designed to provide safe crossings of streets and driveways. Reflective striping should be used at crossings to emphasize the crossing under low light and inclement weather conditions.*
- 3) *Safe, convenient, and attractive pedestrian connections shall be provided between the multiple family development and adjacent uses such as parks, schools, retail areas, bus stops, and other pedestrian ways. Connections shall be made to all adjacent streets and sidewalks at 200-300 foot intervals.*

FINDINGS OF FACT: The project has a clear, extensive, and identifiable pedestrian circulation system connecting each of the individual buildings through a combination of outdoor open walkways and indoor enclosed corridors between buildings for staff and residents. There is also a pedestrian connection to Columbus Street located along 53rd Avenue, just north of the water vaults located in the bump-out adjacent to parking on the west edge of the site. According to the applicant, the pedestrian system provides a high level of safety, security, and comfort for the staff and residents.

Vehicle Circulation System (ADC 8.290). *On-site circulation shall be clearly identifiable, safe, pedestrian friendly and interconnected.*

- 1) *Internal vehicle circulation system of a multiple family development shall be a continuation of the adjacent public street pattern wherever possible and promote street connectivity. Elements of the public street system that shall be emphasized in the internal circulation system include the block pattern, sidewalks, street trees, on-street parking and planter strips.*
- 2) *The vehicle circulation system and building pattern shall mimic a traditional local street network and break the development into numerous smaller blocks with all of the public street system elements highlighted above. Private streets are acceptable, unless a public street is needed to extend the public street grid. The connectivity and block length standards in Articles 11 and 12 apply to all public and private streets.*
- 3) *The streets that form the primary internal circulation system may include parallel parking and accessways to parking bays or courts, but should not be lined with head-in parking spaces.*
- 4) *Interior roadways shall be designed to slow traffic speeds. This can be achieved by meandering the roadway, keeping road widths to a minimum, allowing parallel parking, and planting street trees to visually narrow the road.*

FINDINGS OF FACT: All proposed streets on site are private. The internal street system is accessed from Columbus Street. A private 26-foot wide road circles the area of the site being developed and provides access to the individual buildings and serves as a required fire lane. The posted speed limit along this road is 10 mph. Criterion 3 of ADC 8.290 states that the internal street system should not be lined with head-in spaces. The applicant states, "Sidewalks are provided adjacent to nearly all parking stalls so that drivers and pedestrians do not have to walk to their destinations within the vehicular drive aisles." Staff notes that the standard is somewhat discretionary because of the word "should," and given the nature of the building layout and both indoor and outdoor pedestrian connections to and from each building without potential conflicts with motor vehicles, we find that on-site circulation is pedestrian-friendly.

□ **Parking (ADC 8.300).** *Multiple-family development shall provide attractive street frontages and visual compatibility with neighborhoods by minimizing the placement of parking lots along public streets. See Article 9 for additional parking lot standards.*

- 1) *Parking lots, carports, and garages shall not be sited between multiple-family buildings and the public local street unless site size and configuration make this impossible. Where available, private access to parking is encouraged.*
- 2) *Parking areas shall be broken into numerous small parking bays and landscaped to minimize their visual impact. Large, uninterrupted rows of parking are prohibited. Required parking must be located within 100 feet of the building entrance for each unit. The integration of garages into residential buildings is encouraged.*

FINDINGS OF FACT: The proposed development occurs within the core of the existing campus. Existing parking bays are located off of the existing interior private access road and behind a landscaped buffer that abuts Columbus Street. New parking areas are proposed along the private street just east of the development area. These spaces are separated into bays containing 12 spaces or less.

CONCLUSIONS:

- DS.1 The common open space requirement is met through a combination of outdoor areas containing features such as landscaping, pedestrian paths, benches and picnic tables.
- DS.2 Security concerns coupled with the advanced age and limited mobility of residents make the provision of private open space infeasible and unsafe. Staff concurs with this finding.
- DS.3 Applicable design standards are satisfied without conditions.

STAFF ANALYSIS

Site Plan Review – Tree Felling Concurrent with Development

File: SP-16-16

ADC 9.207 says Site Plan Review approval is required for the felling of five or more trees larger than 25 inches in circumference (approximately eight inches in diameter) on a lot or property in contiguous single ownership in excess of 20,000 square feet in any zone. The property where the tree felling is proposed is 5.14 acres under the ownership of Mennonite Home of Albany, Inc. According to Albany Development Code (ADC) Section 9.208, Tree Felling criteria replace the Site Plan Review criteria found in Article 2 of the Code for the purpose of reviewing tree felling. This application is for tree felling with concurrent development; therefore, the criteria listed in ADC 9.208(2) apply to this proposal. Code criteria are written in ***bold italics*** and are followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion 2(a) It is necessary to fell tree(s) in order to construct proposed improvements in accordance with an approved site plan review or conditional use review, or to otherwise utilize the applicant's property in a manner consistent with its zoning, this code, applicable plans adopted by the City Council, or a logging permit issued by the Oregon Department of Forestry.

FINDINGS OF FACT

- TF a.1 The applicant submitted a consolidated Conditional Use application for a new 42-bed, three-story skilled nursing facility, a 16-bed one-story memory care home for persons with dementia and Alzheimer's disease, and various site improvements, including 130 vehicle parking spaces, common open space areas, pedestrian connections, and a Site Plan Review application for the removal of 16 trees with diameters eight inches or greater. The consolidated conditional use staff report recommends approval of the proposed development with conditions.
- TF a.2 This Site Plan Review application for tree felling proposes to remove 16 out of 54 trees surveyed within the scope of the project area on site which have trunk diameters greater than 8 inches. These 16 trees include 11 "deciduous" trees, three cedars, one apple, and one spruce tree (Attachment C.5). It is noted that an additional six trees are being removed that are listed on the tree table; however, they each have diameters less than 8 inches, which is below the threshold for requiring Site Plan Review for Tree Felling.
- TF a.3 The applicant notes that existing trees within the project area were spared in places where new construction is not proposed.
- TF a.4 Oregon Department of Forestry (ODF) permits are required only if commercial use of the felled trees will occur (e.g. logs or firewood are sold). The applicant has not indicated whether any felled trees would be sold.

CONCLUSIONS

- TF a.1 Tree removal is necessary to construct the proposed skilled nursing facility, memory care building, and related site improvements, a use that is consistent with its zoning assuming an approved Conditional Use permit.
- TF a.2 If the felled trees are sold, the applicant will need to contact the Oregon Department of Forestry (ODF) regarding any appropriate permits.
- TF a.3 This review criterion is satisfied.

Criterion 2 (b) The proposed felling is consistent with State standards, City ordinances, and the proposed felling does not negatively impact the environmental quality of the area, including but not limited to: the protection of nearby trees and windbreaks; wildlife; erosion; soil retention and stability; volume of surface runoff and water quality of streams; scenic quality, and geological sites.

FINDINGS OF FACT

- TF b.1 State permits are required if a commercial use of the forest product will occur, such as logs or firewood being sold. This is the responsibility of the applicant. Local ordinances regulating tree felling include Albany Development Code (ADC) Sections 9.205 through 9.208, and Albany Municipal Code Chapter 7.98. Consistency with City standards is determined by this review. None of the trees proposed for removal are listed as heritage trees, according to City records.
- TF b.2 The nesting season for migratory birds is approximately March 1st to August 31st. The Federal Migratory Bird Act prohibits the taking, harming, or moving of any migratory birds, eggs, or nests. The applicant shall be responsible for contacting the U.S. Department of Fish and Wildlife to confirm the date range for the specific project site before removing trees.
- TF b.3 According to the applicant, trees will be removed during construction when erosion control measures are in place. Tree protection measures will be included on the erosion control plans. The applicant asserts that surrounding trees will not be adversely affected by changing windbreaks due to the tree removal, because the trees are largely independent of the other trees in the site area. Storm water runoff from the proposed facilities will be routed through water quality planters. Water quality will be improved and some detention is provided by the proposed planters.
- TF b.4 The City has not identified any mandated view or scenic corridors. There are no nearby open streams or known geological sites in the vicinity of the subject property. This development is not in an area of steep slopes.
- TF b.5 The City Arborist reviewed the tree felling application and had no concerns (Attachment E.6).

CONCLUSIONS

- TF b.1 The proposed felling will be consistent with State standards if any required logging permit is obtained from the Department of Forestry.
- TF b.2 Consistency with City standards is determined by this review.
- TF b.3 The proposed felling is consistent with City ordinances and does not negatively impact the environmental quality of the area, including but not limited to the protection of nearby trees and windbreaks, wildlife, erosion, soil retention and stability, volume of surface runoff and water quality of streams, scenic quality and geological sites.
- TF b.4 The Federal Migratory Bird Act prohibits the taking, harming, or moving of any migratory birds, eggs, or nests.
- TF b.5 This review criterion is met with the following conditions:

CONDITIONS

- TF b.1 It shall be the applicant's responsibility to ensure the proposed tree removal, including the timing of removal, is in compliance with the Federal Migratory Bird Act.
- TF b.2 The applicant shall comply with all approved measures of the Erosion Prevention and Sediment Control (EPSC) permit during any tree felling activities and subsequent development on the site.

Criterion 2 (c) The uniqueness, size, maturity, structure, and historic value of the trees have been considered and all other options for tree preservation have been exhausted. The Director may require that trees determined to be unique in species, size, maturity, structure, or historic values are preserved.

FINDINGS OF FACT

- TF c.1 The applicant has submitted a tree inventory showing species, location, and diameter of trees they propose to remove (Attachment C.5).
- TF c.2 This Site Plan Review application for tree felling proposes to remove 22 out of 54 trees surveyed on site, 16 of which have trunk diameters greater than eight inches. These 16 trees include 11 “deciduous” trees, three cedars, one apple, and one spruce tree.
- TF c.3 None of the trees on site have been designated as possessing historic value or other unique characteristics. According to the applicant, the only trees that are larger than 24 inches in diameter are cedar trees. While these are larger trees, they are not unique in size.
- TF c.4 The applicant states that all the trees that need to be removed are located within the proposed construction footprint. Trees within the project area that could be avoided will be.
- TF c.5 The applicant has demonstrated the need to remove 16 trees that are in locations that will interfere with construction of allowable uses. These are shown on the Tree Felling Plan (Attachment [Sheet C-3]).

CONCLUSIONS

- TF c.1 The applicant states that the removal of 16 trees greater than eight inches in diameter is necessary in order to construct the proposed development.
- TF c.2 None of the trees on site have been designated as possessing historic value or other unique characteristics.
- TF c.3 This review criterion is met.

Criterion 2 (d) Tree felling in Significant Natural Resource Overlay Districts meets the applicable requirements in Article 6.

FINDING OF FACT

- TF d.1 The subject property is not located within a Significant Natural Resource Overlay District.

CONCLUSION

- TF d.1 This criterion is not applicable.

OVERALL CONCLUSION

This report reviews and evaluates a Conditional Use and Tree Felling application, submitted by LRS Architects and K&D Engineering, on behalf of Mennonite Village for conformance with the Albany Development Code (ADC). As proposed and conditioned, the application for a conditional use review to construct a new 62,850-square foot, three story addition to the existing skilled nursing facility, a new 16,000-square foot memory care home, 130 vehicle parking spaces, and a Site Plan Review for Tree Felling to remove 22 trees from the development site satisfies all of the applicable review criteria as outlined in this report.

OPTIONS FOR THE PLANNING COMMISSION

The Planning Commission has three options with respect to the subject application:

Option 1: Approve;

Option 2: Approve with Conditions; or

Option 3: Deny

STAFF RECOMMENDATION

Based on the analysis in this report, staff recommends the Planning Commission pursue Option 2 and approve the application with the conditions of approval provided below.

Motion:

Based on the staff recommendation, the following motion is suggested:

I move that the Planning Commission approve land use applications CU-06-16 and SP-16-16, as conditioned in the November 7, 2016, staff report to the Planning Commission. This motion is based on the findings and conclusions in the staff report, and the findings in support of the application made by the Planning Commission during deliberations on this matter.

Conditions of Approval:

General

- Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval, and shall comply with all applicable state, federal and local laws.

Site Compatibility

- 2.1 Prior to issuance of a certificate of occupancy, 77 parking spaces shall be provided at the conclusion of Phase I development. An additional eight (8) parking spaces shall be provided at the conclusion of Phase III development, for a project total of at least 85 spaces.
- 2.2 A total of 11 bicycle parking spaces are required, six (6) of which must be covered. Bicycle parking shall be provided meeting the standards for dimensional requirements specified in ADC 9.120(13)(g)-(h) and in the amount shown in accordance with submitted site plans at the time of occupancy.
- 2.3 In accordance with ADC 3.390, the refuse disposal area must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least six feet in height. This shall be installed prior to occupancy.
- 2.4 The applicant shall provide the Planning Division with a detail showing all vision clearance areas and the plantings contained therein prior to issuance of a building permit. All required vision clearance areas shall be maintained.
- 2.5 A final landscape and irrigation plan (if applicable) for each phase must be submitted for review and approval prior to issuance of a building permit in that phase. The final landscape plan shall indicate the number, size, spacing, and names of all proposed plants. Said landscaping and irrigation (if applicable) shall be installed and approved prior to issuance of an occupancy permit.
- 2.6 If the refuse disposal area is moved to a different location, a new detail drawing demonstrating compliance with development standards shall be submitted to the Planning Division for review and approval.

Public Utilities

- 4.1 Before the City will issue the Certificate of Occupancy for the proposed project, the applicant must obtain a Storm Water Quality permit from the City's Engineering Division and construct storm water quality facilities as required in Article 12 of the AMC and the City's Engineering Standards.

Tree Felling

- TF b.1 It shall be the applicant's responsibility to ensure the proposed tree removal, including the timing of removal, is in compliance with the Federal Migratory Bird Act.
- TF b.2 The applicant shall comply with all approved measures of the Erosion Prevention and Sediment Control (EPSC) permit during any tree felling activities and subsequent development on the site.

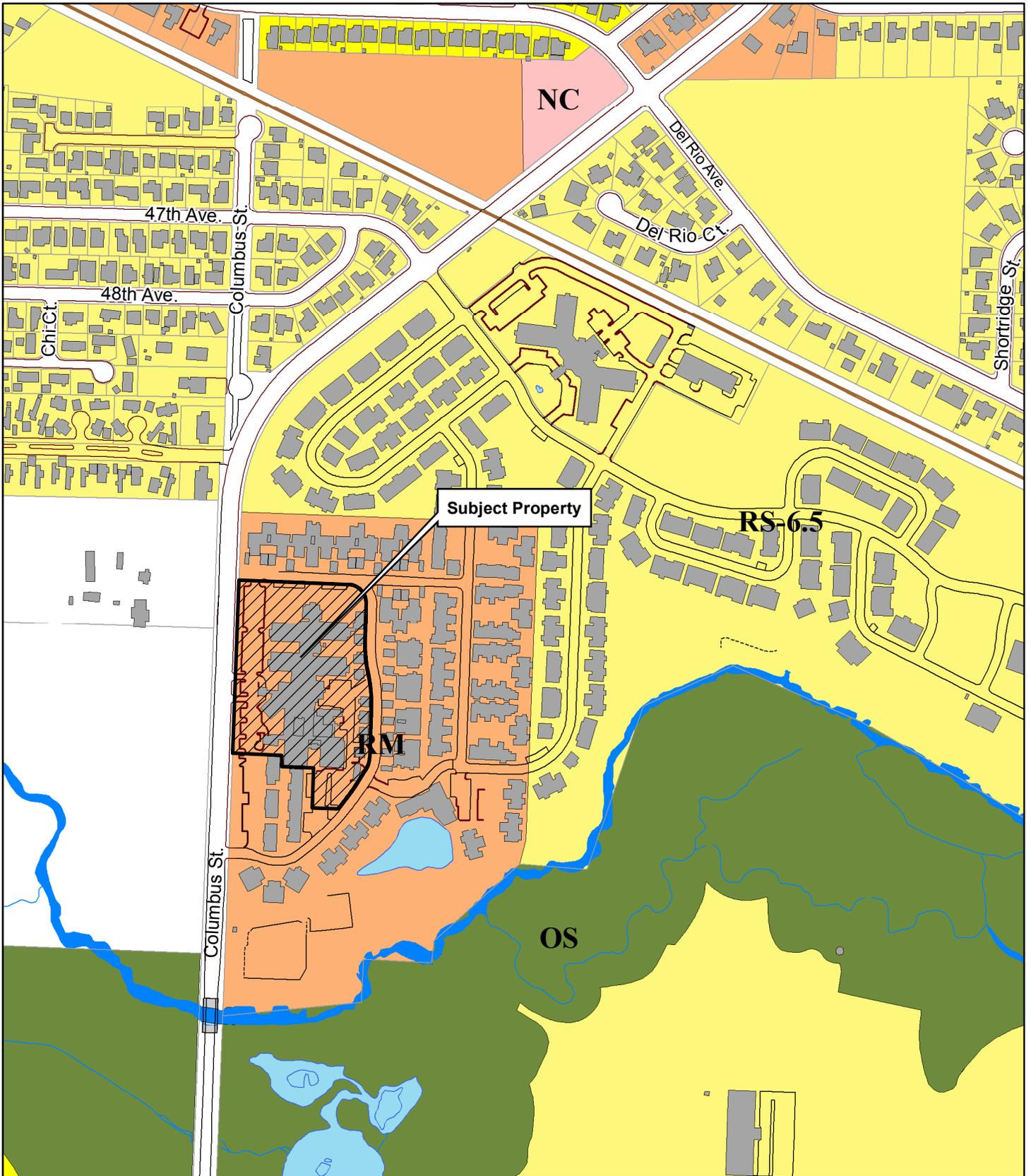
ATTACHMENTS

- A. Location Map
- B. Applicant's Findings
- B.1 – B.5 Neighborhood Meeting
 - B.6 – B.22 Written Narrative
 - B.23 – B.26 Supplemental Responses
- C. Civil Site Plans
- C.1 Cover Sheet (Sheet CS)
 - C.2 Topographic Survey
 - C.3 Grading & Utility Plan (Sheet C-1)
 - C.4 Fire Access Plan (Sheet C-2)
 - C.5 Tree Felling Plan (Sheet C-3)
 - C.6 Landscape Plan (Sheet L101)
- D. Architectural Plans
- D.1 Site Plan (Sheet A002)
 - D.2 Site Plan Detail-Common Open Space Areas 2, 3 & 5
 - D.3 Site Plan Detail-Trash Enclosure (Sheet A050)
 - D.4 SNF Basement Floor Plan (Sheet A201)
 - D.5 SNF Phase I First Floor Plan (Sheet A202)
 - D.6 SNF Phase I Second Floor Plan (Sheet A203)
 - D.7 SNF Phase I Third Floor Plan (Sheet A204)
 - D.8 SNF Phase II Floor Plan (Sheet A205)
 - D.9 Memory Care Phase III Floor Plan (Sheet A206)
 - D.10 SNF Phase I Exterior Elevations North & East (Sheet A501)
 - D.11 SNF Phase I Exterior Elevations South & West (Sheet A502)
 - D.12 Memory Care Phase III Exterior Elevations (Sheet A503)
- E. Other Documents
- E.1 – E.4 Trip Generation Report
 - E.5 Site Pole Light Example
 - E.6 City Arborist Comments dated September 13, 2016
 - E.7 Conditional Use Application Checklist, Page 7

ACRONYMS

ADC	Albany Development Code
AMC	Albany Municipal Code
AN	Annexation
CU	Conditional Use
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
ITE	Institute of Transportation Engineers
NAVD 1988	North American Vertical Datum of 1988*
NGVD 1929	National Geodetic Vertical Datum of 1929*
ODOT	Oregon Department of Transportation
OS	Open Space Zoning District
PD	Planned Development
RM	Residential Medium Density Zoning District
RS-6.5	Residential Single-family Zoning District (minimum lot size 6,500 sq. ft.)
SD	Subdivision
SP	Site Plan Review
TSP	City of Albany's Transportation System Plan
VR	Variance

*The conversion factor from NGVD 1929 to NAVD 1988 in Albany is +3.38 feet.



Location Map: 5353 Columbus Street SE (Mennonite Village)

 The City of Albany's Infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect; thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

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August 3, 2016

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

July 15, 2016

City of Albany
City Hall - Community Development
333 Broadalbin SW
Albany, OR 97321

Re: Conditional Use – Neighborhood Meeting Summary

Project Name: Mennonite Village Senior Care Community – Mennonite Home Enhancement
LRS Project Number: 215373

A. Dates and Locations of all neighborhood meetings:

1. Meeting #1

Date: June 21, 2016
Location: The Chapel at Mennonite Village
5353 Columbus St. SE
Albany, OR 97321

B. Method of publicizing meeting:

For meeting #1, 58 public notices were mailed through the USPS to all property owners and residents within 300 feet of the boundaries of the subject property. The public notice included the date, time and location of the public meeting. It also contained a brief description of the development proposal and proposed uses, and included a map for geographical reference. See attached Notification of Neighborhood Meeting, 2 pages total.

C. Attendees:

Meeting #1 was attended by 7 people, of which 3 were Mennonite Village administrative staff and 4 were from LRS Architects. There were no neighbors in attendance. See attached sign-in sheet, 1 page total.

D. Agenda of Meeting #1:

Ron Litwiller / Mennonite Village – Welcome and brief description of the history of the Mennonite Village campus and expressed how their mission will be expanded upon in the proposed development.

Dan Edwards / LRS Architects – Present an overview of the design for the proposed new Skilled Nursing Facility, remodel of existing skilled nursing facility and future proposed development of the Memory Care building addition. See attached presentation, 14 pages.

E. Issues raised by neighbors:

No neighbors attended the meeting; therefore, no concerns about the proposed development were expressed.

F. Issues addressed:

No neighbors attended the meeting; therefore there were no concerns raised or issues to be addressed.

Notification of Neighborhood Meeting

Meeting Date: Tuesday, June 21, 2016
Meeting Time: 6:30 p.m.

Location: The Chapel at Mennonite Village
5353 Columbus St. SE
Albany, Oregon 97322

Contact person:
Melissa Meiners
LRS Architects
503-265-1598

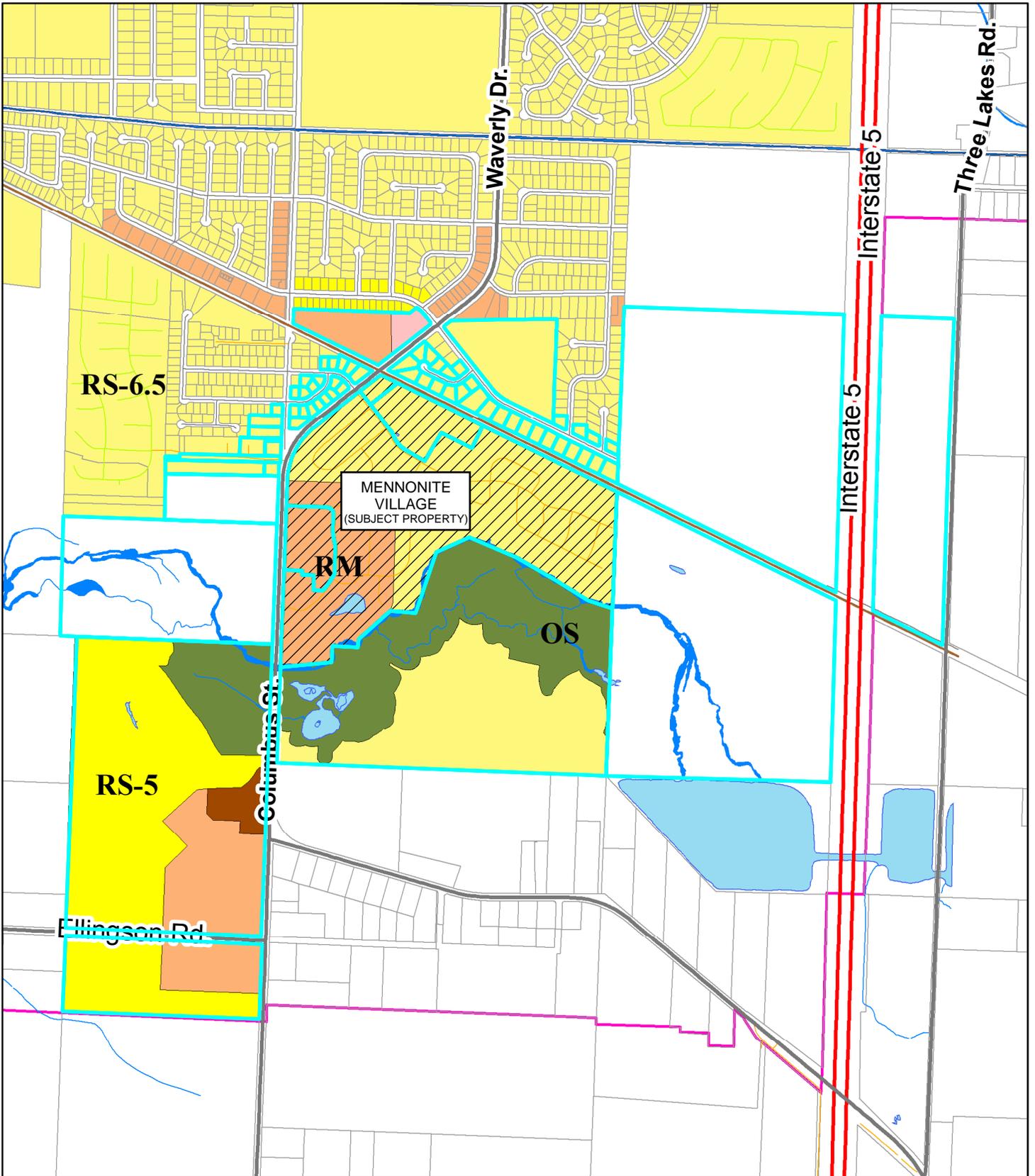
Dear Neighbor:

The Mennonite Village will be holding a Neighborhood Meeting to present plans for a proposed development on their campus.

The Mennonite Village South Care Community serves aging residents of Albany and the surrounding communities by providing facilities to assist with various levels of day-to-day living activities. The first phase of the proposed development within this community is a 3-story skilled nursing facility. An in-patient skilled nursing rehabilitation center will be located on the ground floor along with a community gathering room, beauty salon, chapel, as well as administrative offices and a training center for nursing certification. Two upper floors will have a total of 42 private rooms for skilled nursing residents as well as a communal dining room, living rooms, outdoor decks and laundry facilities on each resident floor.

Phase two of this proposed development will be a remodel of the existing skilled nursing resident rooms. A building addition is also proposed at a later phase which will be a memory care home for 16 residents for those with dementia and Alzheimer's.

Enclosure: Area Map of Subject Property



Mennonite Village - 300' Notice Area



The City of Albany's Infrastructure records, drawings and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

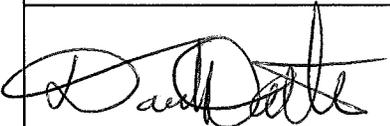
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May 26, 2016

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

Mennonite Village Senior Care Community		
Mennonite Home Enhancement		
Neighborhood Meeting		June 21, 2016
Location: The Chapel at Mennonite Village		
5353 Columbus St. SE Albany, Oregon 97322		
NAME	ADDRESS	PHONE #
IUAN PONCE	LRS. ARCHITECTS.	
MICHELLE REA	LRS ARCHITECTS	503.221.1121
DAN EDWARDS	LRS ARCHITECTS, INC	503.221.1121
MELISSA MEINERS	LRS ARCHITECTS	"
Ann BeMiller	Mennonite Village	541-928-7232
Ron Litwiller	Mennonite Village	541.928.2232
	Mennonite Village	541-223-1265

TYPE III CONDITIONAL USE
Written Statement

For:

MENNONITE VILLAGE
SENIOR CARE COMMUNITY

MENNONITE HOME ENHANCEMENT

By LRS Architects & K&D Engineering, Inc.

CONDITIONAL USE WRITTEN STATEMENT

***For: Mennonite Village
South Care Community***

LIST OF DRAWINGS

CS	Cover Sheet
-	Survey (For Reference Only)
C-1	Grading and Utility Plan
C-2	Fire Access Plan
C-3	Tree Felling Plan
L101	Schematic Landscape Plan (CUP)
A002	Architectural Site Plan (CUP)
SNF A201-A204	Skilled Nursing Floor Plans – Phase I
SNF A205	Existing Skilled Nursing First Floor Plan – Phase II
MC A206	Memory Care First Floor Plan – Phase III
SNF A501-A502	Skilled Nursing Exterior Elevations – Phase I
MC A401	Memory Care Exterior Elevations– Phase III

LIST OF ATTACHMENTS

Traffic Trip Generation Study
Drainage Water Quality Study

PROJECT DESCRIPTION

Project Location: 5353 Columbus Street SE, Albany OR 97322

Zoning Base Zone: RM

Legal: Tax lot 1400, Section 20, T11S, R03W, WM

Map: 11S03W200001400

Owner: Mennonite Village
C/O Ron Litwiller, President
5353 Columbus Street SE
Albany Oregon 97322

Jurisdiction: City of Albany, Oregon

Neighborhood: South Albany

General Description: The Mennonite Village Senior Care Community serves aging residents of Albany and the surrounding communities by providing a continuum of care for seniors. The campus is a benefit to the community as it recognizes the need to support and integrate a growing segment of the population into the larger community. The Independent Living homes and apartments, Assisted Living apartments, Skilled Nursing facility and Memory Care living at Lydia's building provides healthy and safe options for seniors, giving peace of mind to both residents and their families. The new facilities will enhance the various functioning levels of day-to-day living activities.

The first phase of the proposed development within this community is a 3-story skilled nursing facility. An in-patient skilled nursing rehabilitation center will be located on the ground floor along with a community gathering room, beauty salon, chapel, as well as administrative offices and a training center for nursing certification. Two upper floors will have a total of 42 private rooms for skilled nursing residents as well as a communal dining room, living rooms, outdoor decks and laundry facilities on each resident floor.

Phase II of this proposed development will be a remodel of the existing skilled nursing resident rooms. A building addition is also proposed at a later phase which will be a memory care home for 16 residents for those with dementia and Alzheimer's. We are requesting approval of all three phases of this project.

Senior care facilities are not an outright allowed use in this residential zone and require a Conditional Use Permit for development of the site. The site is bordered by a lower density residential neighborhood to the North, undeveloped property to the West across Columbus Street, undeveloped wetlands to the South, and Interstate 5 to the East. This development is a good addition to the neighboring residential zones as it has characteristics with a residential aesthetic that are articulated in the facades, such as and shingle siding, windows with mullions, and roof slopes which mimic surrounding residences. All portions of the buildings are below the 45' maximum height for this zone.

The proposal includes site work to accommodate the proposed development including adjusting roadways, curbs, lighting, landscaping, circulation paths, gathering spaces, services areas and utilities. Also included is parking for 130 vehicles including accessible stalls and 10 sheltered bicycle parking spaces. While these types of facilities operate

24 hours a day, the traffic and noise are much lower than traditional housing types.

APPROVAL CRITERIA

Review Criteria: **The proposed use is consistent with the intended character of the
(2.250.1) base zone and the operating characteristics of the neighborhood.**

Fact: The Proposed use is an expansion of a current use on site.

Fact: The base zone for the property is zoned residential RM and the primary use of the proposed development is comprised of long term residential living units.

Fact: This proposed development is allowed in the RM as a conditional use per Article 3.050.

Fact: This proposed development is surrounded on 3 sides by senior care facilities, also part of Mennonite Village.

Fact: The proposed project we use architectural features compatible with the existing surrounding buildings.

Conclusion: The project is consistent with the intended character of the base zone and the operating characteristics of the surrounding neighborhood.

Review Criteria: **The proposed use will be compatible with existing or anticipated uses
(2.250.2) in terms of size, building scale and style, intensity, setbacks and landscaping; or the proposal mitigates difference in appearance or scale through such means as setbacks, screening, landscaping or other design features.**

Fact: Buildings have siding materials typical of residential construction such as lap siding, shingles and window and corner board trim. Single-hung window styles and sizes are reminiscent of single family homes, and all buildings have hip and gable roof styles with common residential-style pitches.

Fact: This project continues and enhances the historic senior care services of the site.

Fact: The parcel to the south is owned by the Applicant and has been approved for senior care uses under a conditional used permit issued by the City.

Conclusion: The project will be compatible with existing or anticipated uses of neighboring development. No mitigation is proposed as the scale of the proposed is consistent with existing uses and building height allowed by zoning designation.

***Review Criteria:
(2.250.3)***

The transportation system is capable of supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, on-street parking impacts, access requirements, neighborhood impacts and pedestrian safety.

Fact: On-street parking is not needed for this project. Off-street parking is provided for all proposed facilities and uses.

Fact: The site is currently served by private access roads connecting to Columbus St. The private roads are stop controlled with left and right turn movements allowed both inbound and outbound. Columbus Street has through traffic with one lane in each direction and a center turn lane.

Fact: The existing private site access provides one inbound lane and one outbound lane at the main entrance and a two way access north of the main entrance.

Fact: The Albany TSP and South Albany Area Plan list Waverly as a Minor Arterial Street.

Fact: The Albany Transportation System Plan Figure 5-2 lists the 2030 PM Peak Hour vehicle Demand to Capacity Ratio as 0.88.

Fact: Columbus Street is fully developed with Curbs, gutters, sidewalks and utilities that currently serve the site.

Fact: Existing curbside sidewalk on the east side of Columbus Street provides safe passage for pedestrians.

Fact: The central entrance to the site will be widened to facilitate Emergency Vehicle access to the site.

Fact: A Trip Generation Study was prepared for the project and is attached. The proposed project is projected to generate 89 net daily trips, 6 net AP peak hour trips and 8 net PM peak hour trip.

Fact: Net PM peak hour trip generation for the project is less than 50 trips. City policy requires a detailed traffic study for projects that generate more than 50 peak hour trips.

Conclusion: The transportation system is capable of supporting the proposed use in addition to the existing uses in the area.

Review Criteria:
(2.250.4)

Public services for water, sanitary and storm sewer, water management and for fire and police protection can serve the proposed use.

Fact: The site is served by system of private collection pipes connected to the City sewer system in the Columbus Street Pump Station basin. The pump station was installed and partially funded by the Mennonite home of Albany on cooperation with the City of Albany.

Fact: The site is served with a public twelve inch diameter public water line in Columbus Street. The buildings are served via a master meter serving the Mennonite Village as a whole. A second connection is made to the public via meter near the west end of the Mennonite Village development providing looping and backup supply capabilities.

Fact: There are 5 fire hydrants within close proximity to the project buildings. Available fire flows from the hydrants vary between 1,800 gpm and 4200 gpm at 20 psi residual pressure, as modeled by the City.

Fact: All site storm water runoff will be collected, pre-treated and discharged through the existing private storm system serving the site.

Fact: A Storm Water Quality Study was prepared for this project and is included in this submittal.

Fact: The project is not within a Flood Hazard Area as shown on FEMA FIRM Panel 41043C0527G.

Fact: All structures will be built with 1-hour fire-resistance rated construction.

Fact: All structures will be fully-sprinklered per NFPA 13. The selected systems provide the highest level of code required fire and smoke protection.

Fact: The proposed three-story structure provides occupants access to the exterior by way of fire-rated stair enclosures with direct exit to exterior, or an area of refuge in the event of an emergency.

Fact: The existing and proposed system of private roadways, drives and fire lanes between buildings provides access for police and fire protection to all structures and exterior yards.

Fact: The open campus eliminates obstacles for fire and police protection, decreasing response time in events of emergency.

Fact: 24-hour observation by staff allows for immediate recognition of emergencies and notification to local fire and police departments.

Conclusion: Public services for water, sanitary and storm sewer, water management and for fire and police protection can serve the proposed use.

***Review Criteria:
(2.250.5)***

The proposal will not have significant adverse impacts on the livability of nearby residentially zoned lands due to: (a) noise, glare, odor, litter and hours of operation; (b) privacy and safety issues.

Fact: The subject project is located near the current southern boundary of the City of Albany.

Fact: The proposed development within the existing campus is naturally screened from bordering neighborhoods by existing buildings and as such should not generate an adverse impact from glare, noise or privacy.

Fact: The proposed project is a Senior Care Community. Typically residents in this type of community are not prone to creating excessive noise, odor, litter, or similar effects. Hours of operation are similar to a professional office building.

Conclusion: The proposal will not have significant adverse impacts on the livability of nearby residentially zoned lands due to: (a) noise, glare, odor, litter and hours of operation; (b) privacy and safety issues.

Review Criteria:
(2.250.6)

Activities and developments within special purpose districts must comply with the regulations described in Article 4 (Airport Approach), 6 (Natural Resources) and 7 (Historic) as applicable.

Fact: The site is not listed on Plate 7, Hillside. The Hillside Development Overlay does not apply.

Fact: The site is not within the Airport Approach zone as shown in Article 4.

Fact: The site is not within any of the Natural Resource Overlay zones as listed in Article 6.

Conclusion: The proposed facility is designed to avoid the all special purpose districts.

Conclusion: The proposed project complies with the regulations described in Article 4 (Airport Approach), 6 (Natural Resources) and 7 (Historic) as applicable.

Review Criteria:
(3.050)

Fact: Assisted living use is allowed with a conditional use permit

Review Criteria:
(3.190)

Residential District Development Standards RM

Criteria: Minimum 2,000 square foot property size for Multi-Family units.

Fact: Subject property is more than 2,000 square feet.

Criteria: Minimum 20-foot required lot width for attached dwelling units.

Fact: Subject property has a lot width greater than 20 feet.

Criteria: Minimum 60 foot lot depth.

Fact: Subject property has a lot depth greater than 60 feet.

Criteria: Minimum 15 foot front setback required.

Fact: All proposed structures are setback from the property line a minimum of 15 feet.

Criteria: Minimum 3 foot interior setback required for one-story buildings.

Fact: All one-story structures are setback a minimum of 3 feet from interior lot line.

Criteria: Minimum 10 foot interior setback required for two or more stories.

Fact: All three-story structures are setback from the interior lot line a minimum of 10 feet.

Criteria: 45 foot maximum building height.

Fact: All buildings are lower than 45 feet in height as measured from the mid-height of sloped roofs.

Criteria: Maximum lot Coverage is 70%

Fact: Site lot coverage including this project is 70%

Conclusion: The proposal meets all the RM residential district development standards.

***Review Criteria:
(3.360)***

Landscaping. All front yards are required to be landscaped prior to issuance of an occupancy or final building inspection approval.

Criteria: One tree at least six feet tall, per 50 lineal feet of street frontage.

Fact: Columbus Street frontage is lined with fully mature street trees.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at street frontage.

Criteria: Four 1-gallon shrubs or accent plants, per 50 lineal feet of street frontage.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at

street frontage.

Criteria: The remaining front yard area treated with ground cover.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at street frontage.

Review Criteria:
(8.220.1.a)

Common Open Space. For projects of 10 or more units, common open space shall be required at a ratio of 0.25 square feet for each 1.0 square feet of living space.

Fact: Refer to Architectural Site Plan Sheet A002 for location, size and character of common open space designations.

Fact: None of the common open space is on land with slopes greater than 20%.

Fact: The Common Open Space areas do not include streets or parking areas, nor do they include areas required to satisfy parking lot landscape standards.

Fact: The project includes ornamental gardens, lawn, and hard surface pedestrian pathways in which user amenities such as trees, shrubs, pathways and benches have been placed.

Conclusion: The proposal provides common open space in size, character and locations as required by this design standard.

Review Criteria:
(8.240.1 & 3)

Maximum Setback for Street Orientation. On sites with 100 feet or more of frontage on a collector or local public street, at least 50 percent of the site width shall be occupied by a building(s) placed no further than 25 feet from the front lot line. As used in these standards, "site width" does not include significant natural resources as mapped by the City, delineated wetlands, slopes greater than 20%, recorded easements, required fire lanes and other similar non-buildable areas as determined by the City.

Fact: Columbus St. SE is an arterial street, therefore this criteria does not apply.

Conclusion: The proposal meets this design criterion.

Review Criteria:
(8.250)

Functional Design and Building Details.

Fact: The proposed buildings are massed as a collection of smaller perceived buildings, each being clearly identifiable as to its use. Refer to the site plan and exterior elevations.

Fact: The buildings facades and roofs are broken with a series of projecting bays, entry porches and gable roofs. As such, they avoid long uninterrupted walls or roof planes. Refer to the site plan and exterior elevations for additional information and clarifications.

Fact: The proposed Memory Care building is single story and as such have no stairs. The stairs for the proposed three-story Skilled Nursing Facility will be enclosed within the building itself and is part of the building architecture.

Conclusion: The buildings' design as proposed demonstrates functionality and significant attention to detail. They promote an exceptional living environment for residents and will create a high quality community compatible with the surrounding neighborhood.

Review Criteria:
(8.260)

Building Orientation and Entries. These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.

Fact: The project includes the use of covered front porches and entrance patios to architecturally articulate the point of entry for each individual building.

Fact: Entries also use overhead canopies with architecturally detailed columns to clearly define entry points and create openness, improving visibility and safety. See exterior elevations for additional information.

Fact: All of the project entries front the internal site circulation system, creating a sense of neighborhood within the site. See the site plan, building plans and building elevations for additional information.

Conclusion: The buildings and site as designed contribute to a positive neighborhood environment as defined within the project site.

Review Criteria:
(8.270)

Transition to lower density uses: The following design standards shall be incorporated into the design of multi-family housing to create transition between multiple-family developments and nearby, lower-density residential development, in order to reduce the impacts of building mass and scale.

Fact: This project is near the Southern boundary of the City of Albany and the properties to the North are single family residences.

Fact: The scale of this project is predominantly 1 story with the exception of the proposed three-story Skilled Nursing Facility.

Fact: The proposed three-story Skilled Nursing Facility is buffered by existing single-story structures, which abut the single family residences to the North.

Conclusion: The impacts of massing and scale are reduced based on the projects own massing and scale and the large amount of separation between this project and surrounding projects, single family or otherwise.

Review Criteria:
(8.280)

Pedestrian Connections: Pedestrian circulation systems shall be designed to provide clear and identifiable connections within the multiple-family development and to adjacent uses and public streets/sidewalks.

Fact: The existing campus has a clear, extensive and identifiable pedestrian circulation system connecting each of the proposed individual buildings and existing buildings, in addition to a connection to Columbus St. SE.

Fact: The pedestrian circulation system has a combination of both open sidewalks and connected interior corridors providing a high level of safety, security and comfort for the staff and residents.

Conclusion: The project provides clear and safe pedestrian connections both internally and with additional links to public streets and adjoining neighborhoods. See site plan for additional information.

Review Criteria:
(8.290)

Vehicle Circulation System: On-site circulation shall be clearly identifiable, safe, pedestrian friendly and interconnected.

Fact: The existing private vehicle circulation systems are clearly identifiable and interconnected. Entrance into the proposed development property is off Columbus Street SE. A private ring road connects to Columbus Street SE and circles the area of the site being developed and provides interconnection to the individual buildings, access for fire protection and fire lanes.

Fact: No new private roads are proposed as part of this development and the campus' existing system of roads has been designed as such to influence drivers to slow down and take notice of their surroundings and pedestrians.

Fact: Sidewalks are provided adjacent to nearly all existing and proposed parking stalls so that drivers and pedestrians do not have to walk to their destinations within the vehicular drive aisles.

Conclusion: The on-site circulation system is clearly identifiable, safe and friendly for pedestrians, and has an interconnected link to the property to the North. See the site plan for additional information.

Review Criteria:
(8.300)

Parking: Multi-family development shall provide attractive street frontages and visual compatibility with neighborhoods by minimizing the placement of parking lots along public streets.

Fact: The proposed development occurs within the core of the existing campus and does not disrupt or remove the existing frontage on Columbus St. SE.

Fact: Parking bays are located off of the existing interior private access roads and behind a landscaped buffer that fronts Columbus St. SE.

Fact: Internal parking stalls are located within 100 feet of each building entrance.

Conclusion: No parking lots are placed along a public street as part of this proposal.

Review Criteria:
(9.020)

Parking: Off-street parking and loading must be provided for all development in the amounts indicated in Table 9-1.

Fact: The proposed development provides 1 parking stall per 3 beds at capacity. Refer to Architectural Site Plan A002.

Fact: Parking that will be removed due to the proposed development will be relocated along interior road 54th Ave. SE.

Conclusion: The proposed development provides adequate parking to meet the standard.

Review Criteria:
(9.120.2-16)

Parking Area Improvement Standards: All public or private parking areas, loading areas must be improved based on the following standards.

Fact: All proposed parking areas conform to the setback, clear vision, landscaping and buffering/screening provisions of the Albany Development Code.

Fact: All proposed parking areas and travel aisles will be constructed of asphalt.

Fact: All proposed parking areas provide a drainage system to dispose of runoff generated by the impervious surface. Refer to Civil drawing C-1.

Fact: All proposed parking areas shall have a perimeter curb to protect pedestrian walkways and landscaped areas. Refer to Civil drawing C-1.

Fact: All proposed parking stalls shall have a wheel stop when the front of stall is adjacent to a pedestrian walkway that is less than 7 feet 6 inches wide. Refer to Civil drawing C-1.

Fact: Proposed parking does not require vehicles to perform back-up maneuvering into a street right-of-way.

Fact: All proposed parking areas shall be permanently and clearly striped. Refer to Architectural Site Plan A002.

Fact: Proposed parking is not adjacent to an undeveloped site.

Fact: Proposed parking lots are landscaped. Refer to Landscape Plan L101.

Fact: Less than 40% of proposed parking stalls are compact spaces.

Fact: Accessible parking stalls are provided in accordance with the Oregon Structural Specialty Code. Refer to Architectural Site Plan A002.

Fact: 10 total bicycle parking stalls are provided, 4 of which are new as part of the proposed development. Refer to Architectural Site Plan A002.

Fact: Bicycle parking is provided in safe, visible and sheltered locations. Refer to Architectural Site Plan A002.

Fact: Proposed lighting for parking and vehicle areas will not reflect into adjacent or abutting properties as they are buffered by existing structures on the same property.

Fact: Pedestrian walkways are located adjacent to all proposed parking stalls and provided direct access to entrances of all proposed structures.

Conclusion: The proposed development meets the requirement of Section 9.120.

***Review Criteria:
(9.140.6)***

Landscaping. All front yards are required to be landscaped prior to issuance of an occupancy or final building inspection approval.

Criteria: One tree at least six feet tall, per 50 lineal feet of street frontage.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at street frontage.

Criteria: Four 1-gallon shrubs or accent plants, per 50 lineal feet of street frontage.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at street frontage.

Criteria: The remaining front yard area treated with ground cover.

Fact: Refer to Landscape Plan Sheet L101 for landscape plantings at street frontage.

Conclusion: The proposed development meets the requirement of Section 9.140.6.

Review Criteria:
(9.150)

Parking Lot Landscaping. All front yards are required to be landscaped prior to issuance of an occupancy or final building inspection approval.

Criteria: Planter bays at every 12 parking stalls.

Fact: Refer to Architectural Site Plan A002 and Landscape Plan Sheet L101 for landscape plantings at parking stalls.

Criteria: Parking areas shall be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a 5-foot strip of landscaping material.

Fact: Proposed parking areas are separated from the exterior wall of a structure by pedestrian walkways or by a 5-foot strip of landscaping material. Refer to Architectural Site Plan A002 and Landscape Plan Sheet L101.

Conclusion: The proposed development meets the requirement of Section 9.140.6.

Review Criteria:
(9.160)

Irrigation of Proposed Landscaping. Proposed required landscaping must be provided with an irrigation system.

Fact: Refer to Landscape Plan Sheet L101 for irrigation information.

Conclusion: The proposed development meets the requirement of Section 9.140.6.

Review Criteria:
(9.170)

Identification of Existing Trees. Existing trees over 25 inches in circumference (8 inches in diameter) shall be noted on all development plans, indicating whether they are to be removed or utilized in the development.

Fact: Refer to Civil Plan Sheet C-3 for identification of existing trees.

Conclusion: The proposed development meets the requirement of Section 9.170.

Review Criteria:
(9.205)

Tree Protection. Site Plan Review approval is required for the felling of 5 or more trees larger than 25 inches in circumference on a lot of property in contiguous single ownership in excess of 20,000 square feet in any zone.

Fact: Refer to Civil Plan Sheet C-3 for tree felling plan.

Conclusion: The proposed development meets the requirement of Section 9.205.

Review Criteria:
(12.000)

Public Improvements.

Submitted By:

Michelle Rea
LRS Architects, Inc.

Dan Watson
K&D Engineering, Inc.

From: [Michelle Rea](#)
To: [Martineau, David](#); "dwatson@kdeng.com"
Cc: [Dave Detweiler](#); [Dan Edwards](#)
Subject: RE: Responses Requested
Date: Friday, October 28, 2016 3:25:35 PM
Attachments: [Existing site pole light example.JPG](#)
[4-A002-Partial_Site_Plan_102716_REV1.pdf](#)

Hi David,

Please see our clarifications **in red** below. Thanks.

Michelle

Michelle Rea | Architect, LEED® AP | LRS Architects | Portland | Shanghai
503.265.1552 direct · 720 NW Davis Street Suite 300 · Portland, OR 97209 · www.lrsarchitects.com · [vCard](#)
Celebrating our 40th Anniversary

From: Martineau, David [<mailto:David.Martineau@cityofalbany.net>]
Sent: Friday, October 21, 2016 10:02 AM
To: Michelle Rea; 'dwatson@kdeng.com'
Cc: Dave Detweiler
Subject: Responses Requested

Michelle, Dan and Dave:

There are a few items that have been uncovered during my review of the Conditional Use submittal that I'd like some clarifications or more information on:

SNF Building Setback

- The three-story skilled nursing facility appears to be about 12.5 feet from the northerly property line adjacent to 53rd Avenue (private). Findings on Page 9 of your submittal state that all proposed structures are set back from the property line a minimum of 15 feet. Please let me know if the building shown on Sheet A002 has roof overhangs that make it appear to be set back less than 15 feet from the property line. Architectural appendages can extend into a front yard setback up to 5 feet, but I just need confirmation of what I'm looking at. **[That line shown adjacent to 53rd Ave is a tax lot line, not a property line, and there are no setback requirements from a tax lot line. The building setback from that tax lot line is approximately 13'-8".]**

Bicycle Parking

- ADC 9.120(13)(a) states that multiple family dwellings must provide one bicycle parking space for every four (4) units. ADC 9.120(13)(h) says at least one-half of required bicycle parking spaces must be sheltered. Under this standard, 34 bicycle spaces, 17 that are covered, would be required for the entire project. Site Plans show that a total of 10 bicycle

parking spaces are being provided. I realize that the majority of residents will not be using bicycles due to their age and limited mobility, but could you please explain that as a supplemental statement to your submittal? For the Director to reduce the amount of required bicycle parking, we need some sort of written justification. Please verify that all proposed bike spaces will be covered, especially the six existing ones. They don't appear to be covered presently. [Bicycle parking was not calculated for the skilled nursing or memory care beds as we don't believe that standard is applicable for those residents due to their age and physical limitations. We calculated bicycle parking for the commercial and office development of the new skilled building, but in discussion with David Martineau, he mentioned that the city has calculated the required bike parking on the 85 employee parking spaces therefore they are requiring 11 bike parking spaces, 6 of which would need to be covered. As none of the existing 6 bike spaces are covered, we will add one more bike rack to the front of the new building for a total of 3 new racks (6 covered spaces) which will allow for 12 bike parking spaces (6 of which are covered) which meets the requirement.]

Site Lighting

- No parking lot or building lighting plans were submitted with your application. In your findings under "Parking Area Improvement Standards," it states that "Proposed lighting for parking and vehicle areas will not reflect into adjacent or abutting properties as they are buffered by existing structures on the same property." Does this mean that light will reflect into existing structures? It would be helpful to have a description of the lighting that will be used in both the parking lots and on the new buildings. A detail drawing showing their method of shielding would be best. Will the lighting be cast downward to reduce the glare? [The intent for the new parking lot lighting is to reuse/ match the existing 12' pole lights with the shoebox downlight fixture that is currently in use in other parking areas within the development. As the head of this fixture is focused downward, it provides an adequate reduction in glare to surrounding buildings and this fixture is currently used successfully in other parking areas on campus. The main entries for the new buildings are set back and covered so the lighting at the buildings will be a mix of downlights in the soffits and sconces adjacent to the doors. As the new building entries are well set back from the front of the buildings, there is no concern for glare or of light to be reflected into the adjacent existing structures. I've attached a photo of the existing 12' pole lights that will be used for the parking lot lighting.]

Refuse Containers

- The method of screening provided on Drawing A050 is adequate, but please confirm the final location where the refuse area will ultimately be placed. [The location of the trash enclosure shown in drawing A050 will be the final location.]

Landscaping, Front Yard

- The Landscape Plan (Sheet L101) does not show existing front yard setback landscaping along the Columbus Street frontage. From aerial photos, it appears that much of the

landscaping that would be required along this frontage is present, but it is not shown on the plan. Can you please verify that this front yard setback area has at least 9 trees greater than 6 feet tall (not including street trees in the right-of-way), and at least 29 shrubs or accent plants one gallon or more in size? There is a hedgerow between the head-in row of parking and Columbus Street that can count towards the accent plant (and screening) requirement, but it is broken up in places. Also please confirm that there is lawn, bark or other such groundcover within the setback area. [We have confirmed that the requirement of 9 trees and at least 29 shrubs in the front setback is met by the existing trees and shrubs on site. And there is a mix of both lawn and bark ground cover within the setback area.]

Hours of Operation/Privacy and Safety

- Please elaborate on visitor's hours and when staff shift changes occur. Also, what will be done to ensure the project does not have significant adverse impacts on the livability of nearby residentially zoned lands in terms of privacy and safety? . [Visitor's hours are from 8am – 8pm. Shift changes occur three times a day. Day shift: 6:30-7am; Night shift: 2:30-3pm; Swing shift: 10:30-11pm ; The surrounding residentially zoned lands are all part of the Mennonite Village community, which encompass many different types of senior care. There is new landscaping proposed around these new buildings to help maintain a level of privacy for the existing buildings on campus. Also the sidewalks that run throughout the campus and the parking lots contain both bollard and pole lighting which help to maintain a safe environment.]

Design Standards

- Area 5 has some areas included in the common space calculation that are not eligible because they are either parking area, streets, or landscape areas used to satisfy parking lot landscaping requirements. Please review and revise accordingly. Also, a condition of approval will require a written explanation for how total living space was derived in each of the buildings, e.g. gross floor area of each care center building, bedroom space only, or portions of building where residents have access to. We also need to know what uses or amenities are included in each open space area. Findings indicate there is a pedestrian connection to Columbus, but it is not apparent in the plans. Finally, ADC 8.230, Private Open Space, was not addressed in your findings. [The Area 5 shading and square footage calculation has been revised. See the attached 8.5x11 showing the amended area. The total living space was derived from combining the gross floor area of the resident room with the gross floor area of the common living spaces open to residents. The amenities in the open space areas consist of pathways, trees, shrubs, benches and picnic tables. The existing pedestrian connection to Columbus is at the north of the project site along 53rd Ave just north of the water vaults located in the bump out adjacent to parking on the west edge of the site. The ADC 8.230, Private Open Space, standard does not apply to this proposal as private patios are not appropriate for residents of a skilled nursing community or memory care community and would likely be a safety hazard for the proposed housing types. Common spaces, both interior and exterior, are provided for both of these housing types in order to further recovery and also to provide a more therapeutic living environment.]

I am presently writing the staff report. While I hope we can have the Planning Commission hearing on 11/21, I have not heard back from some Commission members regarding their availability, especially given that the date falls on the Monday of Thanksgiving week. As soon as I know anything, I'll pass it on. Their following regular meeting date is 12/05.

Please let me know if you have any questions or concerns in the meantime.

Thank you,

David

David Martineau, AICP, CFM, Lead Current Planner

City of Albany Community Development Department

PO Box 490, Albany, Oregon 97321

Phone: (541) 917-7561; FAX: (541) 917-7598

david.martineau@cityofalbany.net

<http://www.cityofalbany.net/>

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MENNONITE HOME ENHANCEMENT

5353 Columbus St SE, Albany, OR

Conditional Use Permit Set

July 22, 2016



PROJECT DIRECTORY

OWNER

Mennonite Village
5353 Columbus St SE
Albany, OR 97322

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DAVE@MENNONITEVILLAGE.ORG
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CIVIL

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SURVEY

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Albany, OR 97321

CONTACT PERSON
Dan Wilson
dwilson@kdeing.com
T 541-928-2983

PROJECT SUMMARY

STREET ADDRESS: 5353 COLUMBUS ST SE, ALBANY, OR 97322

PROJECT DESCRIPTION: PHASE I - DEMOLITION OF A PORTION OF A ONE STORY SKILLED NURSING BUILDING AND REPLACEMENT WITH A NEW THREE - STORY SKILLED NURSING BUILDING ADDITION. THE NEW BUILDING CONNECTS TO THE EXISTING BUILDING ON THE FIRST FLOOR.

PHASE II - RENOVATION OF AN EXISTING SKILLED NURSING BUILDING. CONVERSION OF THE DOUBLE RESIDENT ROOMS TO SINGLE RESIDENT ROOMS.

PHASE III - ADDITION OF A NEW ONE-STORY MEMORY CARE BUILDING ADDITION.

ZONE: RM

USE: PHASE I - RESIDENTIAL CARE OR TREATMENT FACILITY (6 OR MORE RESIDENTS) - ALLOWED THROUGH CONDITIONAL USE REVIEW

PHASE II - ASSISTED LIVING - ALLOWED THROUGH CONDITIONAL USE REVIEW

LOT AREA: TAX LOT 1400 - 5.14 ACRES (223,898 SF) (MAP 11503020) (SEE SITE PLAN FOR TAX LOTS)

GOVERNING AGENCY: CITY OF ALBANY

COMMUNITY DEVELOPMENT DEPARTMENT
COMMUNITY DEVELOPMENT DIVISION
PO BOX 490
ALBANY, OR 97321
541.917.7590

BUILDING LOT COVERAGE: 186,900 SF / 223,898 SF = 70% = 70% MAXIMUM ALLOWED (INCLUDES PHASES I - III)

COMMON OPEN SPACE: 25SF / 1.0 SF OF LIVING SPACE PER 8,220 (1)

EXISTING SKILLED NURSING LIVING SPACE: 15,000 SF

EXISTING MEMORY CARE LIVING SPACE: 5800 SF

PHASE I - SKILLED NURSING LIVING SPACE: 25,400 SF

PHASE II - MEMORY CARE LIVING SPACE: 5,000 SF

TOTAL: 91,400 SF = 12,890 SF OPEN SPACE REQUIRED

TOTAL OPEN SPACE PROVIDED: 30,400 SF (SEE SITE PLAN FOR LOCATIONS)

BUILDING HEIGHT: PHASE I - 41.8' < 45.0' MAXIMUM ALLOWED
PHASE III - 15'-0" < 45'-0" MAXIMUM ALLOWED

BUILDING AREAS

PHASE I:	PHASE II:	PHASE III:
1ST FLOOR - EXTERIOR COVERED AREAS	18,400 SF	
2ND FLOOR - EXTERIOR DECKS	2,360 SF	
3RD FLOOR - EXTERIOR DECKS	17,000 SF	
BASEMENT	500 SF	
TOTAL BUILDING AREA:	17,000 SF	
	9,590 SF	
	62,850 SF	

PHASE III:	PHASE I:
1ST FLOOR - EXTERIOR COVERED AREAS	9,600 SF
TOTAL BUILDING AREA:	200 SF
	9,800 SF

SITE LOCATION



VICINITY MAP

NOT TO SCALE



DRAWING INDEX

LEGEND: • ISSUED ◊ DELETED
 * REVISED ⊕ ISSUED FOR REFERENCE ONLY

Sheet Number	Sheet Name
CS	COVER SHEET
C-1	GRADING AND UTILITY PLAN
C-2	FIRE ACCESS PLAN
C-3	TREE FELLING PLAN
L-01	SCHEMATIC LANDSCAPE PLAN (CUP)
L-02	SCHEMATIC LANDSCAPE PLAN (CUP)
SHEE A201	BASEMENT FLOOR PLAN - PHASE I
SHEE A202	FIRST FLOOR PLAN - PHASE I
SHEE A203	SECOND FLOOR PLAN - PHASE I
SHEE A204	EXISTING SIF FIRST FLOOR PLAN - PHASE II
SHEE A205	NC FIRST FLOOR PLAN - PHASE II
SHEE A206	EXISTING SIF FIRST FLOOR PLAN - PHASE III
SHEE A207	NC FIRST FLOOR PLAN - PHASE III
SHEE A208	EXISTING SIF FIRST FLOOR PLAN - PHASE III
SHEE A209	NC FIRST FLOOR PLAN - PHASE III

SHEET TITLE
COVER SHEET

MENNONITE HOME ENHANCEMENT
5353 SE Columbus St.
Albany, OR 97322

PROJECT NUMBER
215773

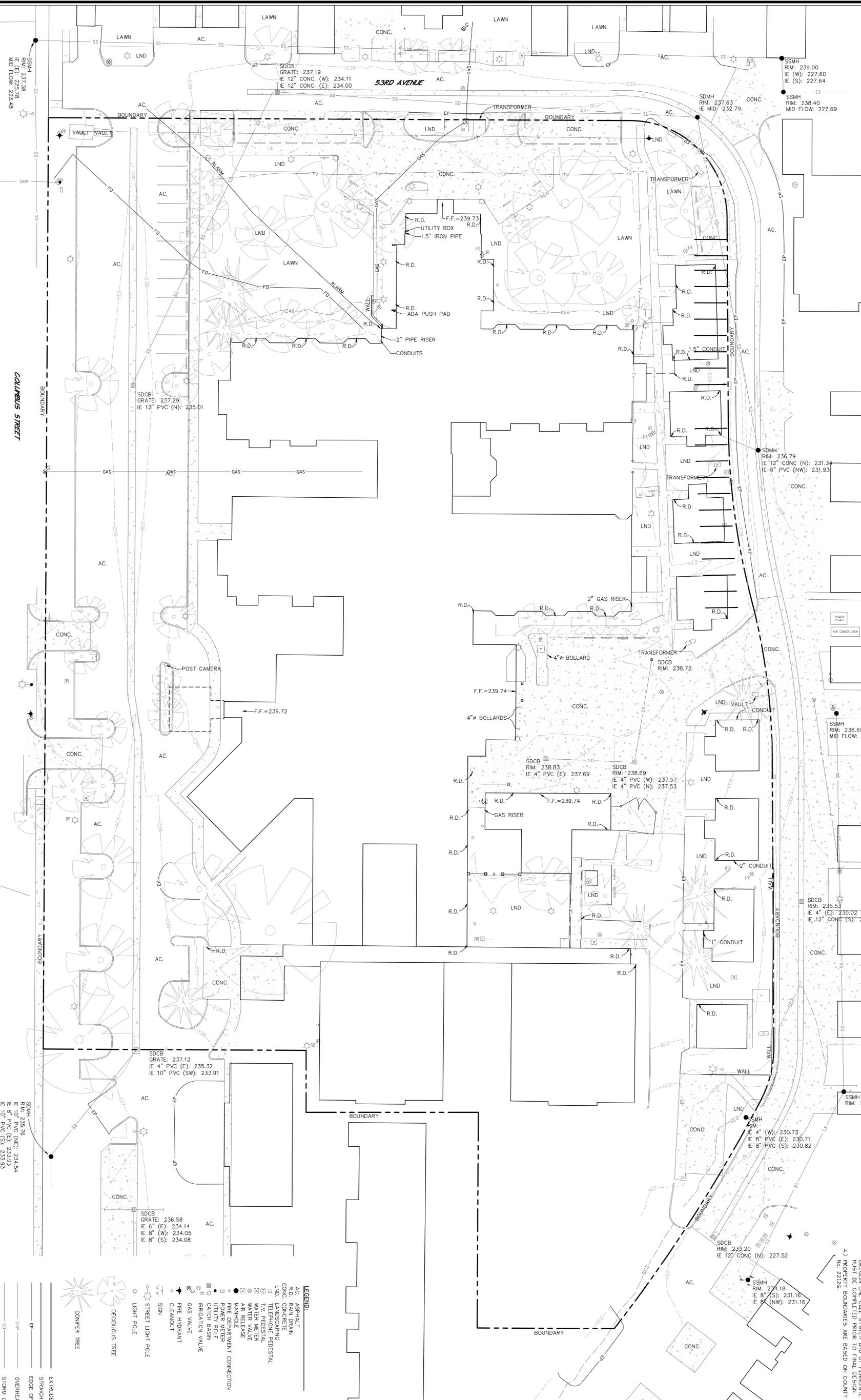
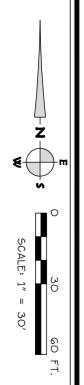
MENNONITE VILLAGE

CONSULTANT

DRAWN BY: **ADW/ur**
DATE ISSUED: **07/22/16**

CS.

SHEET



Date: 7/11/2016
Time: 9:22
Project: 16-4-4
Drawing: 16-4-4-1 (Site Plan)

REVISIONS table with columns for DATE, BY, and DESCRIPTION.

REGISTERED PROFESSIONAL LAND SURVEYOR
JAMES M. COVAT
12/31/2013

K & D ENGINEERING, INC.
276 N.W. HICKORY STREET
ALBANY, OREGON 97321
(541) 928-2583

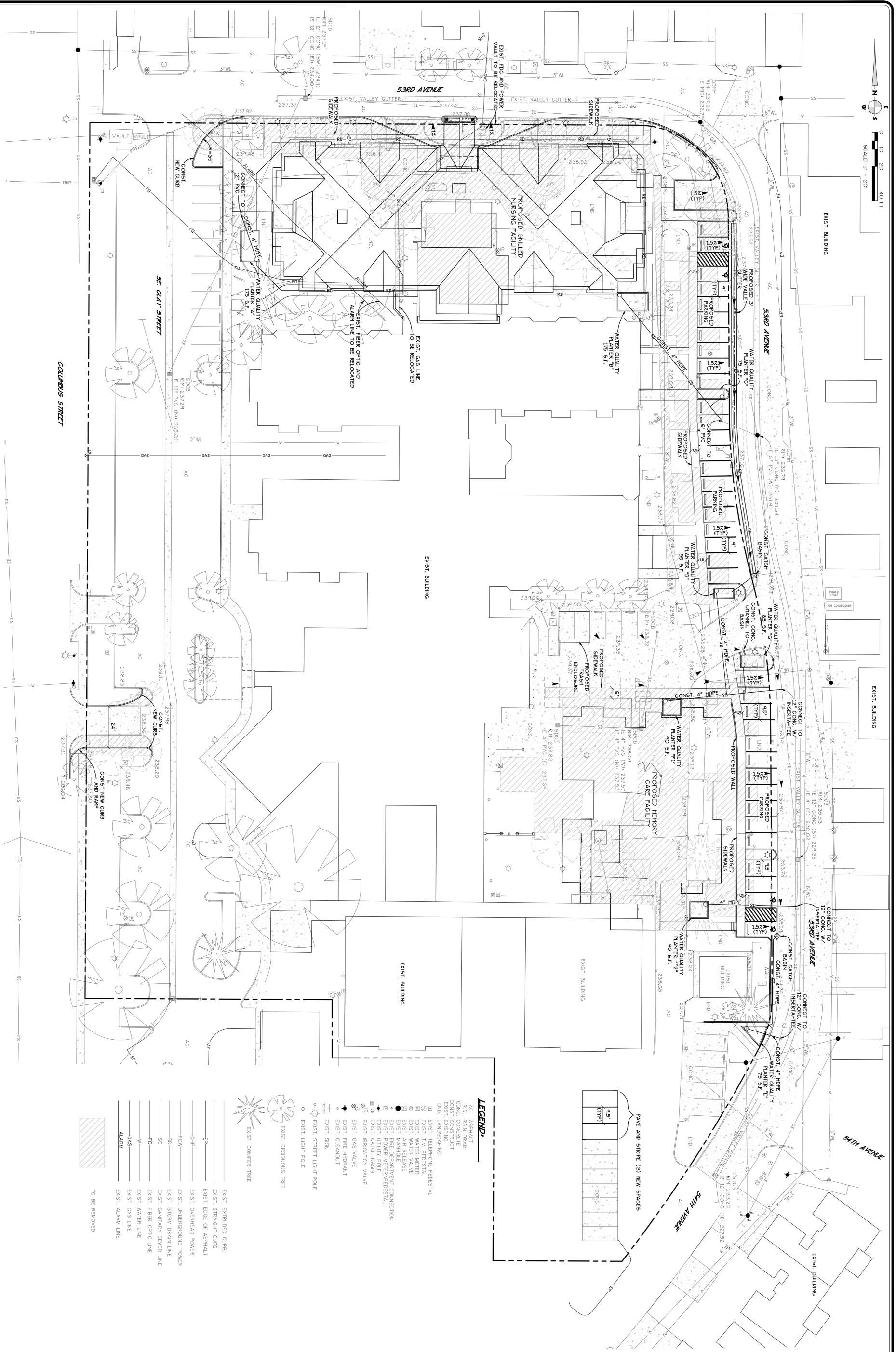
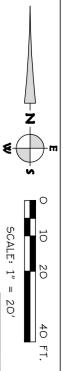
MEMNONITE VILLAGE SENIOR CARE COMMUNITY
CITY OF ALBANY, LAMAR COUNTY, OREGON

TOPOGRAPHIC SURVEY

PROJECT NO.: 16-4-4
SHEET NO. 1 OF 1

- LEGEND:
AC: ASPHALT
AD: ARI DRAIN
CON: CONCRETE
LND: LANDSCAPING
T.V. TELEPHONE PEDESTAL
WATER METER
WATER VALVE
MANHOLE
FIRE DEPARTMENT CONNECTION
UTILITY POLE
CATCH BASIN
IRRIGATION VALVE
GAS VALVE
FIRE HYDRANT
CLEANOUT
SIGN
STREET LIGHT POLE
LIGHT POLE
DECIDUOUS TREE
CONIFER TREE

- SURVEY NOTES**
1.) HORIZONTAL DATUM COORDINATES ARE ON AN ASSUMED DATUM.
2.) VERTICAL DATUM IS NGVD 29 BASED ON CITY OF ALBANY BENCHMARK "TEL".
3.) UNDERGROUND UTILITIES ARE BASED ON OFFERED EVIDENCE AND AS-BUILT DATA. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS SURVEY. LOCATES BY THE OREGON ONE CALL SYSTEM AND BY MEMNONITE VILLAGE SENIOR CARE STAFF MUST BE COMPLETED PRIOR TO FINAL DESIGN.
4.) PROPERTY BOUNDARIES ARE BASED ON COUNTY SURVEY NO. 22148.



Date: 7/28/2016 Time: 8:14
 From: 0303136-01-116-04-Grading (Draw)
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NO.	DATE	REVISIONS



K & D ENGINEERING, INC.
 276 N.W. HICKORY STREET
 P.O. BOX 725
 ALBANY, OREGON 97321
 (541) 928-2583

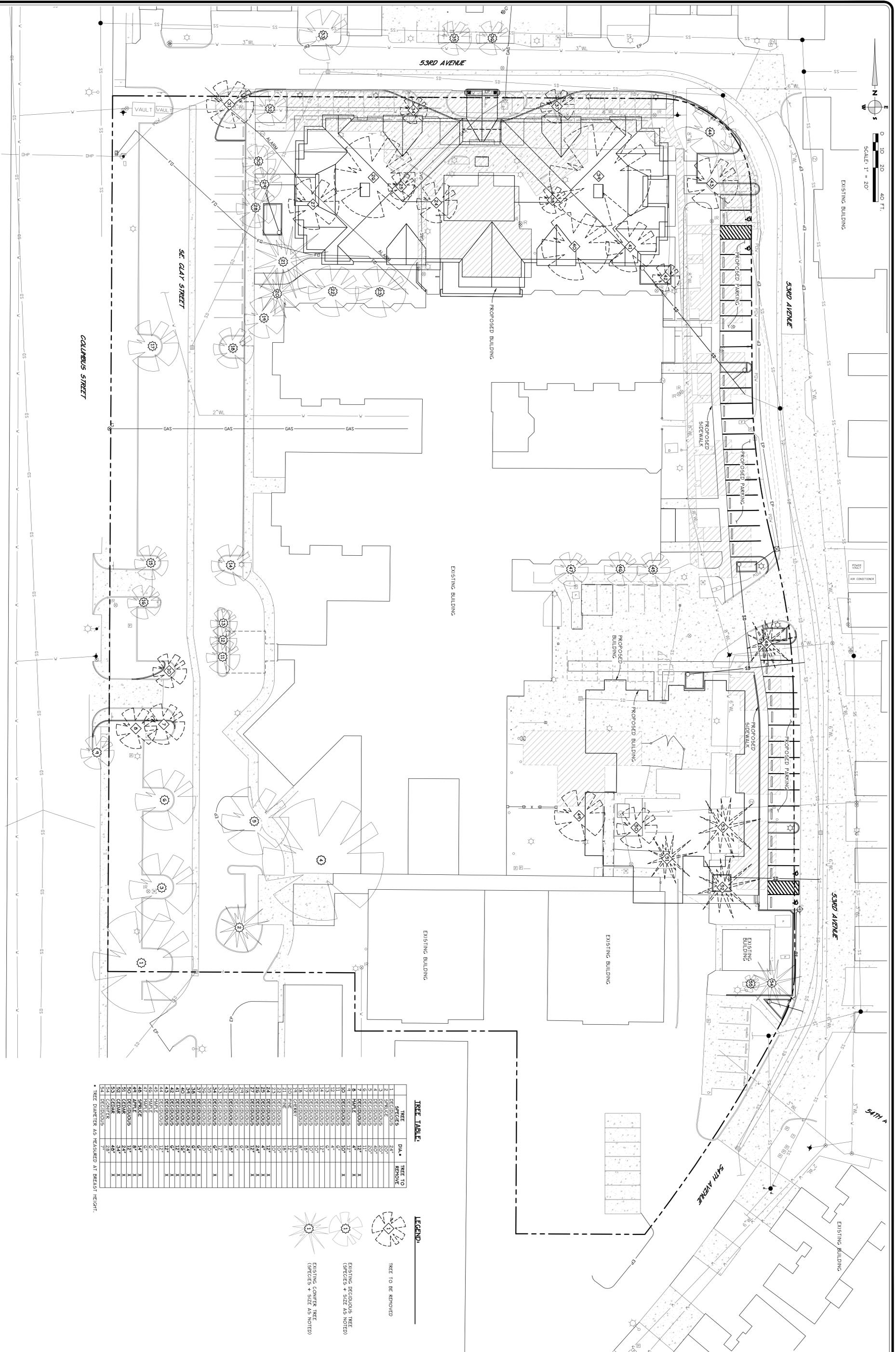
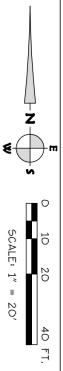
MEMNONITE VILLAGE SENIOR CARE COMMUNITY
 CITY OF ALBANY, Linn County, Oregon

GRADING & UTILITY PLAN

SHEET No. **C-1**

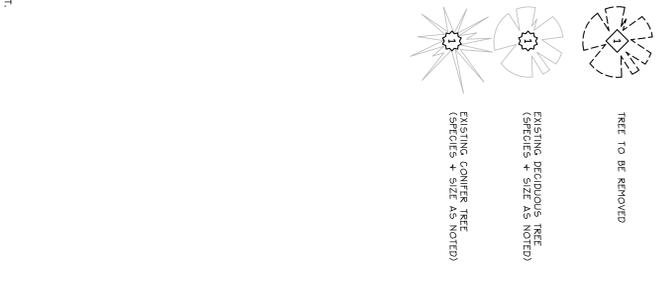
LEGEND:

- AC ASPHALT
- RD. RAIN DRAIN
- CONC. CONCRETE
- EXIST. EXISTING
- LND. LANDSCAPING
- EXIST. TELEPHONE PEDESTAL
- EXIST. TV PEDESTAL
- EXIST. WATER METER
- EXIST. WATER VALVE
- EXIST. MANNHOLE
- EXIST. FIRE DEPARTMENT CONNECTION
- EXIST. UTILITY POLE
- EXIST. POWER METER PEDESTAL
- EXIST. CATCH BASIN
- EXIST. IRRIGATION VALVE
- EXIST. GAS VALVE
- EXIST. FIRE HYDRANT
- EXIST. CLEANOUT
- EXIST. SIGN
- EXIST. STREET LIGHT POLE
- EXIST. LIGHT POLE
- EXIST. DECIDUOUS TREE
- EXIST. CONFIRER TREE
- EXIST. EXTRUDED CURB
- EXIST. STRAIGHT CURB
- EXIST. EDGE OF ASPHALT
- EXIST. OVERHEAD POWER
- EXIST. UNDERROUND POWER
- EXIST. STORM DRAIN LINE
- EXIST. SANITARY SENIOR LINE
- EXIST. FIBER OPTIC LINE
- EXIST. WATER LINE
- EXIST. GAS LINE
- EXIST. ALARM LINE
- TO BE REMOVED



TREE TABLE

TREE #	TREE SPECIES	DIA. *	TREE TO REMOVE
1	DECIDUOUS	24"	X
2	SPRUCES	20"	X
3	DECIDUOUS	20"	X
4	DECIDUOUS	20"	X
5	DECIDUOUS	20"	X
6	DECIDUOUS	11"	X
7	MAPLE	11"	X
8	DECIDUOUS	12"	X
9	DECIDUOUS	4"	X
10	DECIDUOUS	5"	X
11	DECIDUOUS	10"	X
12	DECIDUOUS	4"	X
13	DECIDUOUS	5"	X
14	DECIDUOUS	10"	X
15	DECIDUOUS	10"	X
16	DECIDUOUS	8"	X
17	DECIDUOUS	8"	X
18	DECIDUOUS	12"	X
19	CHERRY	15"	X
20	PINE	18"	X
21	DECIDUOUS	10"	X
22	DECIDUOUS	10"	X
23	DECIDUOUS	10"	X
24	DECIDUOUS	4"	X
25	DECIDUOUS	4"	X
26	DECIDUOUS	24"	X
27	DECIDUOUS	5"	X
28	DECIDUOUS	5"	X
29	DECIDUOUS	5"	X
30	DECIDUOUS	5"	X
31	DECIDUOUS	18"	X
32	DECIDUOUS	8"	X
33	DECIDUOUS	6"	X
34	DECIDUOUS	6"	X
35	DECIDUOUS	10"	X
36	DECIDUOUS	10"	X
37	DECIDUOUS	6"	X
38	DECIDUOUS	24"	X
39	DECIDUOUS	24"	X
40	DECIDUOUS	12"	X
41	DECIDUOUS	12"	X
42	DECIDUOUS	6"	X
43	DECIDUOUS	12"	X
44	MAPLE	6"	X
45	MAPLE	6"	X
46	MAPLE	6"	X
47	MAPLE	6"	X
48	SPRUCES	14"	X
49	SPRUCES	14"	X
50	SPRUCES	14"	X
51	SPRUCES	24"	X
52	SPRUCES	24"	X
53	SPRUCES	28"	X
54	SPRUCES	28"	X



Date: 7/22/2016 Time: 8:13
 Project: 15-4-9
 Scale: 1" = 20'
 Drawing: (Rev.)
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REVISIONS

NO.	DATE	BY	DESCRIPTION



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 276 N.W. HICKORY STREET
 P. O. BOX 725
 ALBANY, OREGON 97321
 (541) 928-2583

MEMNONITE VILLAGE SENIOR CARE COMMUNITY
 CITY OF ALBANY, Linn County, Oregon

TREE FELLING PLAN

DATE: 7/22/2016
 DRAWN BY: JLC
 CHECK BY: JLC
 PROJECT NO.: 15-4-9

SHEET NO.: **C-3**



CONSULTANT:
CHRISTOPHER FRESHLEY
LANDSCAPE ARCHITECT
No. 14047, State of Oregon

PROJECT NUMBER: 275073



MENNONITE VILLAGE
Mennonite Village Senior Care Community
5353 SE Columbus St.
Albany, OR 97322

SHEET TITLE:
SCHEMATIC LANDSCAPE PLAN (CUP)

DRAWN BY: CF
DATE ISSUED: 07/20/16

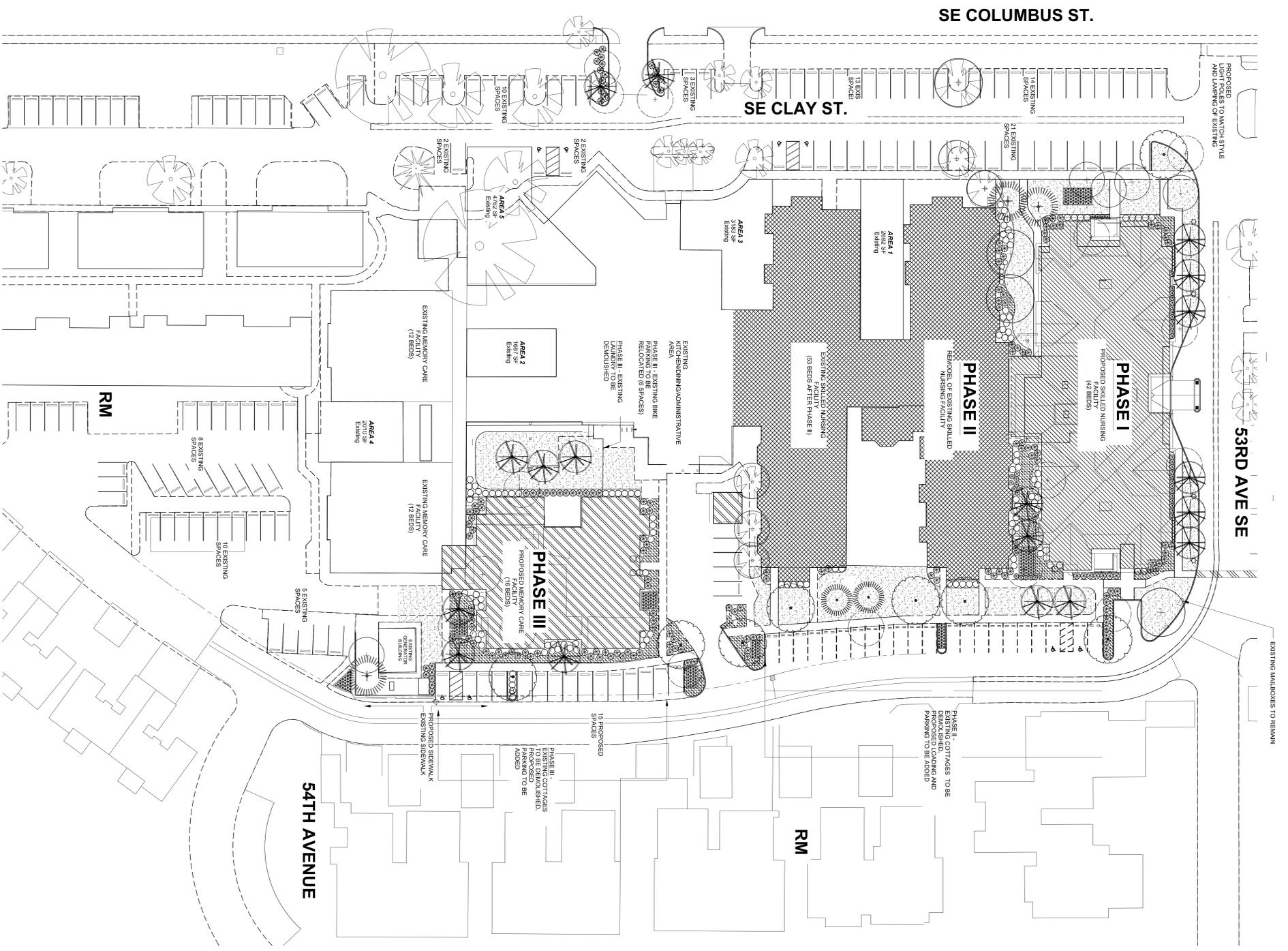
SHEET:
L101

LANDSCAPE LEGEND

SYMBOL	TREES
	DECIDUOUS SHADE TREES – TYPICAL OF BUT NOT LIMITED TO: October Glory Maple, River Birch, Katsura Tree, Zelkova, Oak 2" Caliper size
	ORNAMENTAL TREES – TYPICAL OF BUT NOT LIMITED TO: Flowering Crab, Flowering Pear, Flowering Cherry, Dogwood 2" Caliper size
	CONIFER TREES – TYPICAL OF BUT NOT LIMITED TO: Pine, Douglas Fir, Cedar, Leyland Cypress 6'-7' Height
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	ORNAMENTAL SHRUBS – TYPICAL OF BUT NOT LIMITED TO: Japanese Barberry, Isantii Dogwood, Mockorange, Knockout Rose, Lilac, Dwarf Winged Euonymus, Goldflame Spirea, Ornamental Grasses, Oregon Grape, David Viburnum, Rhododendron, Azalea 1, 2, and 5 Gal. size
	GROUNDCOVER – TYPICAL OF BUT NOT LIMITED TO: Kinikinnick, Purple Wintercreeper, Bearberry Cotoneaster, Lily Turf 4" pot @ 18" o.c. and 1 Gal. size @ 30" o.c.
	LAWN
	STORM WATER FACILITY PLANTER – TYPICAL OF BUT NOT LIMITED TO: Junco patens, Junco ensifolius, Carex morrowii 'Variegata', Goldmound Spirea, Kelsey Dogwood 4" pot @ 18" o.c. and 3 Gal. size @ 36" o.c.

NOTES:

1. This plan is schematic and is meant to portray a landscape character. A final detailed landscape planting plan will be submitted upon approval of the preliminary site and landscape plans.
2. All plans will comply with the City of Albany landscape requirements.
3. Irrigation to be provided by a fully automatic underground system. Irrigation plans will be submitted at Building Permit.



4 SCHEMATIC LANDSCAPE PLAN (CUP)

SCALE: 1" = 30'0"

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

GENERAL NOTES

1. EXISTING STREET LIGHTING TO MATCH STYLE OF

LEGEND

- TAX LOT BOUNDARY
- PHASE I
- PHASE II
- PHASE III
- DEMOLISH

COMMON OPEN SPACE AREAS

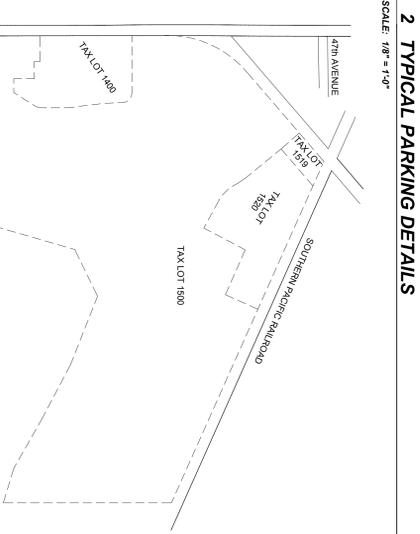
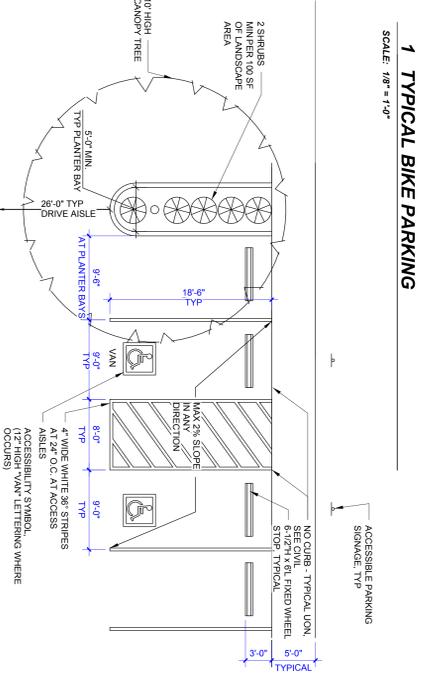
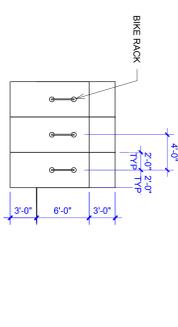
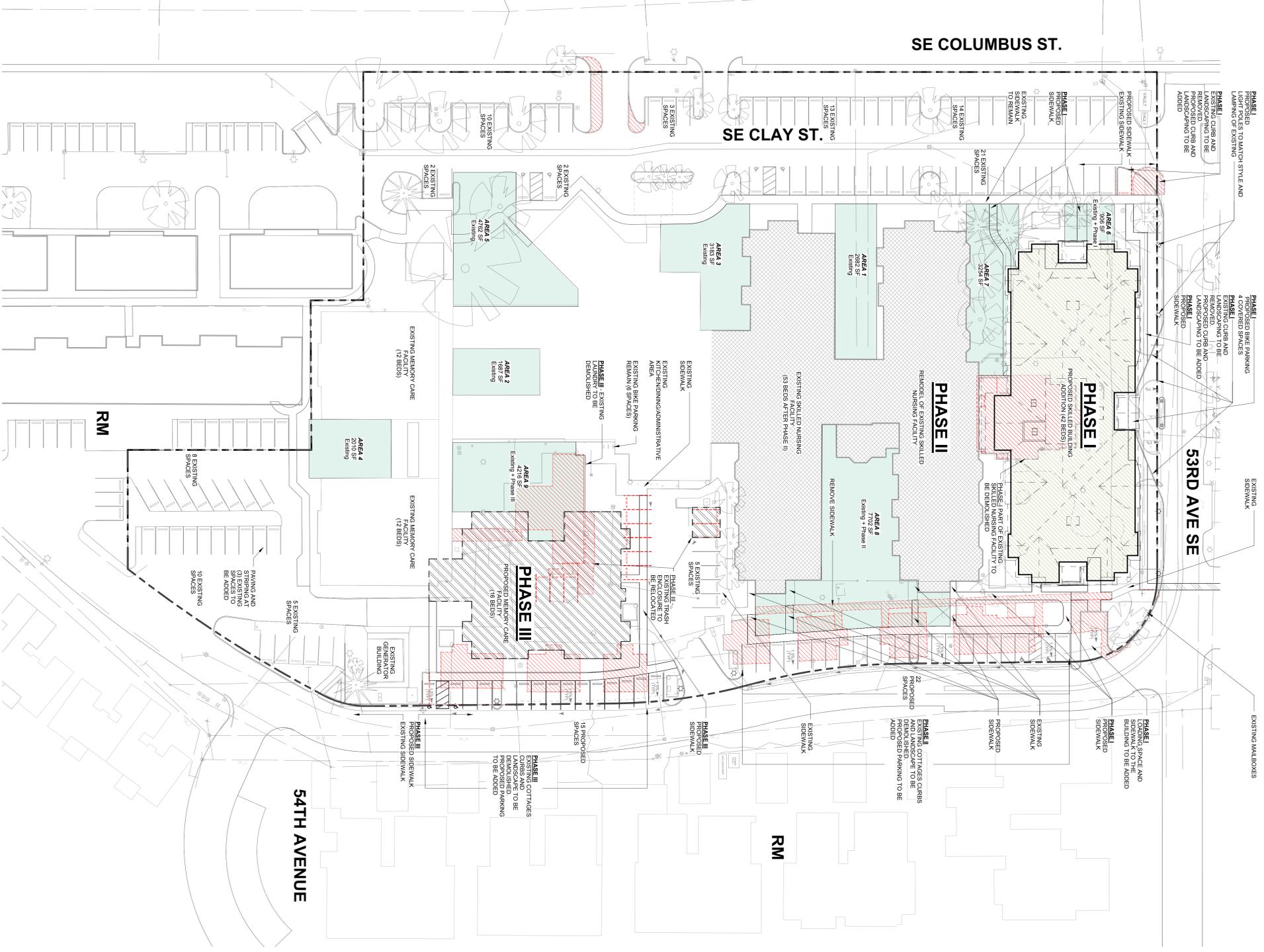
Name	Area	Min. Required Area	Min. Required Area Compliance	Practicing
AREA 1	2680 SF	500 SF	Yes	Existing
AREA 2	1680 SF	500 SF	Yes	Existing
AREA 3	3180 SF	500 SF	Yes	Existing
AREA 4	2210 SF	500 SF	Yes	Existing
AREA 5	1810 SF	500 SF	Yes	Existing
AREA 6	910 SF	500 SF	Yes	Existing + Phase I
AREA 7	3250 SF	500 SF	Yes	Existing + Phase I
AREA 8	7700 SF	500 SF	Yes	Existing + Phase II
AREA 9	3620 SF	500 SF	Yes	Existing + Phase III

PARKING SUMMARY - REQUIRED

Required Parking Type	Car Parking	Bike Parking	Bike Parking Comments
Existing Skilled Nursing Beds	18 Spaces		
Existing Memory Care Beds	14 Spaces		
Proposed Skilled Nursing Beds	14 Spaces		Commercial or Office Development
Proposed Memory Care Beds	5 Spaces		Not Applicable for Memory Care Residences
Employees at Peak Shift after Phase III	150 Spaces (6 ADA Spaces required)	4	
TOTAL			

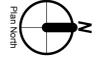
PARKING - SUMMARY - PROPOSED

Provided	Car Parking	Bike Parking	Comments
Phase I	0	4	Covered Spaces
Phase II	22		
Phase III	15		
Site - Existing	193		Includes 4/ADA, 6
Grand Total 149	130 (INCLUDES 9 ADA SPACES)	10	



4 SITE PLAN (CUP)

SCALE: 1" = 30'-0"



PROJECT NUMBER: 215373



MENNONITE VILLAGE

MENNONITE HOME ENHANCEMENT
5353 SE Columbus St.
Albany, OR 97322

SHEET TITLE:
ARCHITECTURAL SITE PLAN (CUP)

DRAWN BY: AD/AV
DATE ISSUED: 07/22/16

SHEET:
A002

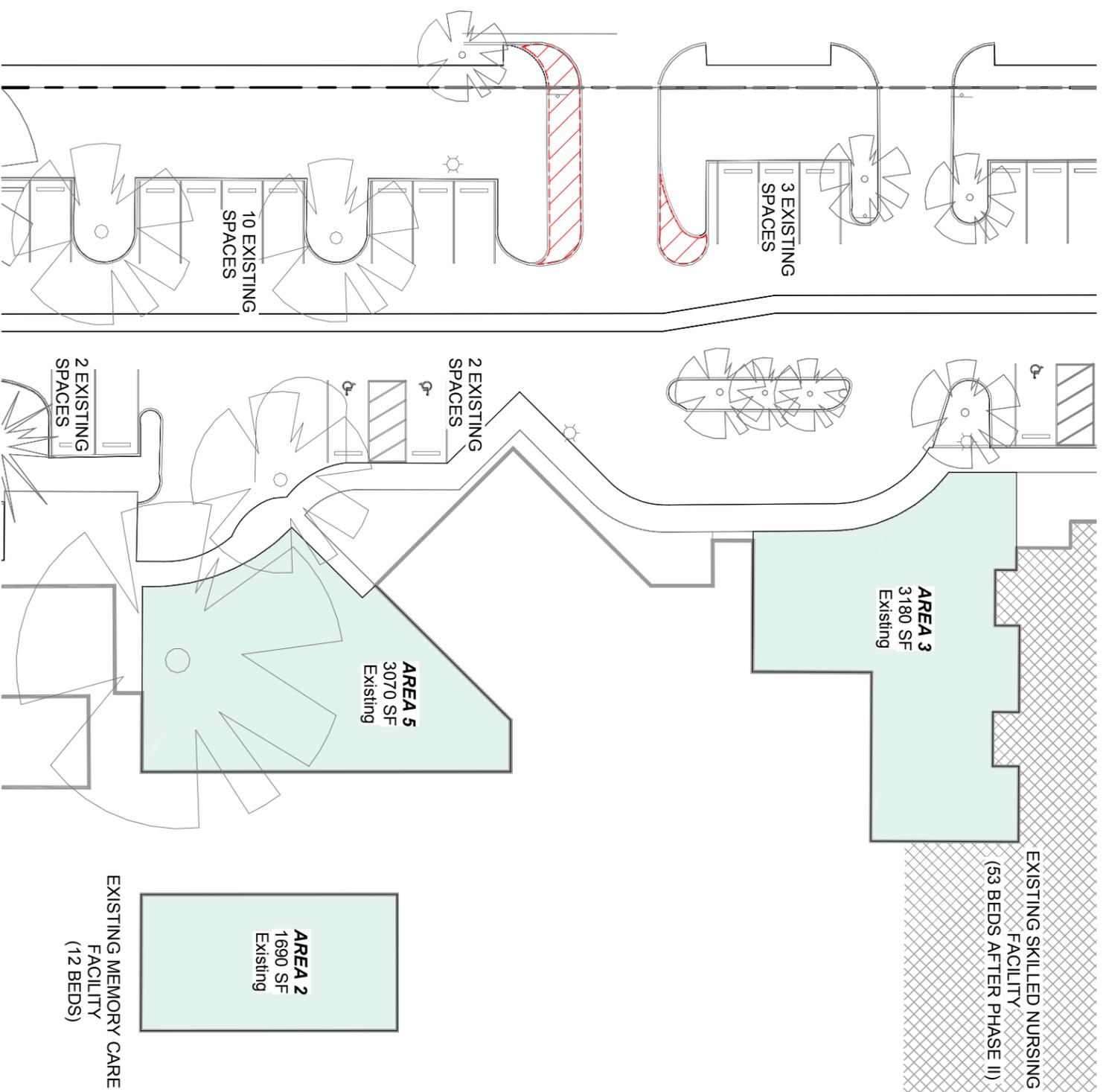
CONDITIONAL USE PERMIT
JULY 22, 2016
LDS ARCHITECTS, INC. © 2016

LEGEND

 Common Open Space

COMMON OPEN SPACE AREAS				
Name	Area	Min Required Area	Min Required Area Compliance	Phasing

AREA 1	2680 SF	500 SF	Yes	Existing
AREA 2	1690 SF	500 SF	Yes	Existing
AREA 3	3180 SF	500 SF	Yes	Existing
AREA 4	2010 SF	500 SF	Yes	Existing
AREA 5	3070 SF	500 SF	Yes	Existing
AREA 6	910 SF	500 SF	Yes	Existing + Phase I
AREA 7	3250 SF	500 SF	Yes	Existing + Phase I
AREA 8	7700 SF	500 SF	Yes	Existing + Phase II
AREA 9	4220 SF	500 SF	Yes	Existing + Phase III
Grand total: 9	28710 SF			



SHEET TITLE: **PARTIAL SITE PLAN (CUP)**

SCALE: 1" = 30'-0"

LRS ARCHITECTS
 720 NW Davis
 Suite 300
 Portland OR 97209
 503.221.1121
 503.221.2077
 www.lrsarchitects.com

PROJECT NAME: **MENNONITE HOME ENHANCEMENT**

PROJECT NUMBER: **215373**

DRAWN BY: **Author**

DATE CREATED: **10/27/2016**

SHEET: **4/A002**
 Rev.1

PRELIMINARY
NOT FOR
CONSTRUCTION

CONSULTANT:

GENERAL NOTES

1. THESE PLANS SHALL BE CONSIDERED TO BE PRELIMINARY AND NOT FOR CONSTRUCTION. ONLY THE GENERAL NOTES AND DIMENSIONS SHALL BE CONSIDERED FOR CONSTRUCTION. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
2. SITE INFORMATION IS BASED ON OWNER'S SURVEY AND SHALL BE VERIFIED BY THE GENERAL CONTRACTOR TO PROTECT FROM BOUNDARY DISCREPANCIES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL PARKING SPACE DIMENSIONS ARE TO ASPHALT SURFACE UNLESS OTHERWISE NOTED.
4. GENERAL CONTRACTOR TO PROTECT FROM EXISTING UTILITIES AND STRUCTURES. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.

LEGEND

- PROPOSED BUILDING
- CONCRETE SIDEWALKS W/CONTROL JOINTS @ 5' ON CENTER

KEYNOTES

- SHOW THIS
- NOTE ONLY KEYNOTES APPROPRIATE TO THIS SHEET ARE SHOWN IN THIS KEYNOTE LEGEND. GO TO VERIFY ANY OTHER KEYNOTES.
- 0111 BOLLARD SIDE GARDI
 - 0115 SPILT FACE CMU ENCLOSURE WITH INTEGRAL COLOR
 - 0116 METAL GATE POST
 - 0117 METAL GATE FRAME
 - 0118 METAL PANEL GATE

PROJECT NUMBER: 215173



MENNONITE VILLAGE

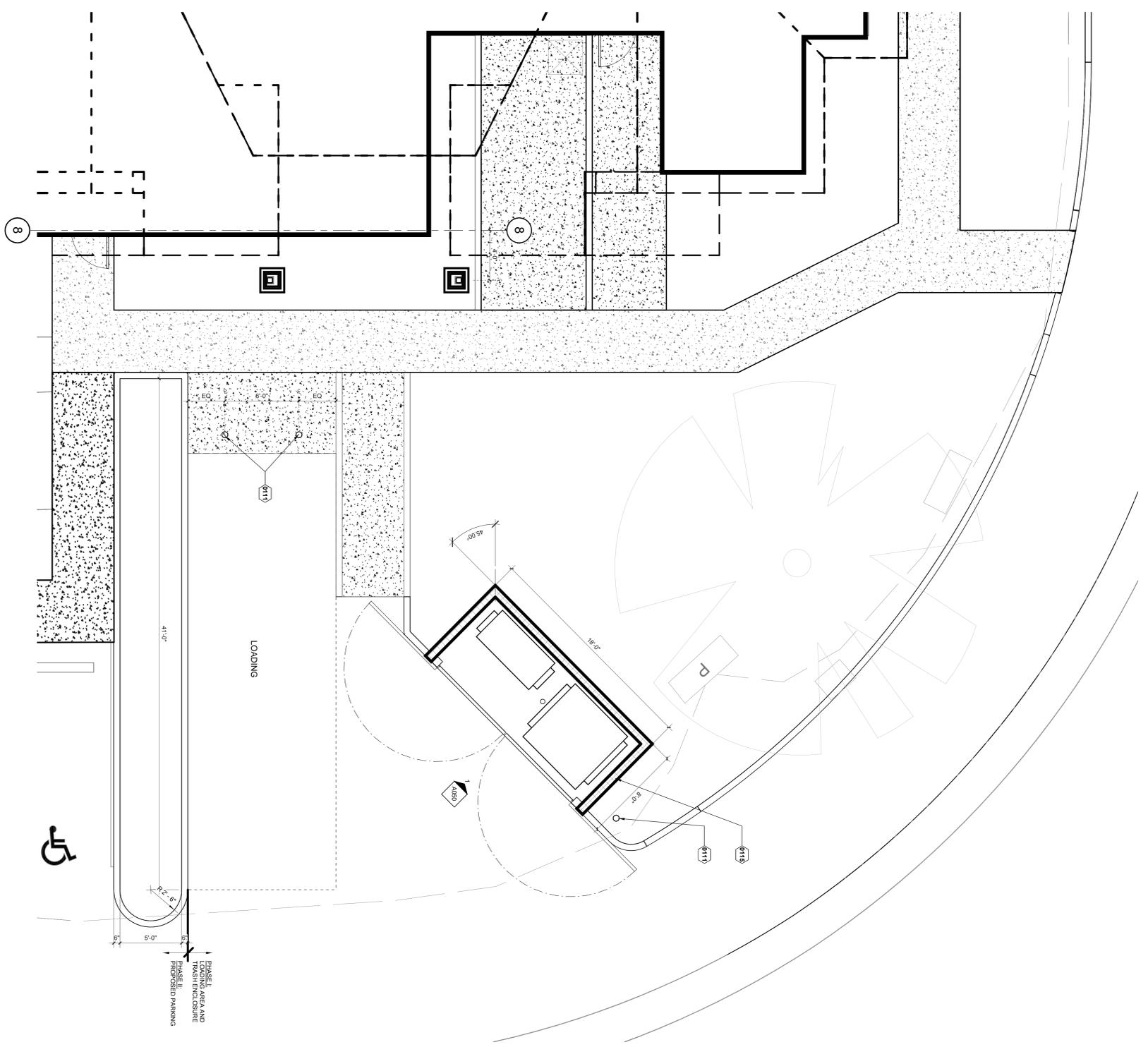
MENNONITE HOME ENHANCEMENT
5353 SE Columbus St.
Albany, OR 97322

SHEET TITLE:
ENLARGED SITE PLANS

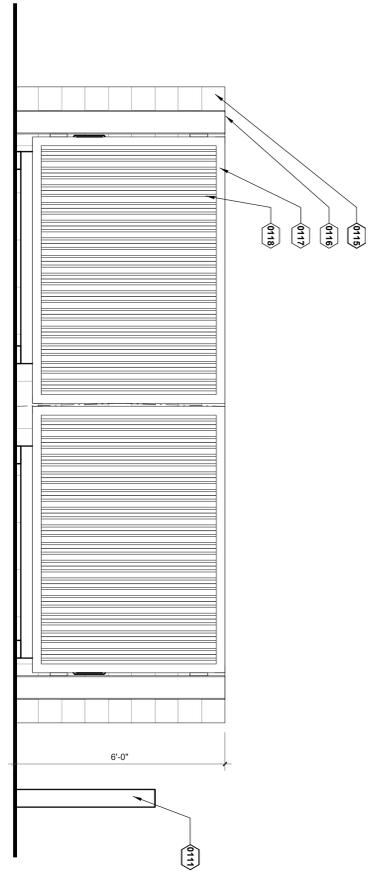
DRAWN BY: *Audrey*
DATE ISSUED: 09/20/16

SHEET:
A050

DESIGN DEVELOPMENT
SEPTEMBER 30, 2016
LRS ARCHITECTS, INC. © 2016



2 ENLARGED SITE PLAN - LOADING AREA
SCALE: 1/4" = 1'-0"



1 TRASH ENCLOSURE ELEVATION
SCALE: 1/2" = 1'-0"

CONSULTANT:

PROJECT NUMBER: 213073



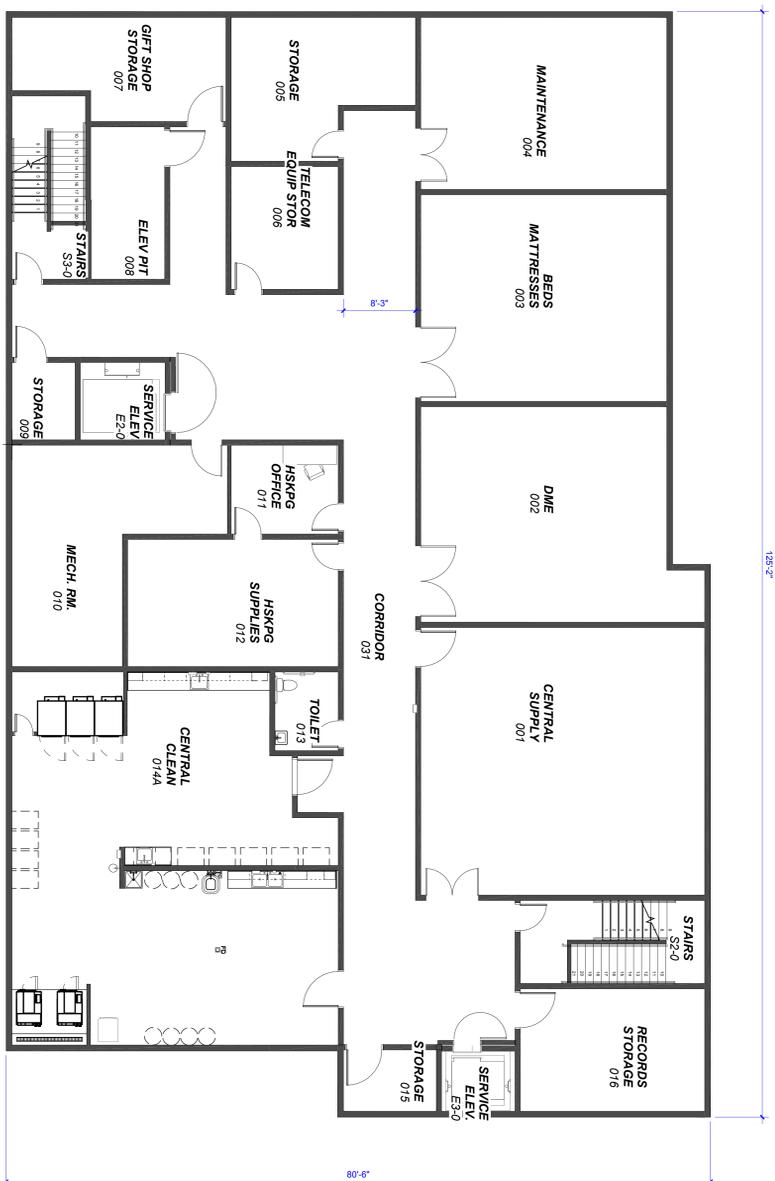
MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
BASEMENT FLOOR PLAN - PHASE I

DRAWN BY: **AJUNYR**
 DATE ISSUED: **07/29/16**

SHEET:
SNF A201

CONDITIONAL USE PERMIT
 JULY 22, 2016
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1 BASEMENT - (CUP)

SCALE: 1/8" = 1'-0"

CONSULTANT:

PROJECT NUMBER: 213073



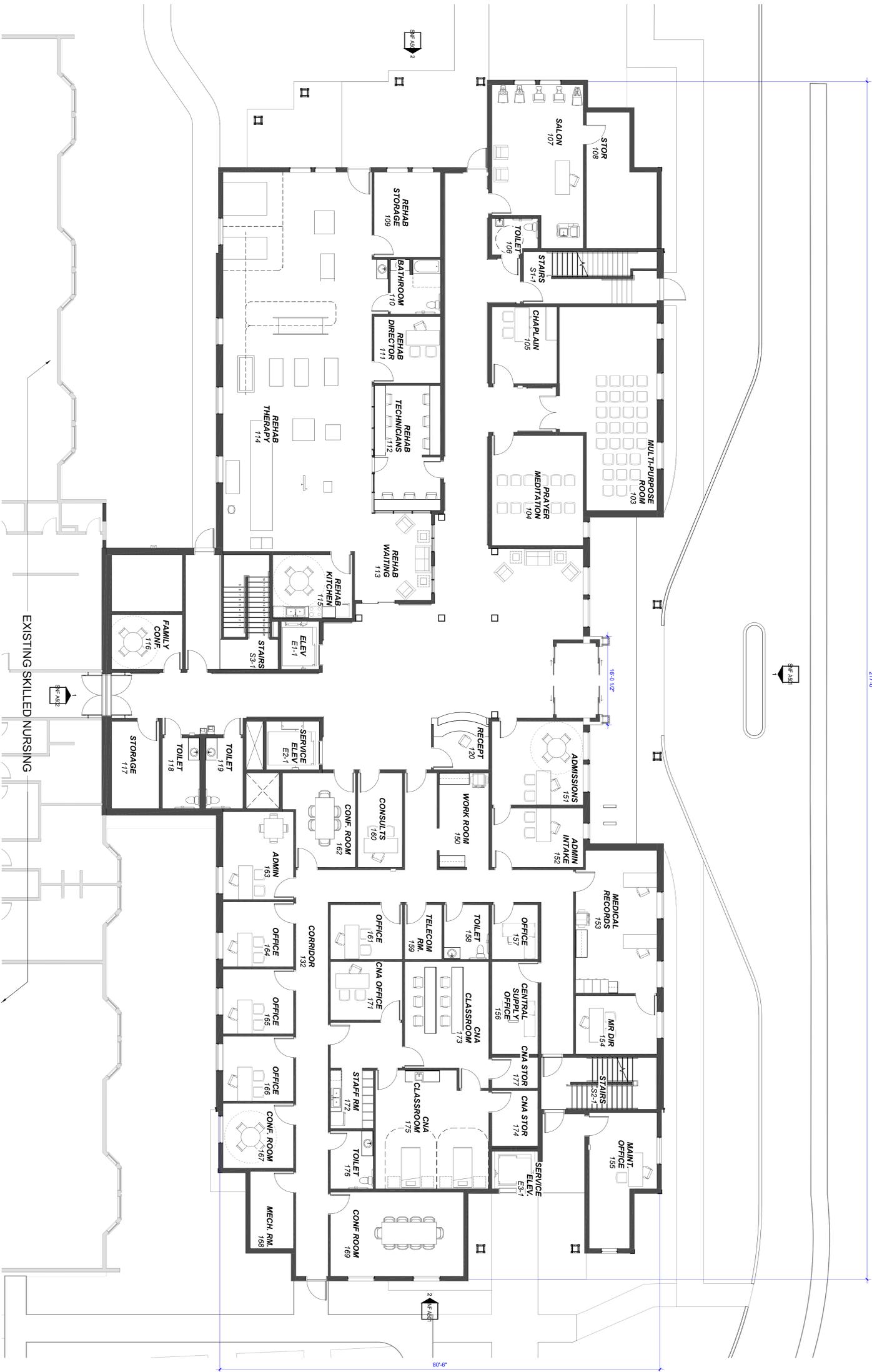
MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
FIRST FLOOR PLAN - PHASE I

DRAWN BY: **AMW**
 DATE ISSUED: **07/22/16**

SHEET:
SNF
A202

CONDITIONAL USE PERMIT
 JULY 22, 2016
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1 FIRST FLOOR PLAN - (CUP)
 SCALE: 1/8" = 1'-0"

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CONSULTANT:

PROJECT NUMBER: 213273



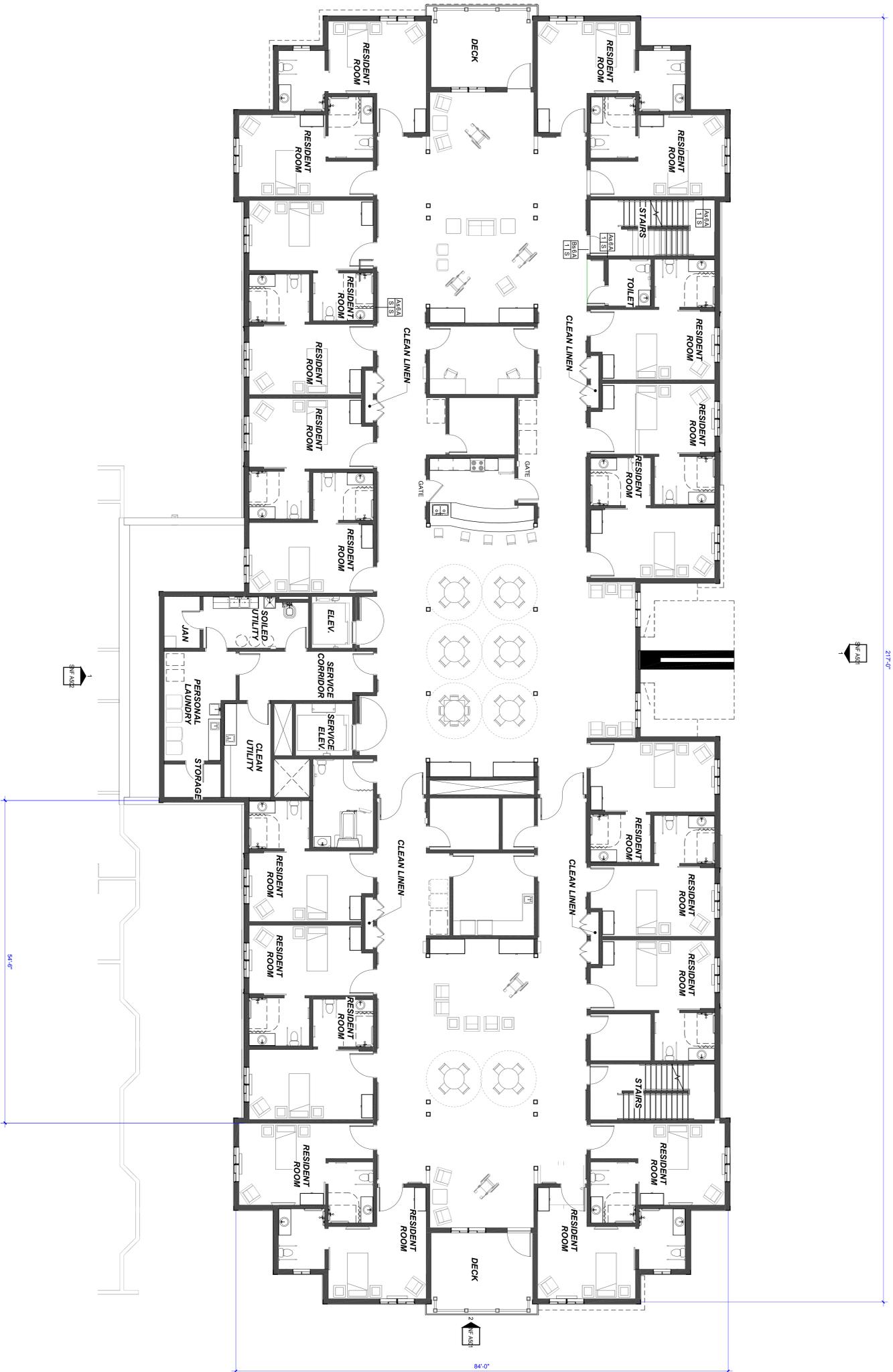
MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
SECOND FLOOR PLAN - PHASE I

DESIGN BY: AUTHOR
 DATE ISSUED: 07/22/16

SHEET:
SNF
A203

CONDITIONAL USE PERMIT
 JULY 22, 2016
 LRS ARCHITECTS, INC. © 2016



1 SECOND FLOOR PLAN - (CUP)
 SNF A203 SCALE: 1/8" = 1'-0"

CONSULTANT:

PROJECT NUMBER: 213273



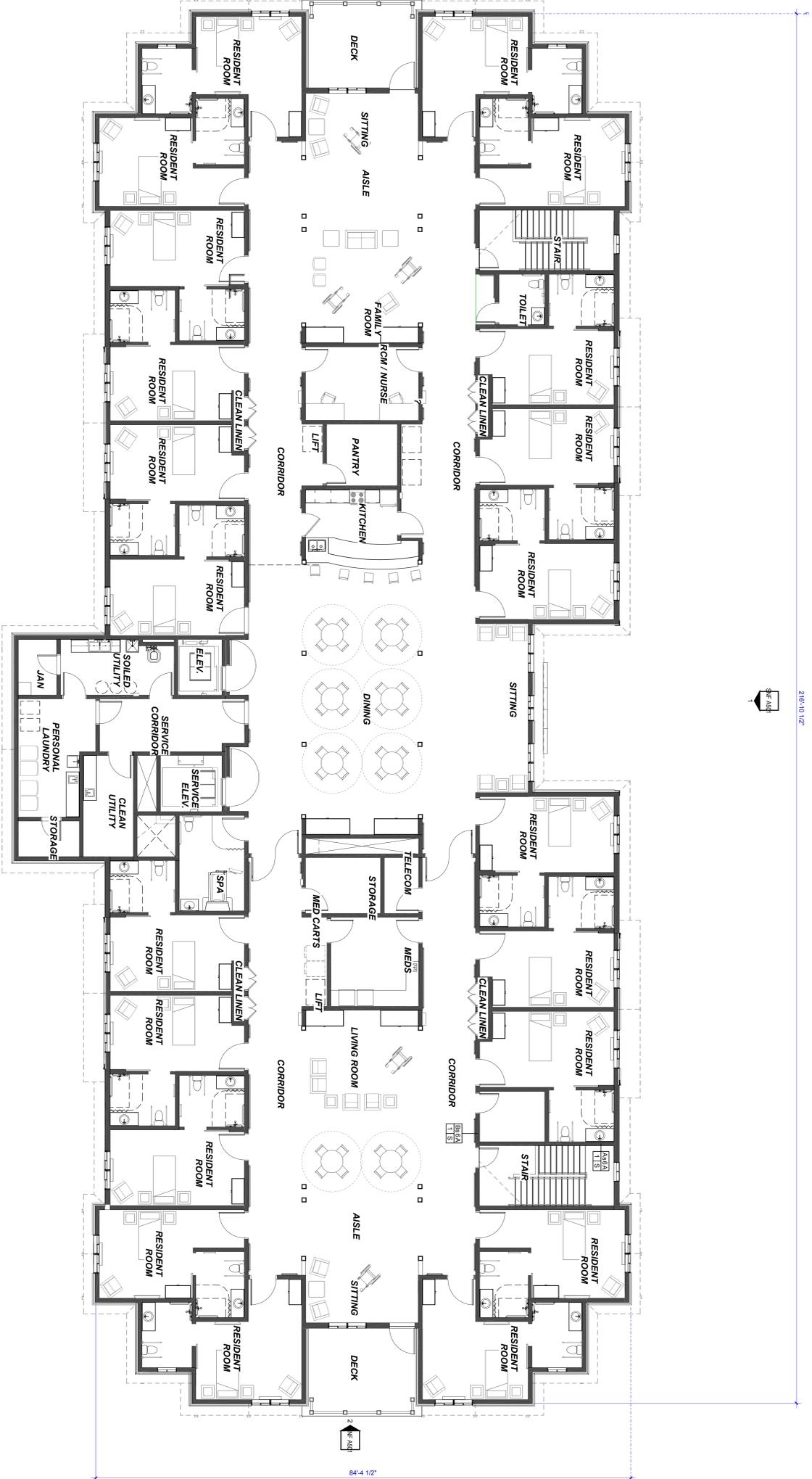
MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
THIRD FLOOR PLAN - PHASE I

DRAWN BY: **AD/AV**
 DATE ISSUED: **07/22/16**

SHEET:
SNF
A204

CONDITIONAL USE PERMIT
 JULY 22, 2016
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1 THIRD FLOOR PLAN - (CUP)
 SNF ADW SCALE: 1/8" = 1'-0"

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CONSULTANT:

PROJECT NUMBER: 215373



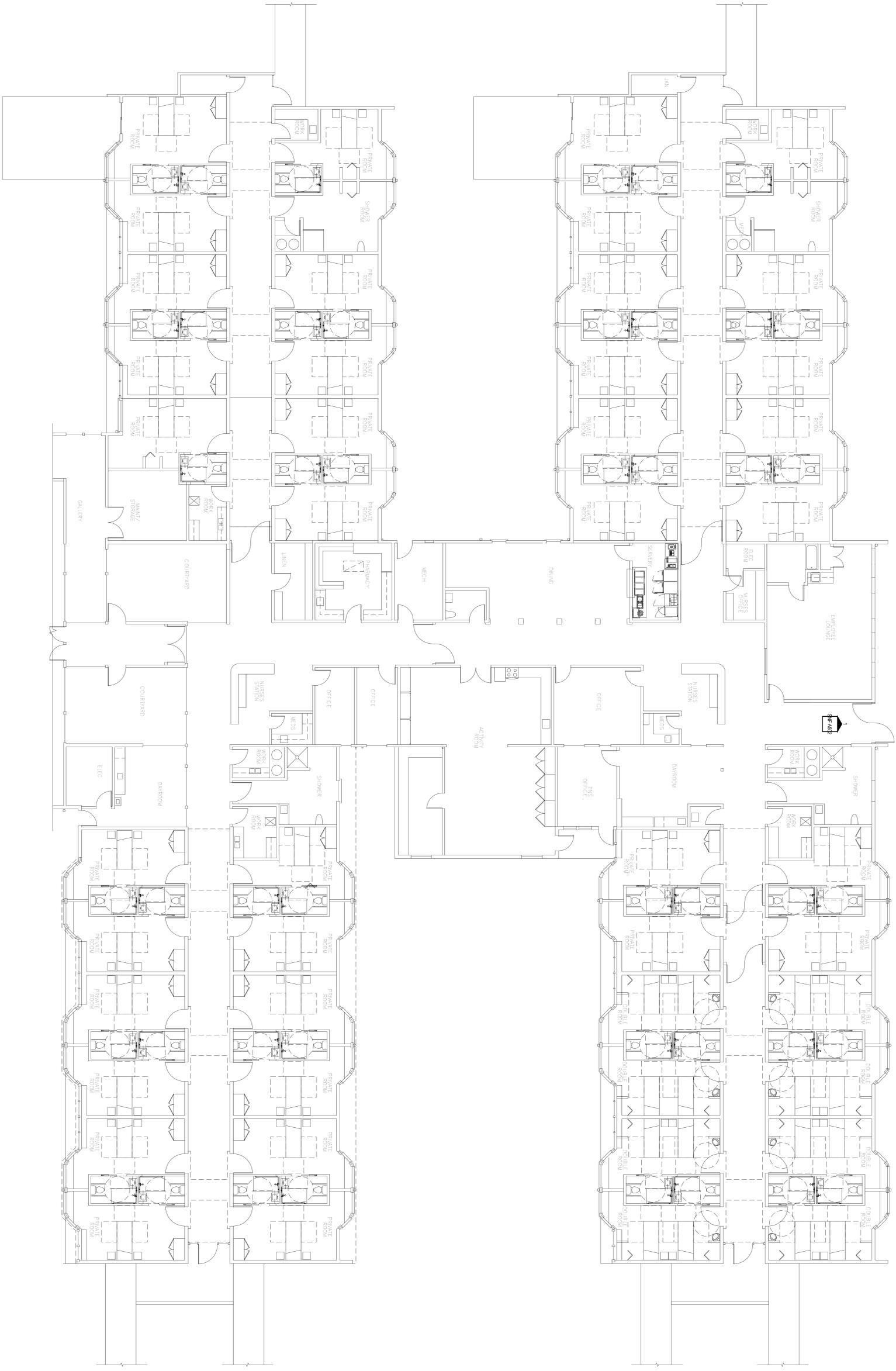
MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
EXISTING SNF FIRST FLOOR PLAN - PHASE II

DRAWN BY: *ADW*
 DATE ISSUED: 07/22/16

SNF
A205
 SHEET

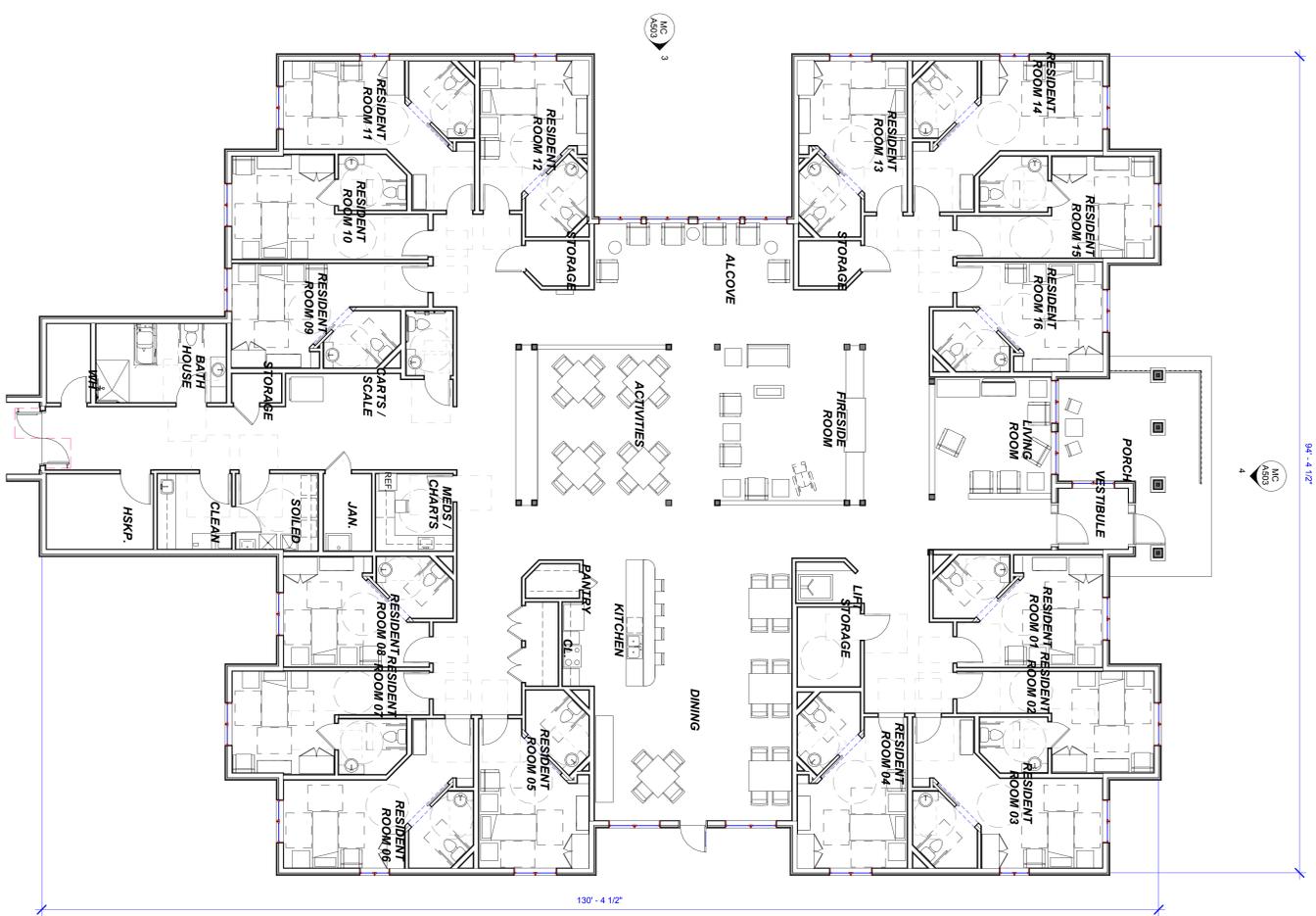
CONDITIONAL USE PERMIT
 JULY 22, 2016
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1 EXISTING SNF FIRST FLOOR PLAN - PHASE II
 SNF A205 SCALE: 1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- A ALL PLAN WALLS SHOW FINISH AND FRAMING LOU. ALL CENTER OF WINDOW OPENING, COLUMN, OR GRID EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE. FINISH DIMENSIONS ARE TO FACE OF FINISH.
- B ALL DOOR OPENINGS PERPENDICULAR TO A WALL ARE 5" TO THE WALL LOU.
- C ALL WINDOWS ARE TYPE UNK.
- D SEE A SHEET FOR STANDARD PICTURE MOUNTING HEIGHTS AND REQUIREMENTS LOU.
- E SEE -A/- FOR PENETRATION REQUIREMENTS.
- F SEE -A/- FOR RECESSED WALL FIXTURE WRAP REQUIREMENTS.
- G RESIDENTIAL UNIT SQUARE FOOTAGES INCLUDE BATHROOMS.



1. MC FIRST FLOOR PLAN - PHASE III

SCALE: 1/8" = 1'-0"



Mennonite Village Senior Care Community
5353 SE Columbus St.
Albany, OR 97322



PROJECT NUMBER: **2016-0003**

CONSULTANT:

SHEET TITLE:
MC FIRST FLOOR PLAN - PHASE III

DRAWN BY: _____
DATE ISSUED: 07/19/16

MC
A206

CONDITIONAL USE PERMIT
JULY 15, 2016
LRS ARCHITECTS, INC. ©

CONSULTANT

PROJECT NUMBER 215273



MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE
EXTERIOR ELEVATIONS - PHASE I

DRAWN BY: **AM/AV**
 DATE ISSUED: **07/22/16**

SHEET
SNF
A501

CONDITIONAL USE PERMIT
 JULY 22, 2016
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1 OVERALL NORTH ELEVATION - PHASE I

SCALE: 1/8" = 1'-0"



2 OVERALL EAST ELEVATION - PHASE I

SCALE: 1/8" = 1'-0"

COLOR OPTION LEGEND

	ASPHALT SHINGLE ROOF
	MACOMBER NATURAL WOOD
	VINYL HORIZONTAL SIDING
	CER PAINTED "STERLING GRAY" COLORAL WHITE
	FIBER CEMENT SHINGLE SIDING
	PAINT SHERWIN WILLIAMS "ROCK CANDY"
	BRICK
	BRICK AND STYLE TO MATCH
	VINYL TRIM
	CER PAINTED "CHARCOAL GRAY"
	DECORATIVE WOOD CHEST "BRYAN WILLIAMS TEA"

CONSULTANT:

PROJECT NUMBER: 215273



MENNONITE HOME ENHANCEMENT
 5353 SE Columbus St.
 Albany, OR 97322

SHEET TITLE:
EXTERIOR ELEVATIONS - PHASE I

DRAWN BY: Author
 DATE ISSUED: 07/22/16

SHEET:
SNF A502
 CONDITIONAL USE PERMIT
 JULY 22, 2016
 LRS ARCHITECTS, INC. © 2016



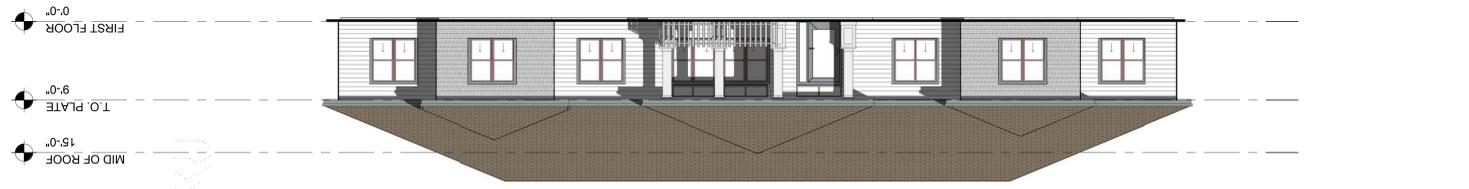
1 OVERALL SOUTH ELEVATION - PHASE I
 SNF A502 SCALE: 1/8" = 1'-0"

COLOR OPTION LEGEND

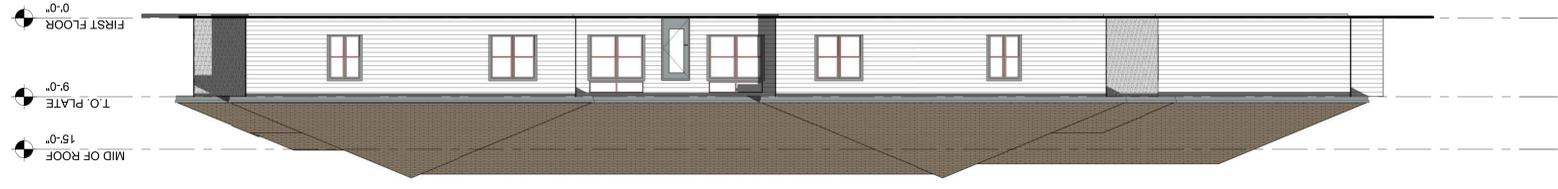
	ASPHALT SHINGLE ROOF
	MACLUREY "NATURAL WOOD"
	VINYL HORIZONTAL SIDING
	CERTAINTEED "STERLING GRAY" "COLONIAL WHITE"
	FIBER CEMENT SHINGLE SIDING
	PAINT SHERWIN WILLIAMS "TROCK CANDY"
	BRICK
	BRICK AND STYLE TO MATCH EXISTING BRICK
	VINYL TRIM
	CERTAINTEED "CHARCOAL GRAY"
	DECORATIVE WOOD
	SHERWIN WILLIAMS "TEA CHEST"



2 OVERALL WEST ELEVATION - PHASE I
 SNF A502 SCALE: 1/8" = 1'-0"



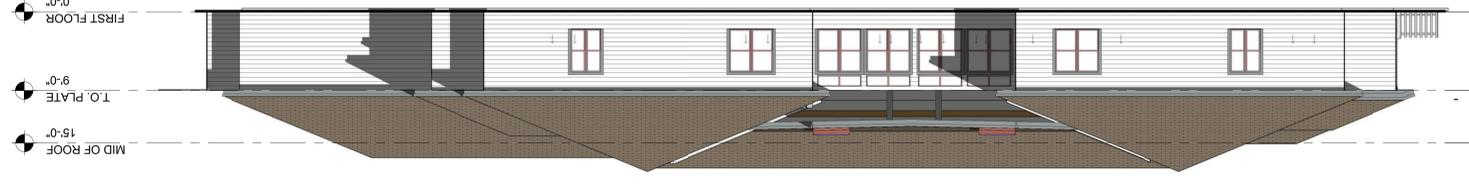
4. NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1. EAST ELEVATION
SCALE: 1/8" = 1'-0"



2. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3. WEST ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- A. PAINT ALL NON-NOTED MISCELLANEOUS ITEMS TO MATCH ADJACENT REFERENCED FINISH COLOR UON.
 - B. SEE WALL SECTIONS FOR PARTIAL ELEVATIONS NOT SHOWN.
 - C. SEE DOOR AND WINDOW SCHEDULES AND ELEVATIONS FOR ADDITIONAL INFORMATION.
 - D. WINDOWS TO ALIGN VERTICALLY, TYPICAL UON.

COLOR OPTION LEGEND

	ASPHALT SHINGLE ROOF MARRKES "NATURAL WOOD"
	VINYL HORIZONTAL SIDING CERTAINTED STERLING GRAY, "COLONIAL WHITE"
	FIBER CEMENT SHINGLE SIDING JAMES HARDIE "CANDY"
	PAINT SHERWIN WILLIAMS TRICK FOYGOFF PEWTER
	PAINT SHERWIN WILLIAMS TEA DECORATIVE WOOD CHEST

CONSULTANT:

PROJECT NUMBER:



Mennonite Village Senior Care Community
 5353 SE Columbus St
 Albany, OR 97322

MC EXTERIOR ELEVATIONS - PHASE III

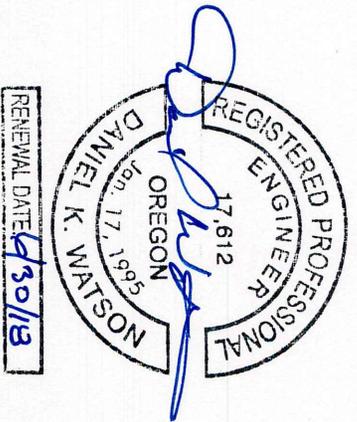
DRAWN BY: Author
 DATE ISSUED: 07/13/16

MC A503

**MENNONITE VILLAGE
SKILLED NURSING FACILITY**

TRAFFIC TRIP GENERATION STUDY

5353 Columbus Street SE
Albany, OR



Prepared by: Daniel Watson, P.E.
K&D Engineering
P. O. Box 725
Albany, OR 97321

Client: Mennonite Village
Project No. 16-49
Date: July 27, 2016

**MENNONITE HOME
TRAFFIC TRIP GENERATION
SCHEDULE**

Project Trips

Project related traffic consist of trips on any portion of the public street system that will begin or end at the project site as a result of the proposed development.

The first phase of the proposed development within this community is a 3-story skilled nursing facility. An in-patient skilled nursing rehabilitation center will be located on the ground floor along with a community gathering room, beauty salon, chapel, as well as administrative offices and a training center for nursing certification. Two upper floors will have a total of 42 private rooms (42 beds) for skilled nursing residents as well as a communal dining room, living rooms, outdoor decks and laundry facilities on each resident floor.

Phase II of this proposed development will be a remodel of the existing skilled nursing resident rooms that will convert double occupancy rooms to single occupancy rooms resulting in a reduction of 42 existing beds. A building addition is also proposed in Phase II which will be a memory care home for 16 residents for those with dementia and Alzheimer's.

8 buildings (villas) currently used for storage and a laundry will be removed to add parking.

Proposed Uses For The Site

FACILITY	ITE CODE
Resident Memory Care	253 Congregate Care Facility
Nurse Training Center	550 University/College
Skilled Nursing/Rehabilitation Facility	620 Nursing Home

The project will be constructed in two phases as listed below:

PHASE 1

- Add 1 - 42 Resident Skilled Nursing Facility beds (with communal areas)
- Add Skilled Nursing Rehab facility
- Add Nurse Training Center (with Administration facilities)
- Add 1 Laundry Facility
- Add 1 Beauty Salon (primarily for residents)
- Eliminate 7 Storage Buildings (function replaced in new facility)
- Eliminate 1 Laundry Facility (function replaced in new facility)

PHASE 2

Remodel to eliminate 42 existing resident skilled nursing facility beds.

PHASE 3

Add 16 Unit Resident Memory Care Facility

Trip Generation

Trip generation is a measure or forecast of the number of trips that will be made to or from the project. It is generally equal to the traffic volume expected at the project entrance. We expect that the vast majority of the trips will be to and from the Columbus Street main entrance. All trip projections presented herein are weekday values.

The laundry and storage uses will be replaced in the new building so zero net trips will be generated by that portion of the work.

The skilled nursing facility will not result in additional beds and therefore no net additional patients. The rehab facility will require additional employees, so net trips applicable to this new use has been estimated based on employees.

The nurse training center function traffic impacts have been estimated on number of students.

The beauty salon will rely on existing residents and may serve visitors of existing patients. We have estimated the traffic impacts based on employee trips using the nursing home rate and included the employee count (2) in the skilled nursing rehab center total.

New Trip Generation Rates

Land Use	Unit of Measure	Daily	AM PEAK HOUR		PM PEAK HOUR				
			Total	In	Out	Total	In	Out	
ALL PHASES									
Resident Memory Care ITE Code 253	/*Unit	2.15	0.06	0.04	0.02	0.17	0.10	0.07	
Nurse Training Center ITE Code 550	/Student	1.70	0.17	0.13	0.04	0.17	0.05	0.12	
Skilled Nursing Rehab Center ITE Code 620	/Employee	3.26	0.23	0.16	0.07	0.47	0.16	0.31	
Skilled Nursing Facility ITE Code 620	/Beds	2.74	0.17	0.12	0.05	0.22	0.07	0.15	

* Assumed: 1 Resident = 1 Unit

Net Project Traffic Generation

Land Use	Unit of Measure	Daily	AM PEAK HOUR		PM PEAK HOUR				
			Total **	In	Out	Total **	In	Out	
Vehicle Trips									
PHASE 1									
Resident Memory Care ITE Code 253	16 Units*	35	1	1	0	3	2	1	
Nurse Training Center ITE Code 550	12 Students	21	2	2	0	2	0	2	
Skilled Nursing Rehab Center ITE Code 620	10 Employees	33	3	2	1	3	2	1	
Skilled Nurse Facility ITE Code 620	0 New Beds	0	0	0	0	0	0	0	

* Assumed: 1 Resident = 1 Unit

** Rounded up to conform with City traffic impact fee policy

Trip Generation Summary

NET PROJECT TOTALS	TOTAL
TOTAL DAILY TRIPS	89
TOTAL AM PEAK HOUR TRIPS	6
TOTAL PM PEAK HOUR TRIPS	8



From: [Barnett, Rick](#)
To: [Martineau, David](#)
Subject: RE: Site Plan Review for Tree Felling - Mennonite Village
Date: Tuesday, September 13, 2016 8:04:08 AM

I have reviewed and have no concerns.

From: Martineau, David
Sent: Friday, September 9, 2016 2:03 PM
To: Barnett, Rick
Subject: Site Plan Review for Tree Felling - Mennonite Village

Rick,

I'm sending you a copy of the Site Plan Review for Tree Felling application submitted by Mennonite Village as part of their conditional use request to construct a three-story addition to their skilled nursing facility and for new construction of a new memory care unit and associated parking. They are proposing to remove 16 trees with diameters 8 inches or greater from the project site. Please review the submittal and provide any comments to me by September 22, if possible.

Let me know if you have any questions or need additional information.

Thank you,

David

David Martineau, AICP, CFM, Lead Current Planner

City of Albany Community Development Department

PO Box 490, Albany, Oregon 97321

Phone: (541) 917-7561; FAX: (541) 917-7598

david.martineau@cityofalbany.net

<http://www.cityofalbany.net/>

DISCLAIMER: This e-mail may be a public record of the City of Albany and may be subject to the State of Oregon Retention Schedule and may be subject to public disclosure under the Oregon Public Records Law. This e-mail, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure, or distribution is prohibited. If you are not the intended recipient, please send a reply e-mail to let the sender know of the error and destroy all copies of the original message.

- Lot coverage calculations are required for all applications except Change of Use and Temporary Merchant license.

Lot Coverage: Percent lot coverage allowed: _____ Proposed lot coverage percent: _____

Net land area of the site: _____ Square footage of all building pads: _____

Square footage of all parking/access areas: _____

Required Parking. Indicate the square footage of each use within the proposed structure(s). Employee and/or company vehicle information may be needed as well. Refer to ADC Article 4.250 for commercial and industrial parking space requirements and categories. For residential use, see Article 3.350 or 5.260.

Number of bicycle parking spaces provided [see ADC 9.120(13)]: _____

Building heights (Must also be shown on all elevation drawings): _____

Multiple-family projects only: Fill out Supplemental Information section.

SUPPLEMENTAL INFORMATION FOR MULTIPLE FAMILY

(ADDITIONS TO EXISTING DEVELOPMENT OR COMPLETELY NEW DEVELOPMENT)

1. **Gross land area** of the subject property: _____ sq. ft.
2. **Land area** proposed for dedication to the public: _____ sq. ft.
3. **Net land area** (gross land minus dedication area): _____ sq. ft.

4. **Lot coverage:** maximum allowable by the ADC for this zone is _____ %.
 [See Article 3, Table 1.] Lot coverage includes parking, driveway and building pad areas; it does not include patios or internal pedestrian walkways. **Analysis for the application:**

Building foundation coverage is _____ sq. ft. = _____ % of total net site

Parking and driveway areas are _____ sq. ft. = _____ % of total net site

5. **Density calculation analysis for the _____ Zoning District.**
 [See Article 3.190, Table 1 for the minimum land area required per dwelling unit.]

___ Single-family dwelling units @ _____ sq. ft. per unit = _____ sq. ft.

___ Duplex units @ _____ sq. ft. per duplex = _____ sq. ft.

___ Two or more attached single-family @ _____ sq. ft. per unit = _____ sq. ft.

___ Three or more 1-bedroom units @ _____ sq. ft. per unit = _____ sq. ft.

___ Three or more 2- 3-bedroom units @ _____ sq. ft. per unit = _____ sq. ft.

Total = _____ sq. ft. (should be no greater than 3 above)

If the net land area does not support the number of dwelling units, the site must either be approved for a variance (which is a separate application) or qualify for density bonus(es). [See Sections 3.200-3.220 for the bonus provisions.] **On a separate sheet(s) of paper identify any bonus(es) being requested;** explain how this project qualifies, and submit the percentage for each and recalculated density based upon the bonus(es).

6. **Proposed number of units per acre** (number of units divided by net acres): _____
 Regardless of any bonus provisions applicable, the maximum number of units per acre allowed by the ADC for this zone is: _____ . (See Article 3.020.)