



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF FILING

DATE OF NOTICE: August 11, 2016

FILE: SP-14-16

TYPE OF APPLICATION: Site Plan Review for new construction of a 26-foot wide paved access driveway from the ATI facility (Pacific Cast Technologies) on Queen Avenue SW to Ferry Street SW.

REVIEW BODY: Staff (Type I-L review)

PROPERTY OWNER/APPLICANT: Matt Lee; Pacific Cast Technologies, Inc.; 150 Queen Avenue SW; Albany, OR 97322; 541-905-3679; Matt.Lee@ATIMetals.com

APPLICANT REP.: Mike Smee; ATI Engineering; PO Box 460; Albany, OR 97321

ENGINEER: Grant Beem; K&D Engineering; PO Box 725; Albany, OR 97321; 541-928-2583; gbeem@kdeng.com

ADDRESS: 2435 & 2445 Ferry Street SW

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-18BA; Tax Lots 1102 & 1106

ZONING: Light Industrial (LI) District

The City of Albany has received the Site Plan Review application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff makes a decision on this application. Your comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **August 25, 2016**.

We have attached a location map and a site plan of the proposed development. All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or telephone **David Martineau, Project Planner**, at 541-917-7561. Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code, the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the Review Criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code. These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

APPROVAL STANDARDS FOR THIS REQUEST:

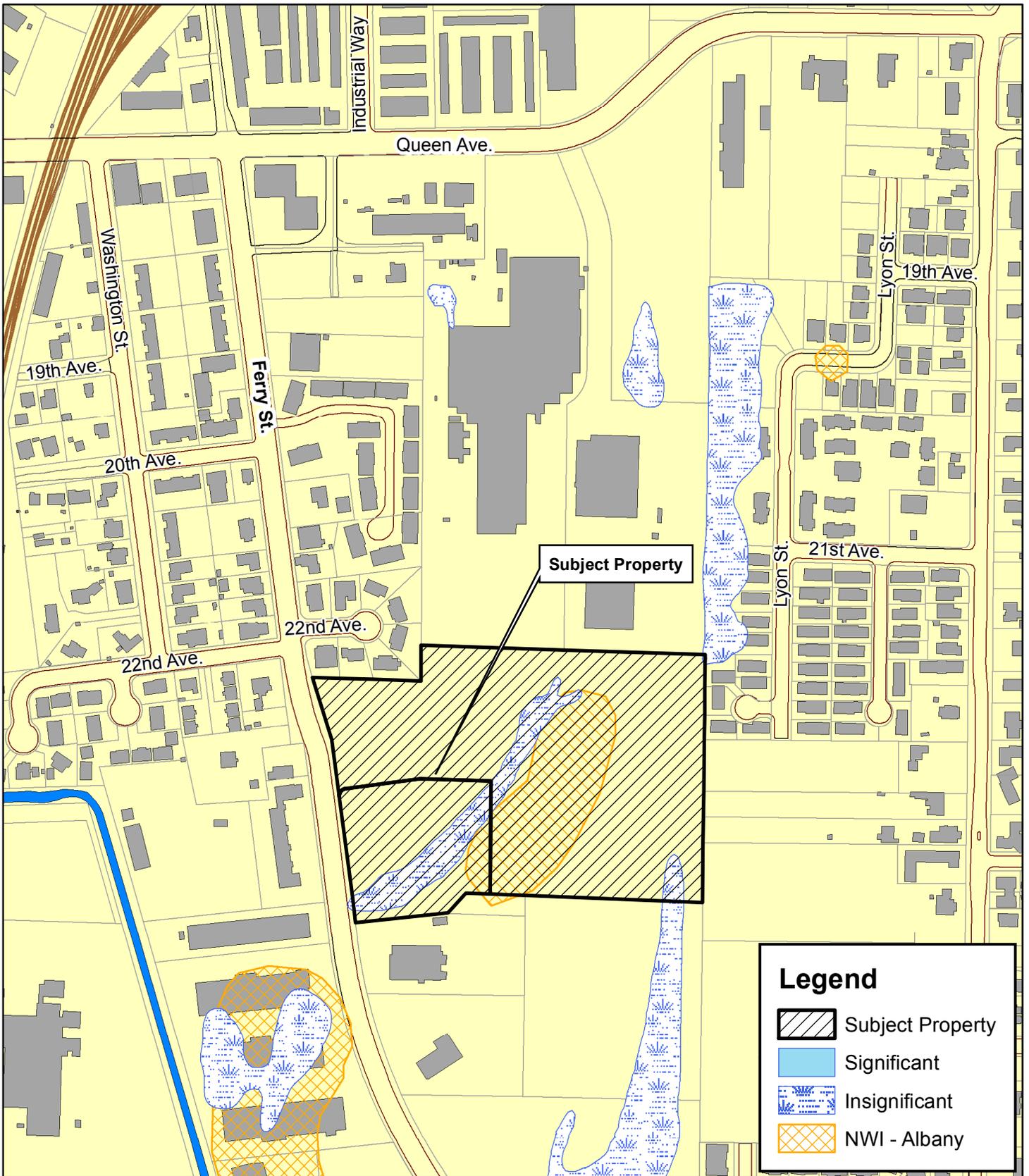
Albany Development Code

SITE PLAN REVIEW (ADC 2.450)

- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 4, 6, 9, and 12

Attachments: Location Map, Applicant's Submittal



Legend

-  Subject Property
-  Significant
-  Insignificant
-  NWI - Albany

Location Map: 2435 & 2445 Ferry Street SW



The City of Albany's Infrastructure records, drawings and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

N
▲

0 75 150 300 450 600 Feet

July 6, 2016

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

SITE PLAN
FOR
ATI QUEEN AVENUE FACILITY
LOCATED IN
NW 1/4 SEC. 18, T. 11 S., R. 3 W., W.M.
CITY OF ALBANY, LINN COUNTY, OREGON
JULY 5, 2016

VERTICAL CONTROL:

THE SITE BENCHMARK IS A PK NAIL IN THE DRIVEWAY APRON (ELEVATION = 223.74). THIS BENCHMARK WAS ESTABLISHED USING LINN COUNTY GPS STATION 93035 AN ALUMINUM CAP IN MONUMENT BOX IN QUEEN AVENUE (ELEVATION = 216.368).

SURVEY NOTES:

THE PROPERTY LINES WERE DETERMINED BY COLE SURVEYING. THIS IS NOT A BOUNDARY SURVEY. BOUNDARIES SHOWN ON THIS SURVEY ARE A GRAPHIC REPRESENTATION TO SHOW THE APPROXIMATE LOCATION OF BOUNDARIES TO EXISTING IMPROVEMENTS. EXISTING UTILITIES ARE FROM UTILITY LOCATES PERFORMED BY THE VARIOUS UTILITY AUTHORITIES.

OWNER / DEVELOPER:

PACIFIC CAST TECHNOLOGIES, INC.
150 QUEEN AVE. SW
ALBANY, OR 97322

SITE ADDRESS:

2445 FERRY ST. SW
ALBANY, OR 97322

TAX LOTS:

TAX LOTS 1102 + 1106
MAP 115-03W-18BA
TAX LOTS 1103 + 1105
MAP 115-03W-07GD

ENGINEER

K&D ENGINEERING, INC.
276 NW HICKORY ST.
ALBANY, OR 97321
541-928-2583

FLOODPLAIN:

PROJECT AREA IS OUTSIDE THE SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FIRM 41043C0526G, DATED SEPTEMBER 29, 2010.

OTHER ZONING DISTRICTS:

PROJECT AREA IS OUTSIDE WILLAMETTE GREENWAY, HISTORIC DISTRICT AND AIRPORT HEIGHT RESTRICTION AREA.

LAND AREA: (GROSS AND NET)

TAX LOT 1102 (115-03W-18BA):	10.20 ACRES
TAX LOT 1106 (115-03W-18BA):	2.64 ACRES
TAX LOT 1103 (115-03W-07GD):	4.58 ACRES
TAX LOT 1105 (115-03W-07GD):	5.90 ACRES
TOTAL:	28.32 ACRES

IMPERVIOUS AREA: (TAX LOTS 1102 + 1106)

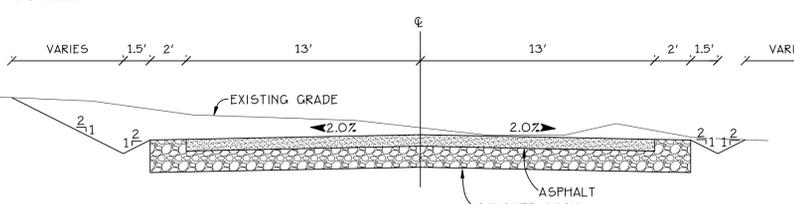
EXISTING:	0.02 ACRES (0.16Z)
PROPOSED NEW AREA:	0.49 ACRES (3.82Z)
PROPOSED REMOVED AREA:	0.02 ACRES (0.16Z)
POST DEVELOPMENT AREA:	0.49 ACRES (3.82Z)

LEGEND:

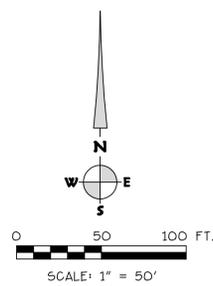
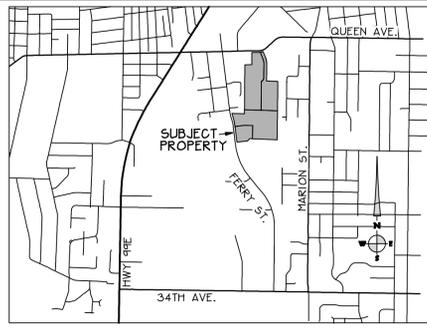
- 8"SS — EXISTING SANITARY SEWER + SIZE
- 8"SD — EXISTING STORM DRAIN + SIZE
- 8"W — EXISTING WATERLINE + SIZE
- — PROPERTY LINE / LOT LINE
- ⊠ — EXISTING CATCH BASIN / CURB INLET
- ⊙ — EXISTING MANHOLE
- ⊞ — VALVE
- ⊞ — WATER METER
- ⊞ — FIRE HYDRANT
- ⊞ — POWER PEDESTAL
- ⊞ — TELEPHONE PEDESTAL
- ⊞ — TV PEDESTAL
- ⊞ — GAS METER / VALVE
- ⊞ — PROPOSED PRIVATE STREET LIGHT
- 225' — PROPOSED GRADE CONTOUR
- 222' — EXISTING MINOR CONTOUR
- 225' — EXISTING MAJOR CONTOUR



TYPICAL ROAD SECTION: NOT TO SCALE



VICINITY MAP: NOT TO SCALE



Date: 7/5/2016 Time: 8:25
Scale: 1"=40'(PS)
File: dwg\2016\16-72\1672-site.dwg (1st)

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DATE	REVISIONS	BY

SITE PLAN NOT FOR CONSTRUCTION

K & D ENGINEERING, INC.

K & D

276 N.W. HICKORY STREET
P.O. BOX 725
ALBANY, OREGON 97321
(541) 928-2583

ATI QUEEN AVENUE FACILITY

CITY OF ALBANY, LINN COUNTY, OREGON

SITE PLAN
FERRY STREET ACCESS ROAD

HORIZ. SCALE: 1" = 50'
VERT. SCALE:
SIGN DATE: 7/5/2016
DESIGN BY: GMB
DRAWN BY: ITM
CHECK BY: GMB
PROJECT No.: 16-72

SHEET No. 1 OF 1