



## COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490  
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598  
[www.cityofalbany.net](http://www.cityofalbany.net)

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### NOTICE OF FILING

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DATE OF NOTICE: February 7, 2018

FILE: SP-01-18

TYPE OF APPLICATION: Site Plan Review for temporary plant sales (31-120 days per year) on the south end of the Heritage Mall parking lot adjacent to 14th Avenue SE.

REVIEW BODY: Staff (Type I-L review)

PROPERTY OWNER: VCG Heritage Mall LLC; 11611 San Vicente Boulevard, Suite 1000; Los Angeles, CA 90049

MALL REPRESENTATIVE: Melody Olsen, Specialty Leasing and Event Manager; 1895 14<sup>th</sup> Avenue SE; Albany, OR 97322; 541-967-8238; [molsen@vintage-vre.com](mailto:molsen@vintage-vre.com)

APPLICANT: Paul Orson; 560 Harvest Lane; Roseburg, OR 97471; 541-936-1543; [porson3@gmail.com](mailto:porson3@gmail.com)

ADDRESS/LOCATION: 1895 14th Avenue SE

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-08BD; Tax Lot 801

ZONING: Regional Commercial (RC) District

The City of Albany has received the application referenced above. We are mailing notice of the application to property owners within 300 feet of the development. We invite your written comments on this application to be considered when staff makes a decision on this application. Comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond. The deadline for submission of written comments is 5:00 p.m. on **February 21, 2018**, 14 days from the date the City mails the Notice of Filing.

All application materials are available at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or call **Melissa Anderson, Project Planner**, at 541-704-2319 ([melissa.anderson@cityofalbany.net](mailto:melissa.anderson@cityofalbany.net)). Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision.

#### REVIEW CRITERIA FOR THIS REQUEST:

Albany Development Code (ADC)

SITE PLAN REVIEW – (ADC 2.450)

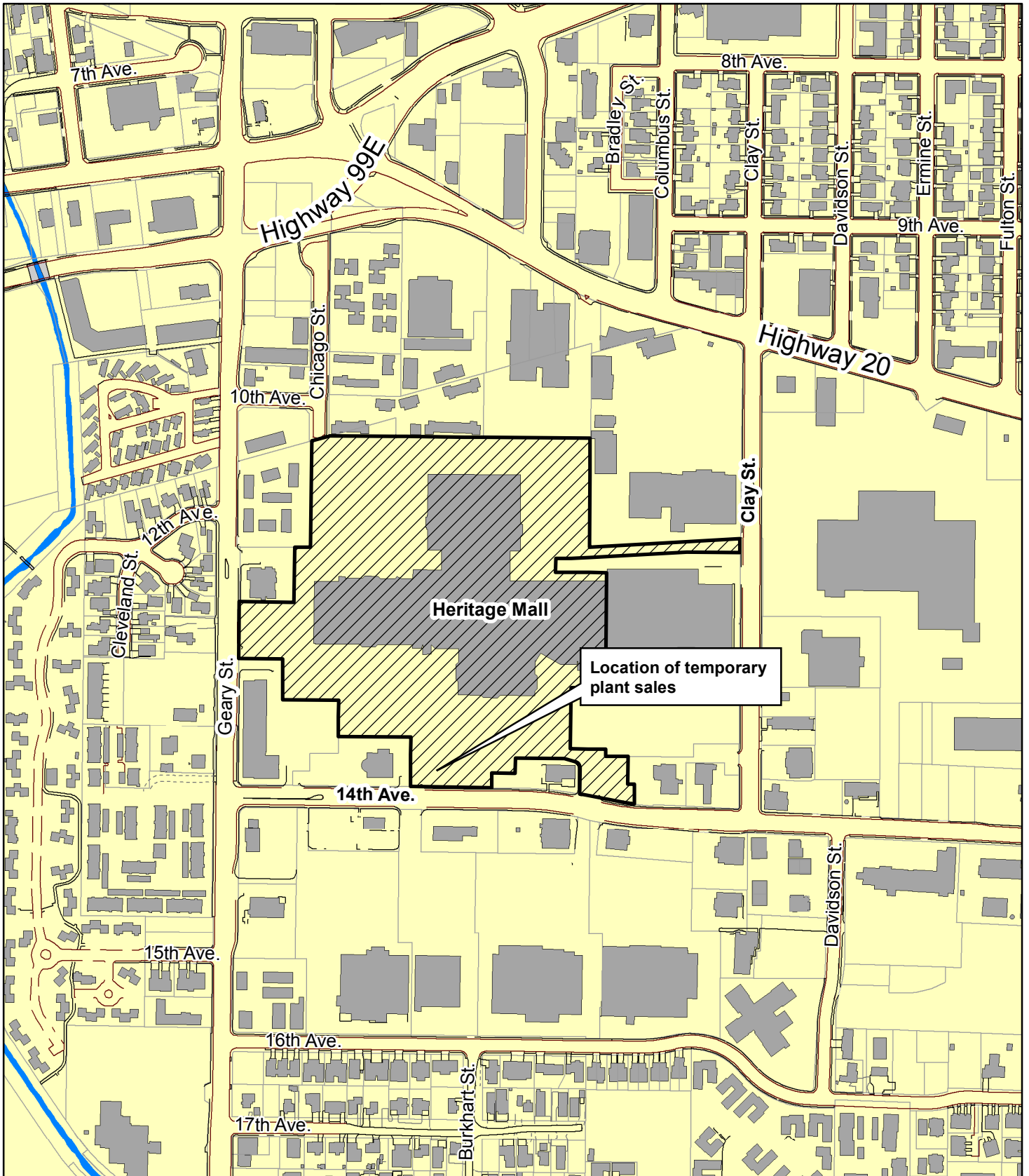
- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.

- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 4, & 9.

**COMMENTS:** *Comments must relate to the above approval standards and be supported by findings of fact. Attach additional sheets if necessary; please sign and date. Thank You!*

Attachment: Location Map and Site Layout



## Location Map: 1895 14th Avenue SE



The City of Albany's Infrastructure records, drawings and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

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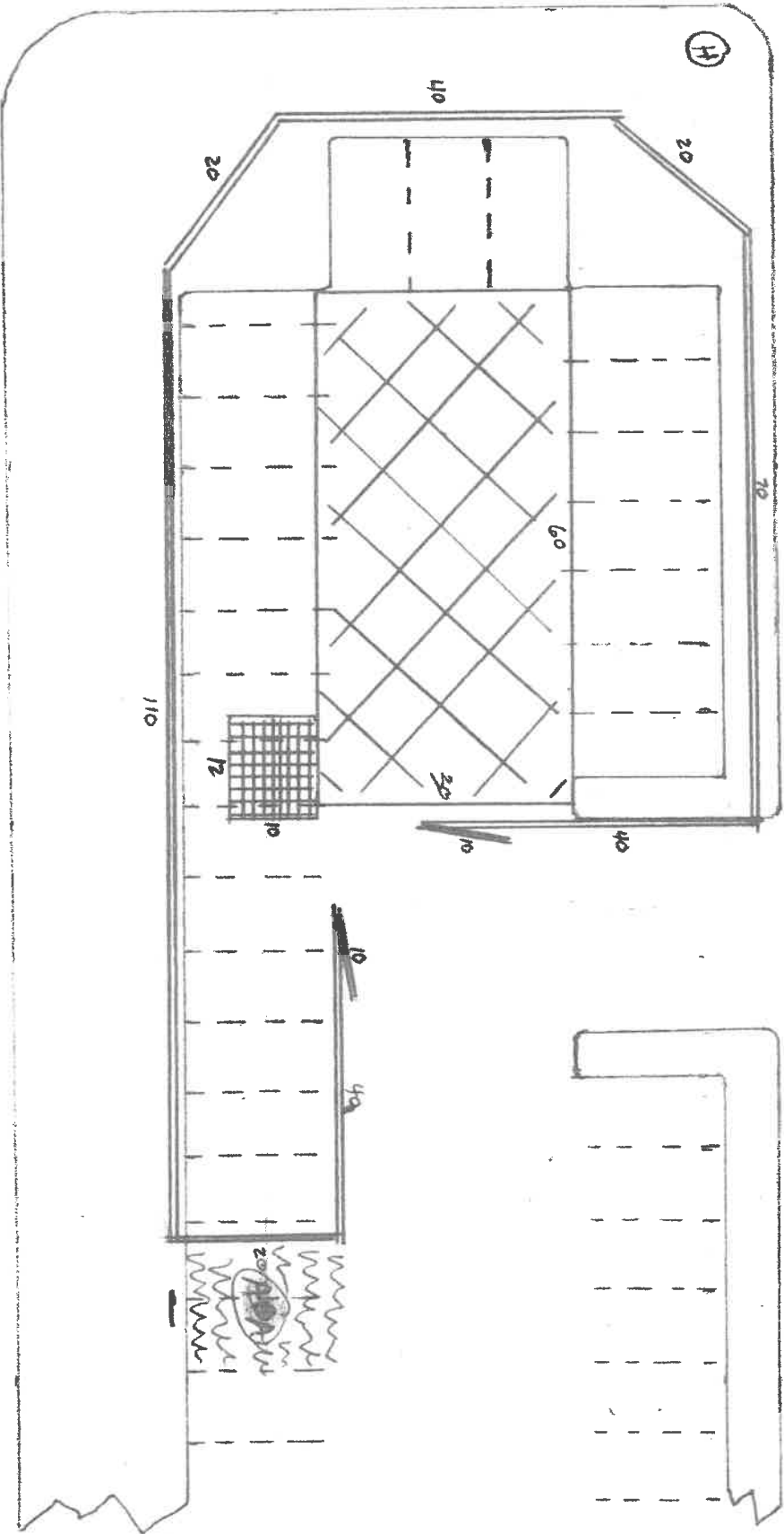


0 95 190 380 570 760  
Feet

March 19, 2015

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550



- ==== 6" CHAINLINK PERIMETER FENCE
- ▣ WOOD FRAME CHECKOUT COUNTER
- ⊗ FILM COVERED STEEL FRAME GREENHOUSE
- ⊙ (H) FIRE HYDRANT
- ⊙ (H) ADA COMPLIANT PARKING

ORSON'S GREENHOUSES, INC  
 dba: COUNTRY FARMER  
 PAUL ORSON  
 560 HARVEST LN.  
 ROSELAND, OR 97471  
 541-926-1843  
 1" = 20' N  
 3/26/2015