



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Decision

Site Plan Review

SP-02-19

April 23, 2019

Application Information

Proposal:	Construct an 864 sq. ft. accessory structure (i.e. garage) on a vacant lot that does not have a primary dwelling.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Travis North, Planner II
Property Owner/Applicant:	Damon & Lois Struble; 2426 Moraga Ave SE, Albany, OR 97322.
Address/Location	2415 43 rd Place SE, Albany, 97322.
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-20AB; Tax Lot 906
Zoning:	Residential Single Family (RS-6.5)

On April 17, 2019, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Travis North, Project Planner**, at 541-791-0176, or David Martineau, Planning Manager, at 541-917-7561.

The City's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) if a person with standing files a Notice of Intent to Appeal not later than 21 days after the Director's notice of decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City. This approval expires in three years unless the final plat has been submitted to the City's Planning Division for review and approval.

Signature on file

Community Development Director

Appeal Deadline: May 14, 2019

Approval Expiration Date (if not appealed): April 25, 2022

Attachments: Location Map, Site Plan, and Building Elevations.

cd.cityofalbany.net



Conditions of Approval

- Condition 1 Prior to final inspection, the driveway shall be paved at least 20 feet from the property line along 43rd Place SE.
- Condition 2 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal and local laws.

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved site plan review.

Building

Permits

3. Obtain Building Permits prior to any construction.
4. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.


Plan Review for Permits

5. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.

Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

Legend

 Subject Property

41st Pl.

Moraga Ave.

Ermine St.

Evergreen St.

RS-6.5

43rd Pl.

RS-5

RM

Del Rio Ave.

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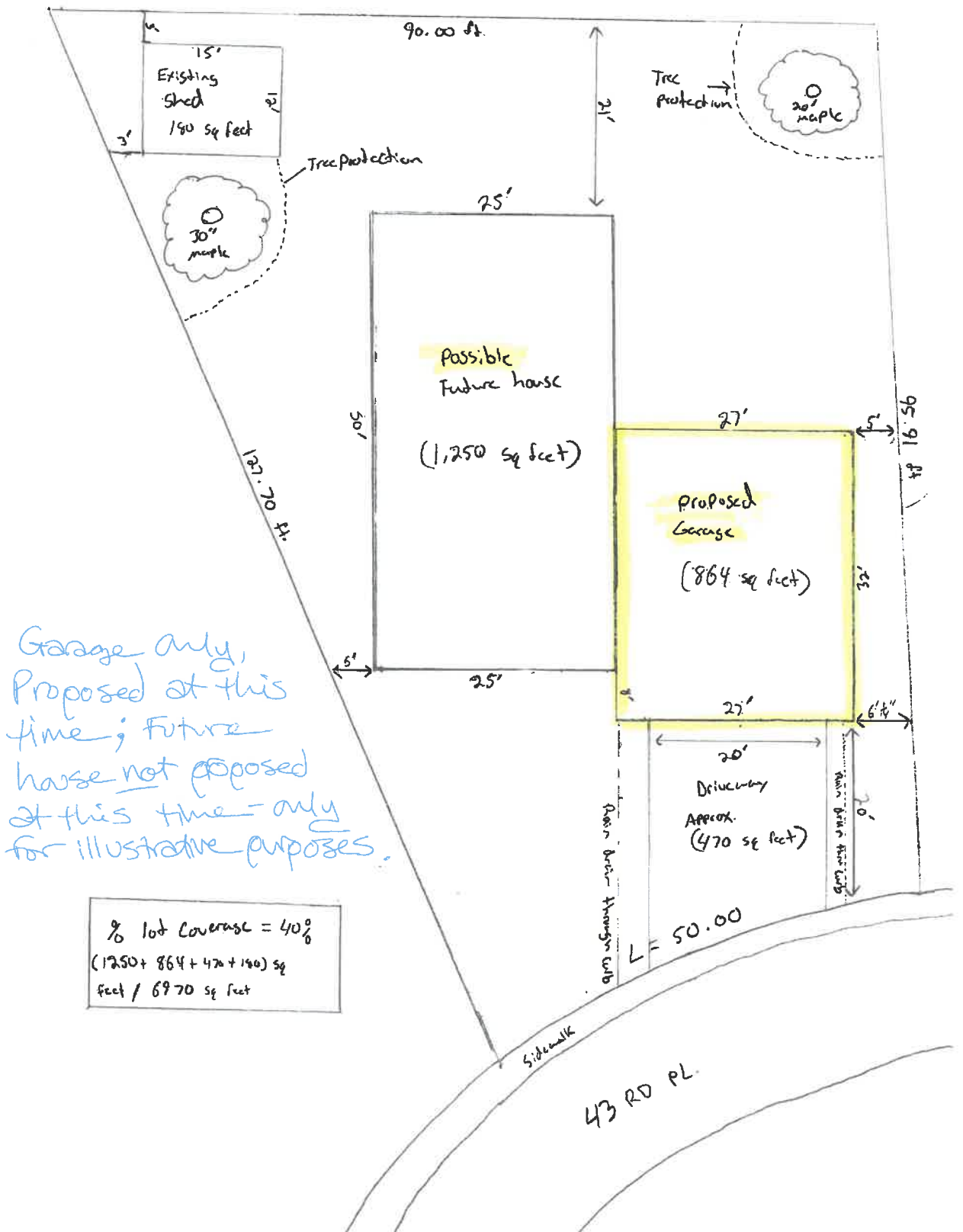
0 50 100
Feet

Date: 2/15/2019 Map Source: City of Albany

2415 43rd Place SE

Location / Zoning Map

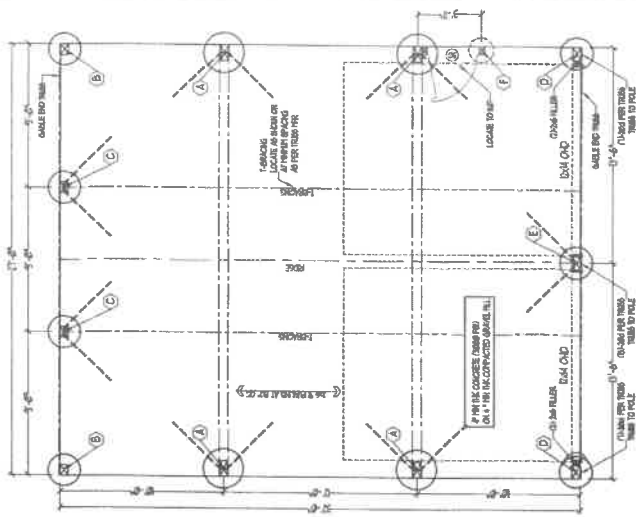
Site Plan
 2415 43rd PL SE
 Albany, OR, 97322.



Garage only,
 Proposed at this
 time; Future
 house not proposed
 at this time - only
 for illustrative purposes.

% lot coverage = 40%
 (1250 + 864 + 470 + 180) sq
 feet / 6970 sq feet

FOR CONSTRUCTION
12/4/18



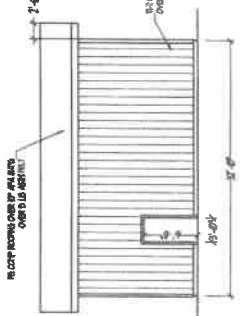
FOUNDATION PLAN
1/4" = 1'-0"

POLE	TYPE	SIZE	QTY	SPACING	PILE DIAMETER	PILE DEPTH	PILE MATERIAL	FOOTING
(A)	TRUSS	6x6-4	4	54"	24"	60'	GRAVEL	12"x18" CONC
(B)	GE CORNER	6x6-9	2	48"	24"	54'	GRAVEL	12"x18" CONC
(C)	CABLE END	6x6-9	2	48"	24"	54'	GRAVEL	12"x18" CONC
(D)	GE CORNER	6x6-9	2	48"	24"	54'	GRAVEL	12"x18" CONC
(E)	CABLE END	6x6-9	2	48"	24"	54'	GRAVEL	12"x18" CONC
(F)	HAND DOOR	4x6-2	1	36"	18"	36"	GRAVEL	HOPE

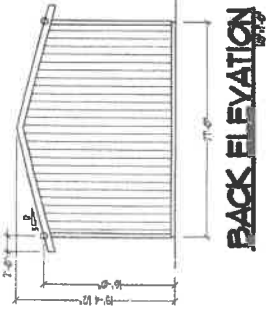
GENERAL NOTES:
 SOIL LOAD IS 5 PSF
 DEAD LOAD IS 1 TYP FOR METAL ROOF CHECK IFA
 LIVE LOAD IS 1 TYP FOR CORRUGATED OVER 17' APA
 WIND LOAD IS 1 TYP FOR CORRUGATED OVER 17' APA
 WIND LOAD IS 1 TYP FOR CORRUGATED OVER 17' APA
 ALLOWED SOIL BEARING CAPACITY IS 5000 PSF
 LUMBER - POLES - 12x18-18
 ALL LUMBER ROUGH
 TREATED TO 60 RET
 STRUCTURAL FRAMING IS 5% JF-1
 NAILS ARE 180 GALV. CONC
 CONCRETE IS 3000 PSI
 GRAVEL - 3/4" MIN. CRUSHED STONE



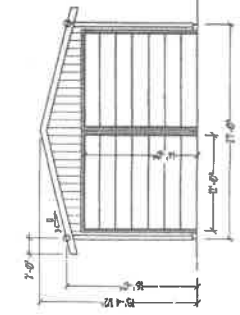
LEFT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

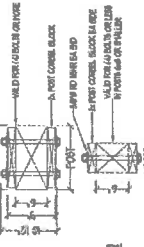


BACK ELEVATION
1/4" = 1'-0"

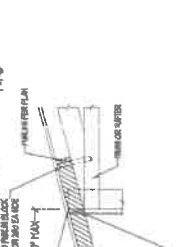


FRONT ELEVATION
1/4" = 1'-0"

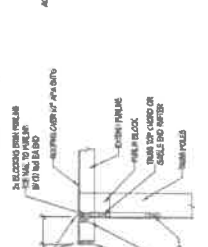
CONCRETE BLOCK WALL SPACING:
 END DISTANCE = 2' 0"
 VERT. DIST. TO CR. = 6"
 HORIZ. DIST. TO CR. = 2'



**5/8\"/>
 SCALE 1/4" = 1'-0"**



DETAIL
SCALE 1/4" = 1'-0"

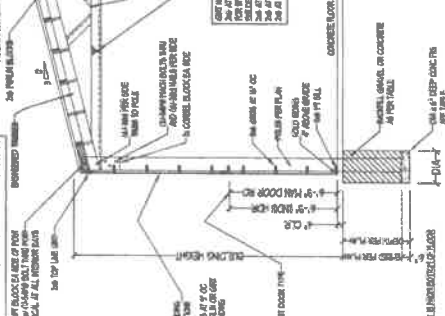


DETAIL
SCALE 1/4" = 1'-0"

HAIRPIN DETAIL
SCALE 1/4" = 1'-0"



TYPICAL SECTION
SCALE 1/4" = 1'-0"



COMMERCIAL GIRTS
SCALE 1/4" = 1'-0"



HAIRPIN DETAIL
SCALE 1/4" = 1'-0"



TYPICAL SECTION
SCALE 1/4" = 1'-0"



COMMERCIAL GIRTS
SCALE 1/4" = 1'-0"

