



## COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

# Notice of Decision

## Site Plan Review

SP-03-23

March 28, 2023

### Application Information

Proposal:	To construct a new 1,120 square-foot residential accessory building
Review Body:	Staff (Type I-L review)
Report Prepared By:	Jennifer Cepello, Planner III
Property Owner/Applicant:	Simon Dodd; 1022 Morse Avenue SW, Albany, OR 97321
Address/Location:	1022 Morse Avenue SW, Albany, OR 97321
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-25AA; Tax Lot 2700
Zoning:	Residential Single-Family (RS-6.5)

On March 24, 2023, the City of Albany Community Development Director granted **Approval** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC). The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Jennifer Cepello**, project planner, at 541-917-7561 or Current Planning Manager David Martineau at 541-917-7555.

The City's decision may be appealed to the Albany Planning Commission if a person with standing files a completed notice of intent to appeal and the associated filing fee no later than 10 days from the date the City mails the notice of decision [ADC 1.220(7)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless 1) the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the City, or 2) the applicant has provided financial assurance for all required public infrastructure per ADC Section 12.600, or 3) the development did not require public infrastructure, a valid building permit exists for new construction or improvements, and work has commenced.

*Signature on file*

Community Development Director

**Appeal Deadline: April 5, 2023**

**Approval Expiration Date (if not appealed): March 28, 2026**

Attachments: Location Map, Site Plan, Elevations

[cd.cityofalbany.net](http://cd.cityofalbany.net)



## Conditions of Approval

Condition 1 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

## Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations or administrative policies of the planning, engineering, fire, or building departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

### Planning

1. Land use approval does not constitute building or public works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.

### Building

#### Permits

3. Obtain building permits prior to any construction.
4. An Erosion Prevention and Sediment Control Permit is required to be obtained from public works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.

#### Plan Review for Permits

5. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at [cd.customerservice@cityofalbany.net](mailto:cd.customerservice@cityofalbany.net) for details and instructions prior to submittal.

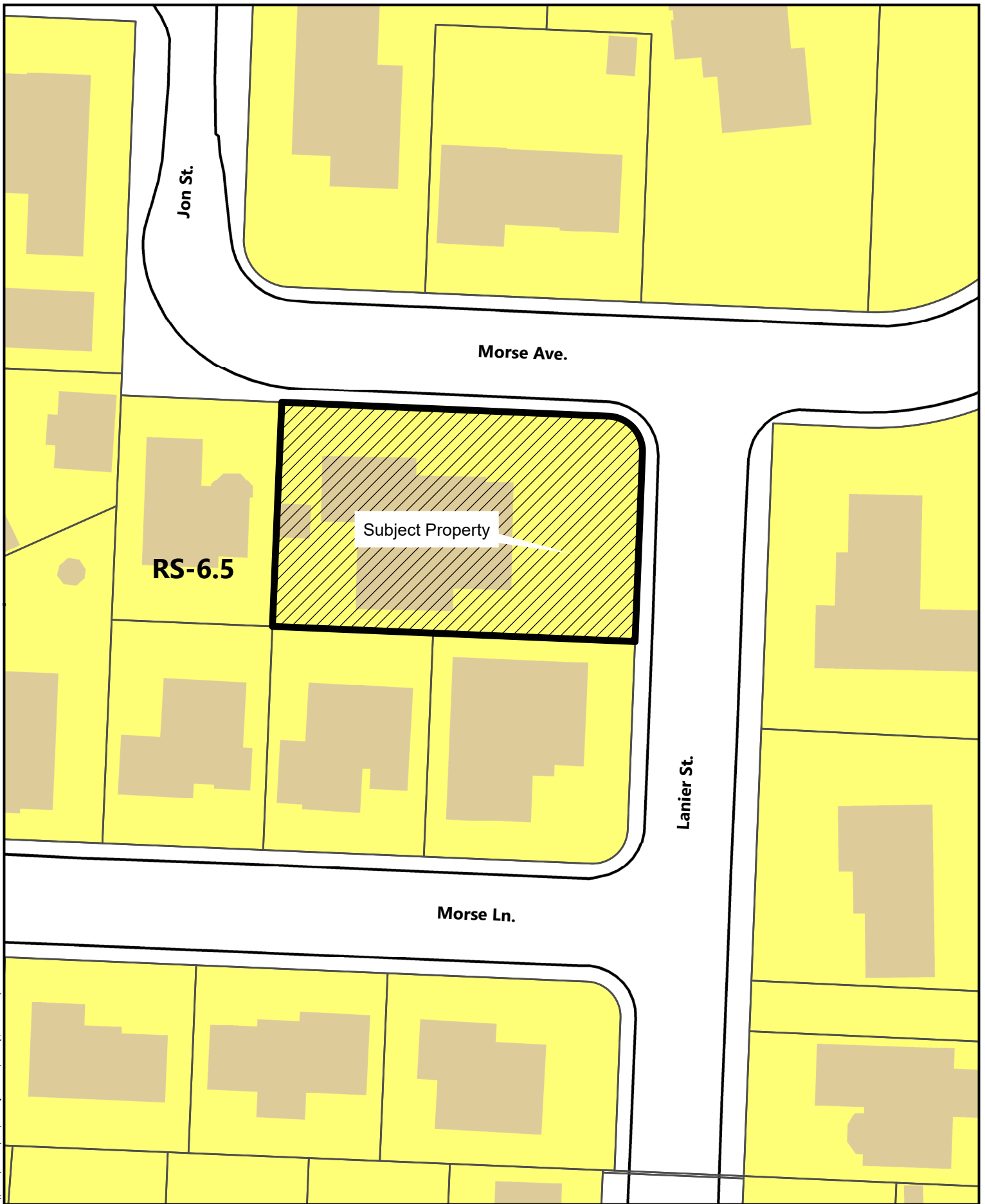
### Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030).

### Fire

The fire department has reviewed the above project for conformance to the 2019 Oregon Fire Code and has no comments.



**RS-6.5**

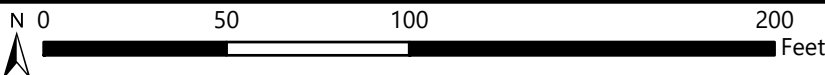
Subject Property

Jon St.

Morse Ave.

Lanier St.

Morse Ln.



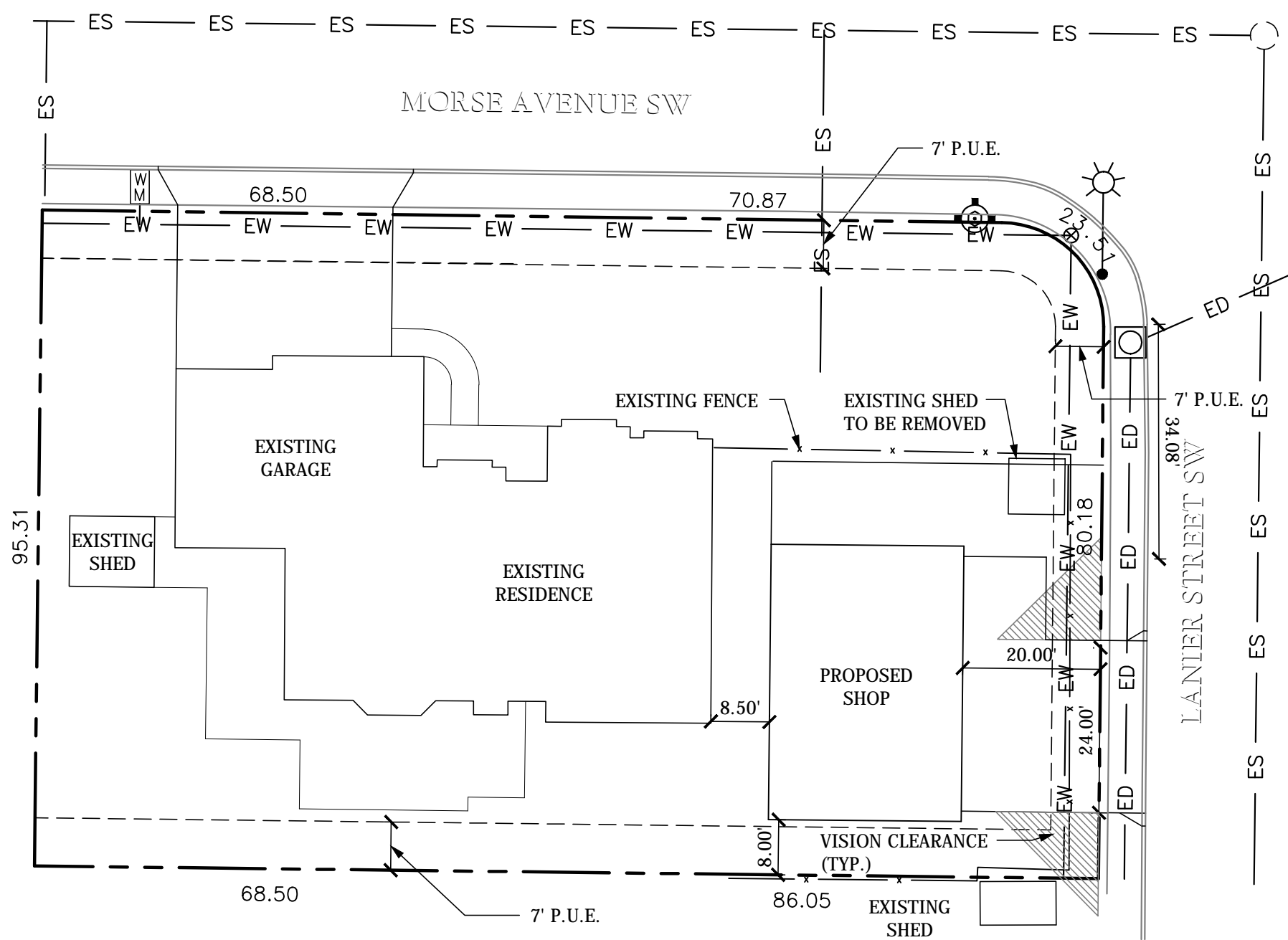
**1022 Morse Ave**



Date: 2/17/2023 Map Source: City of Albany

Location Map

\\con.cityofalbany.net\homes\jenifac\Desktop\Location Map.mxd



**GENERAL NOTES:**

STREETS SHALL BE KEPT SWEEPED AND NOT FLUSHED UNLESS FLUSHING CAN BE ACCOMPLISHED WITHOUT CAUSING RUN-OFF TO ENTER AND / OR IMPACT PUBLIC STORM DRAIN SYSTEMS, INCLUDING DRAINAGE WAYS.

CONTRACTOR TO VERIFY LOCATION AND INTEGRITY OF EXISTING UTILITIES PRIOR TO CONNECTION.

**EXCAVATORS:**

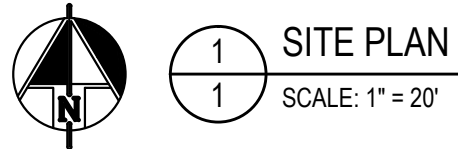
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER (ADMINISTRATIVE) FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

**LEGEND:**

— ES —	SANITARY SEWER (EX.)
— EW —	WATER (EX.)
— ED —	STORM DRAIN (EX.)
⊠	WATER METER (EX.)
⊙	FIRE HYDRANT (EX.)
⊠	CURB INLET (EX.)
⊗	WATER VALVE (EX.)

**LOT COVERAGE**

COVERAGE SUMMARY	PROPOSED % LOT	EXISTING AREA	PROPOSED AREA
EXISTING LOT AREA	100%	14682	NO CHANGE
COVERAGE SUMMARY	% LOT	AREA	AREA
EXISTING BUILDING FOOTPRINT	21.1%	3096	NO CHANGE
OUT BUILDING FOOTPRINTS	0.8%	193	127
ACCESSORY BUILDING FOOTPRINT	7.6%	-	1120
DRIVEWAY	14.6%	684	2143
PORCHES / PATIOS	6.9%	1016	NO CHANGE
INTERNAL SIDEWALKS	0.6%	82	NO CHANGE
OPEN SPACE	48.4%	9580	7098
ADJUSTED LOT AREA	100%	14682	14682
GREEN AREA SUMMARY	% LOT	AREA	AREA
INTERNAL SIDEWALKS	0.6%	82	NO CHANGE
OPEN SPACE	48.4%	9580	7098
TOTAL GREEN AREA	49.0%	9662	7180



CONTRACTOR TO VERIFY FEATURE LOCATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCY.

PROJECT LOCATION:  
Map: 11504W253AA Tax Lot 2700  
1022 Morse Avenue SW  
Linn County  
Albany, Oregon 97321

DRAWING STATUS:  
DRAWINGS WITH A 'PRELIMINARY' STATUS ARE NOT TO BE USED FOR CONSTRUCTION  
DESIGN OF THIS STRUCTURE IS INTENDED TO COMPLY WITH THE CURRENT OREGON RESIDENTIAL SPECIFICITY CODE. BUILDER SHALL ENSURE THAT ALL CONSTRUCTION CONFORMS TO THIS AND ANY OTHER ADDITIONAL CODES THAT APPLY.

DRAFTING:  
 Corvallis CAD Services  
**CCS** COMPUTER-AIDED  
 DRAFTING AND DESIGN  
 P.O. Box 2237  
 Corvallis, Oregon 97339  
 Phone: (541) 754-2714  
 email: ccs@proasts.com

PROJECT #:  
 BUILDER:

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 email: \_\_\_\_\_

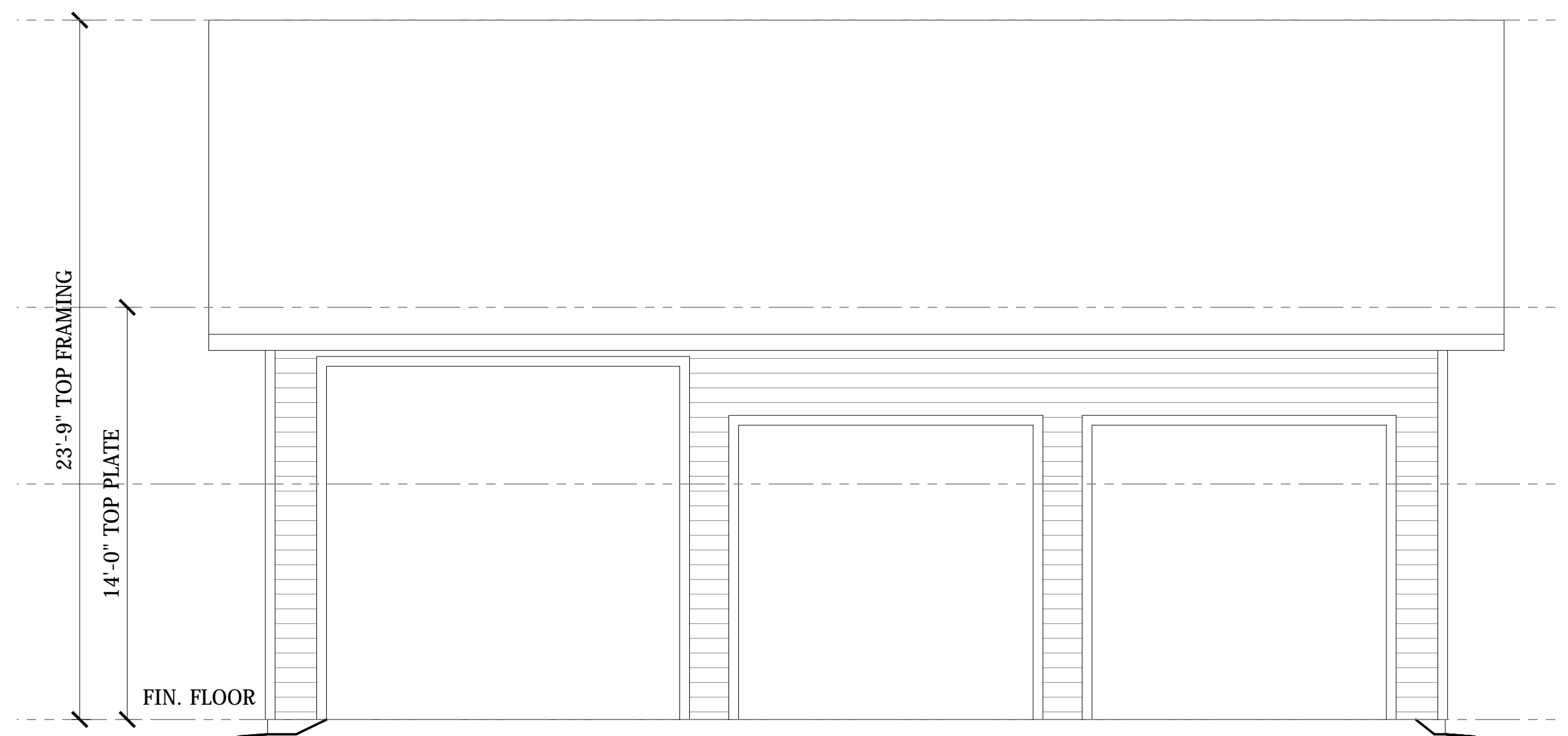
PROJECT: **1022 Morse Avenue SW Shop** SHEET:  
**Elevations**

PROJECT LOCATION:  
 Map 11S04W25AA Tax Lot 2700  
 1022 Morse Avenue SW  
 Linn County  
 Albany, Oregon 97321

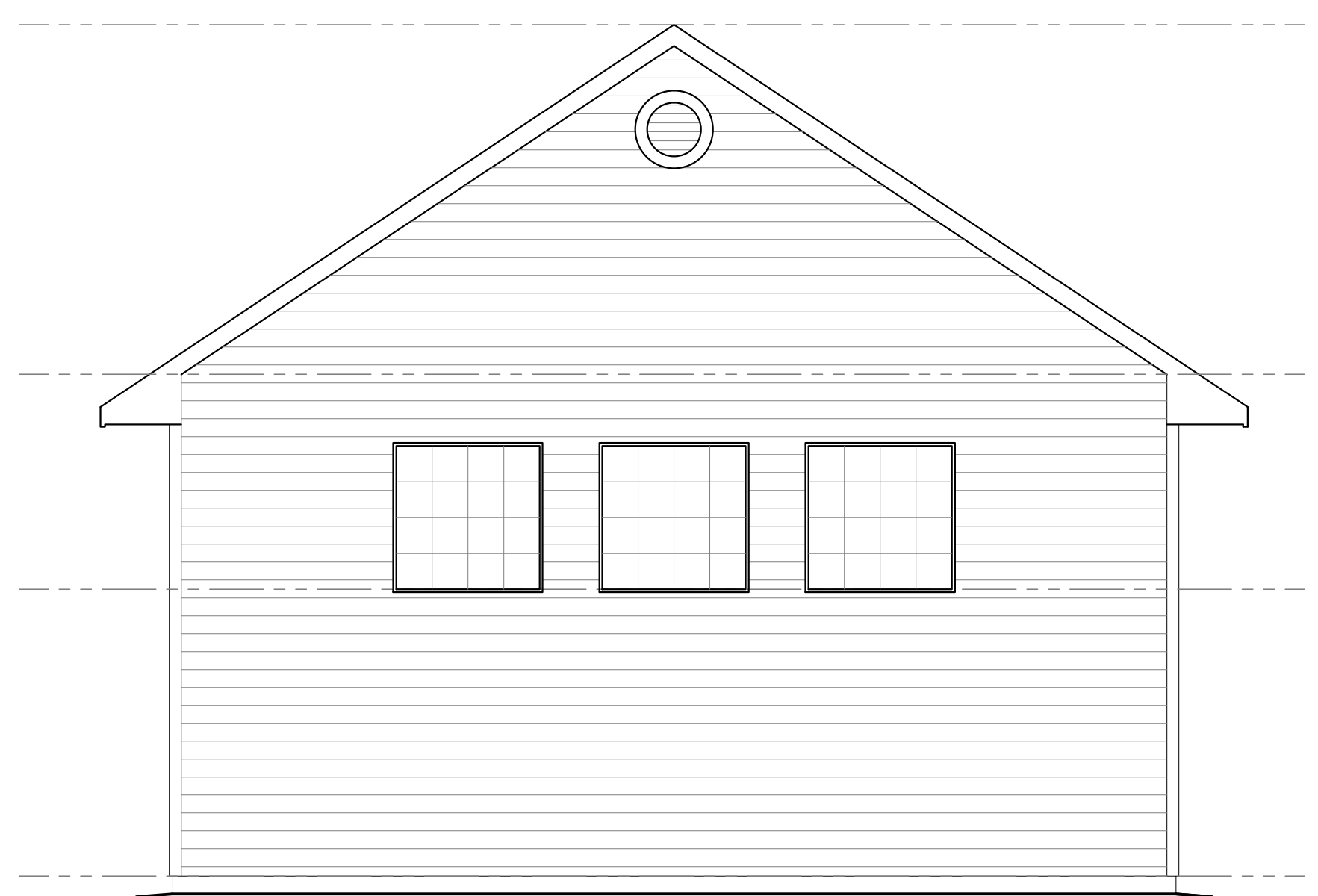
DRAWING STATUS:  
 DRAWINGS WITH A "PRELIMINARY" STATUS  
 ARE NOT TO BE USED FOR CONSTRUCTION

DESIGN OF THIS STRUCTURE IS INTENDED  
 TO COMPLY WITH THE CURRENT OREGON  
 RESIDENTIAL SPECIALTY CODE. BUILDER  
 SHALL ENSURE THAT ALL CONSTRUCTION  
 CONFORMS TO THIS AND ANY OTHER  
 ADDITIONAL CODES THAT APPLY.

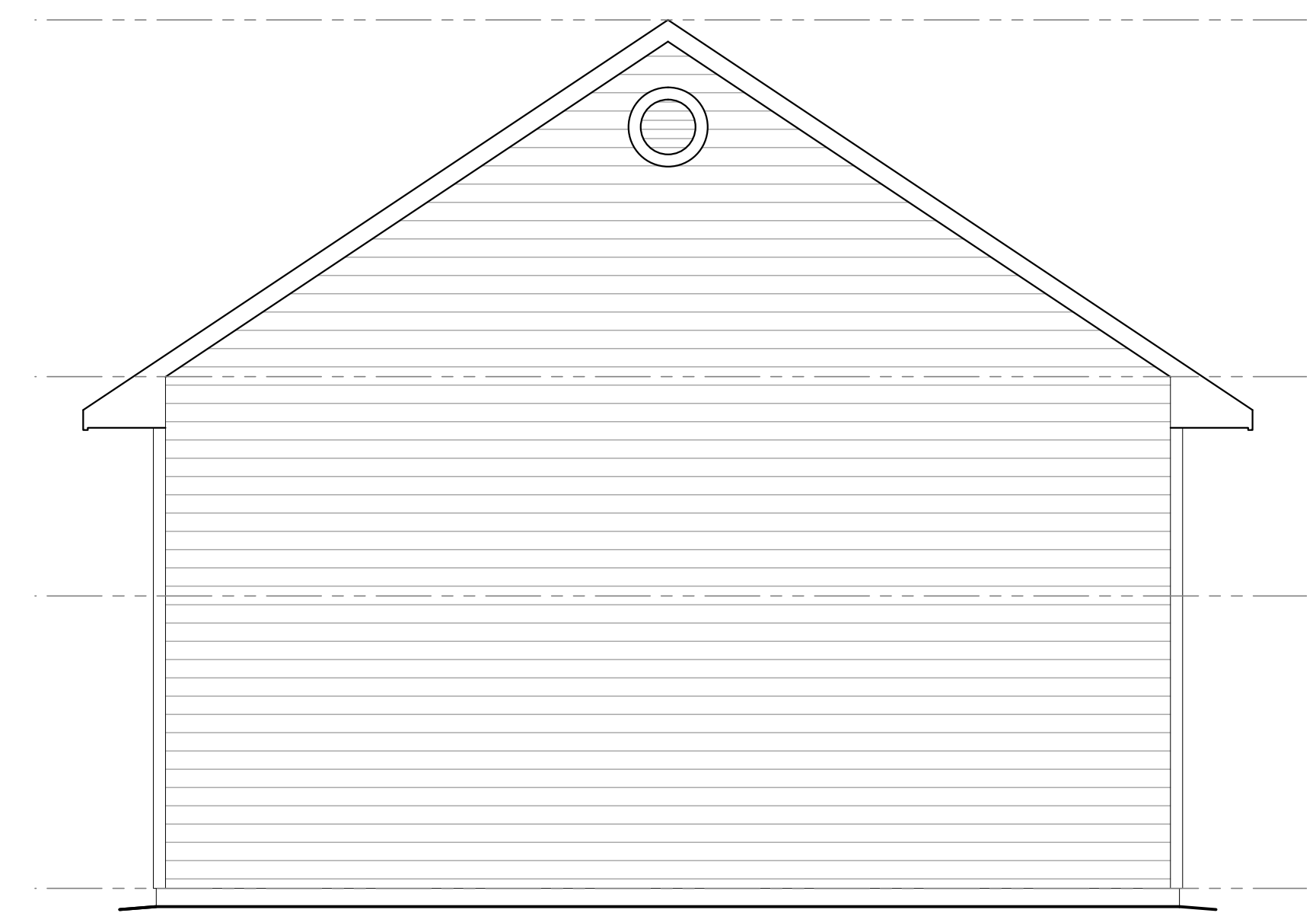
SHEET #  
**1**



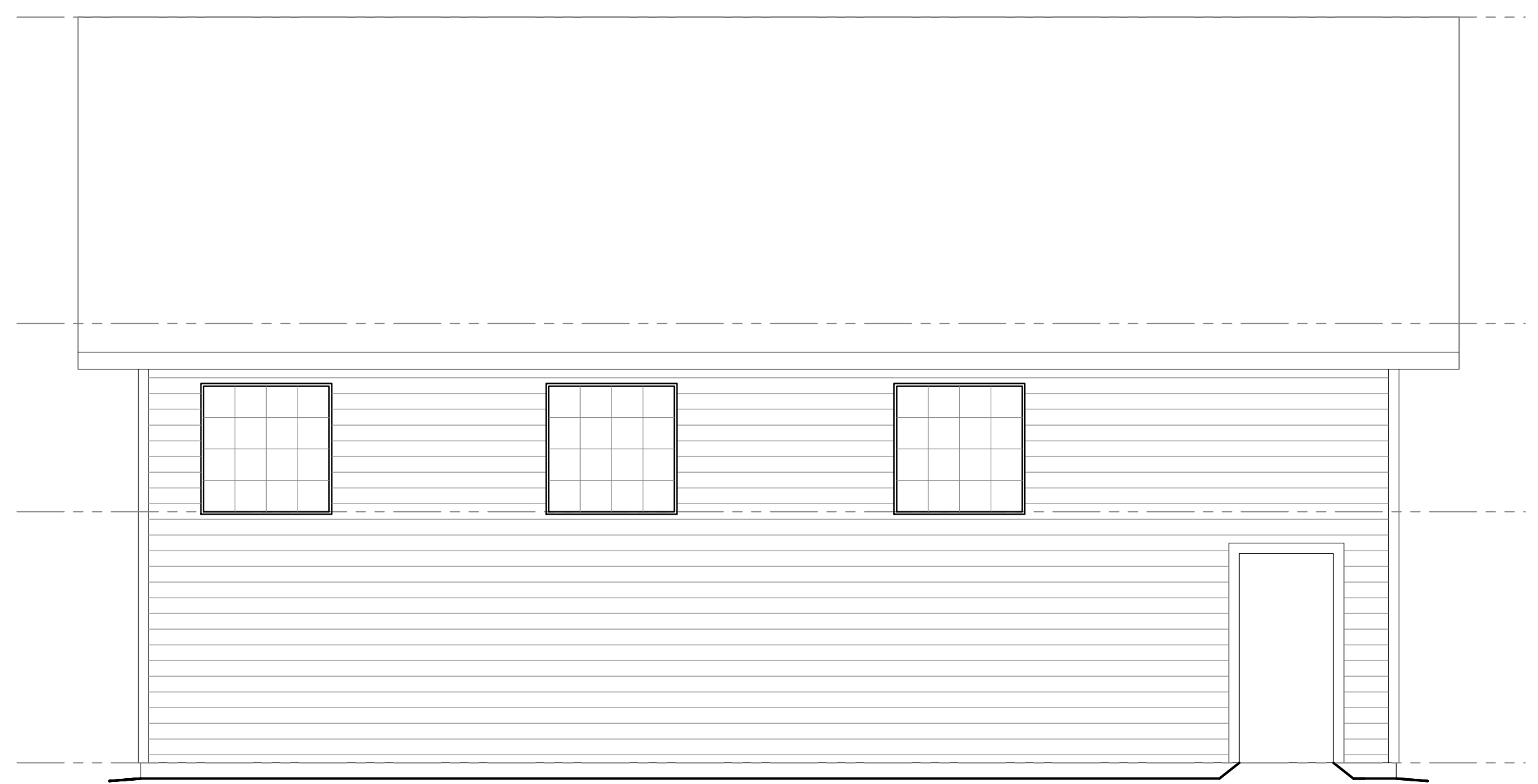
1 FRONT ELEVATION  
 1 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION  
 1 SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION  
 1 SCALE: 1/4" = 1'-0"

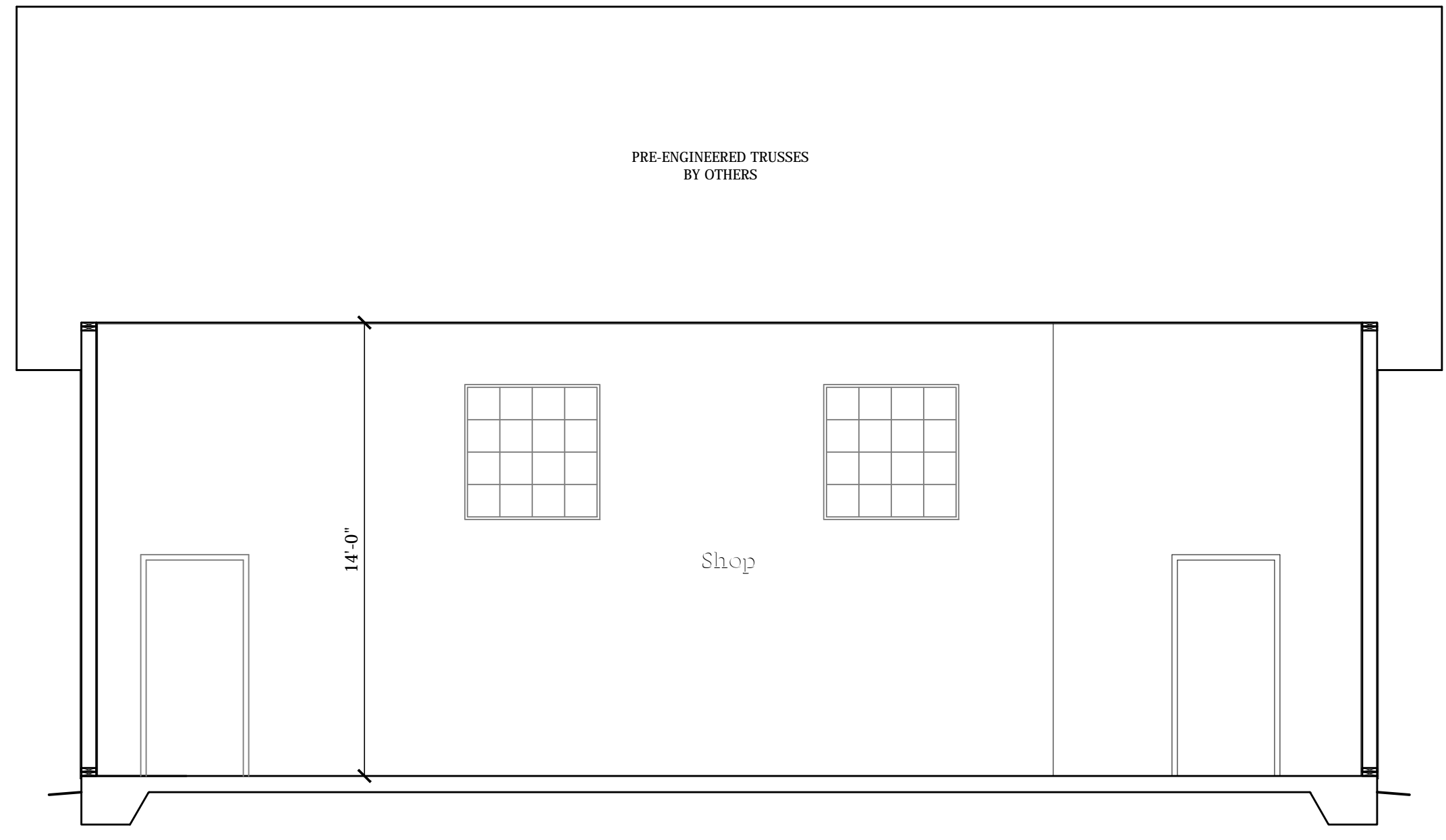


4 REAR ELEVATION  
 1 SCALE: 1/4" = 1'-0"

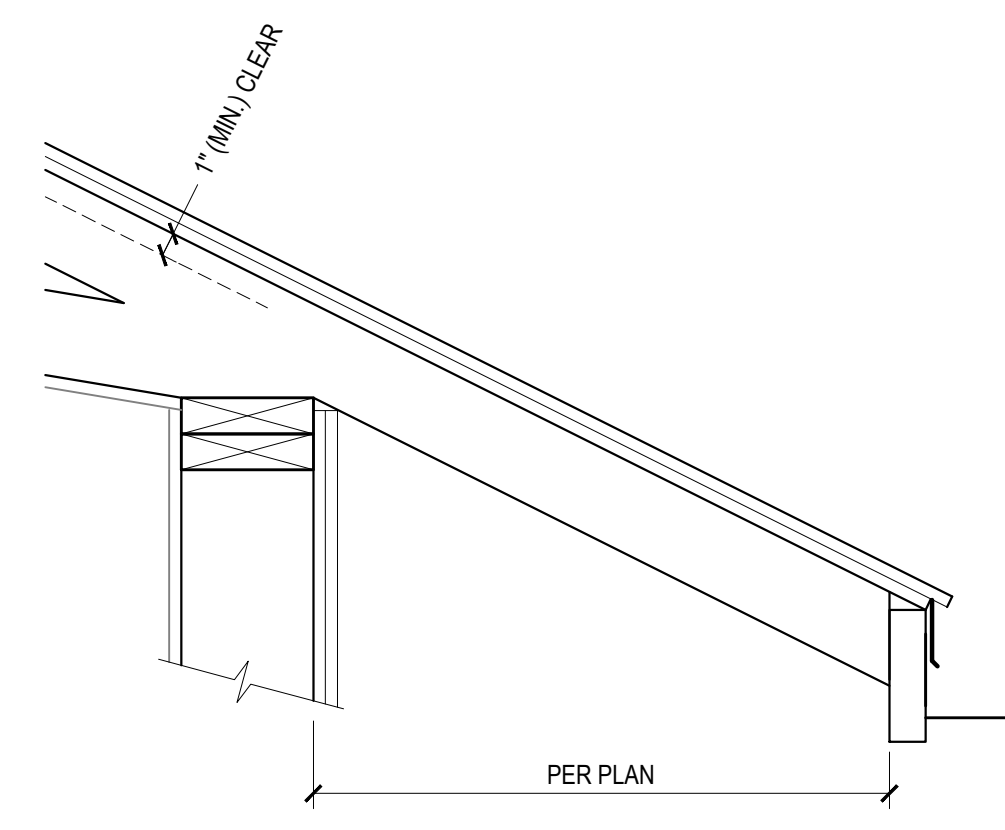


EXTERIOR FINISH:  
COMP. SHINGLES  
UNDERLAYMENT:  
PER MANUF. INSTRUCTIONS  
SHEATHING:  
15/32" MIN. WOOD PANELS  
FRAMING:  
PRE-MANUF. TRUSSES  
@ 24" O.C.

OPTIONAL CLOSED  
SOFFIT



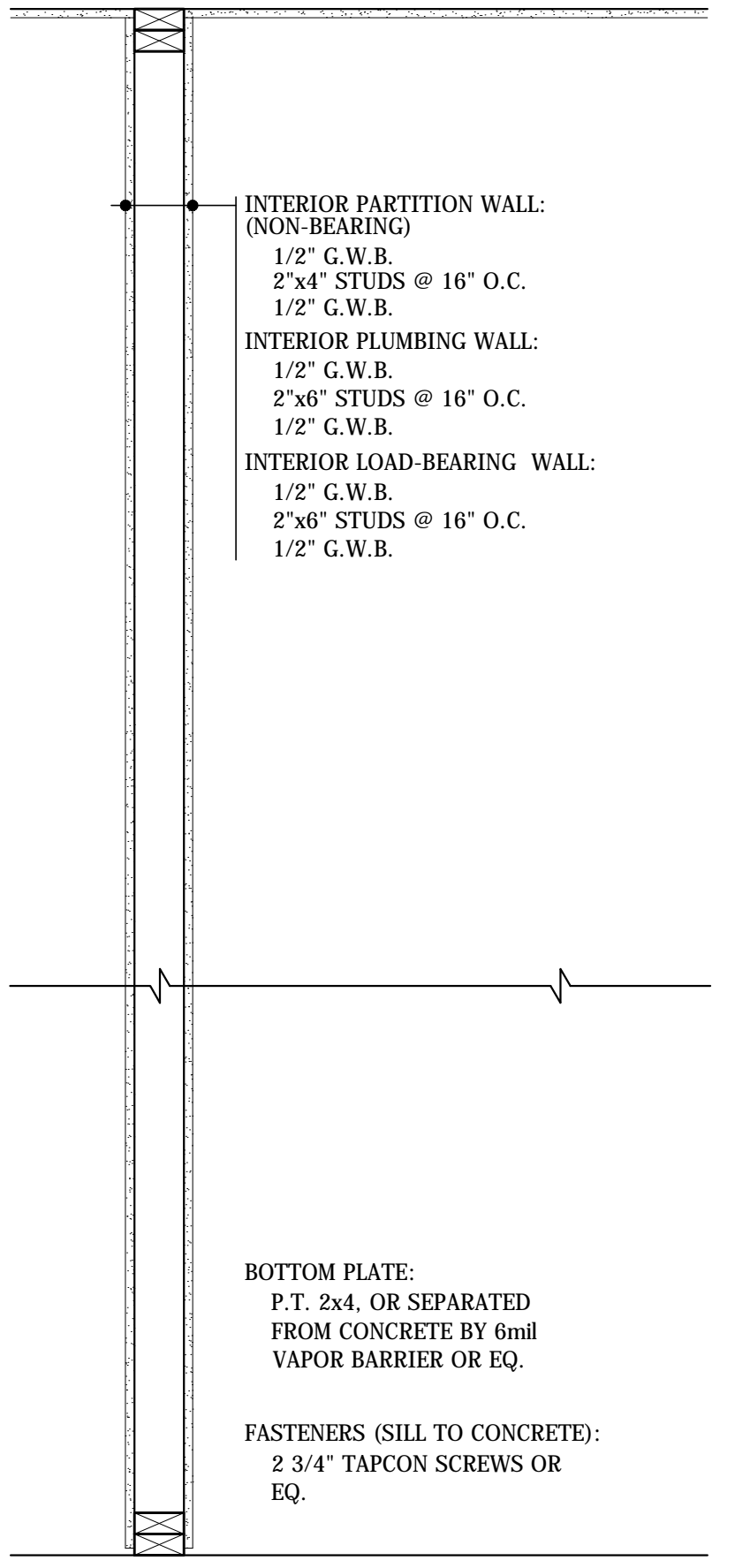
SECTION A-A  
SCALE: 1/4" = 1'-0"



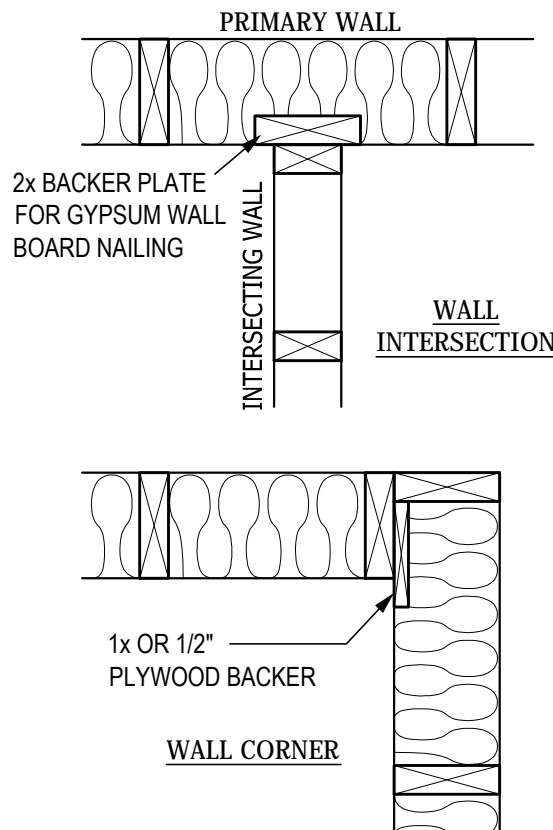
EAVE DETAIL  
SCALE: NONE

**EAVE & VENTING NOTES:**  
VENTING AT EAVES:  
PROVIDE SCREENED VENTING WITH CORROSION RESISTANT WIRE MESH WITH 1/8" (MIN.) TO 1/4" (MAX.) OPENINGS. MAINTAIN 1" (MIN.) CLEAR ABOVE INSULATION FOR AIR FLOW BY PROVIDING A BAFFLE OR OTHER APPROPRIATE MEANS.  
VENTING AT RIDGE:  
PROVIDE 40% (MIN.) TO 50% (MAX.) OF TOTAL REQUIRED ATTIC VENTILATION IN UPPER PORTION OF ROOF LOCATED WITHIN THREE FEET OF THE RIDGE OR HIGH POINT OF THE SPACE. ALTERNATIVELY, INSTALL CLASS I OR II VAPOR BARRIER ON WARM-IN-WINTER SIDE OF THE CEILING.  
TRUSS TIES:  
TRUSS TIES PER TRUSS MANUFACTURER UNLESS NOTED OTHERWISE.  
FLASHING:  
LAP UNDERLAYMENT OVER END OF METAL EAVE FLASHING. LAP METAL EAVE FLASHING OVER GUTTER AND FASCIA.  
BLOCKING:  
PROVIDE 2x BLOCKING BETWEEN TRUSSES OVER ALL SUPPORTS.

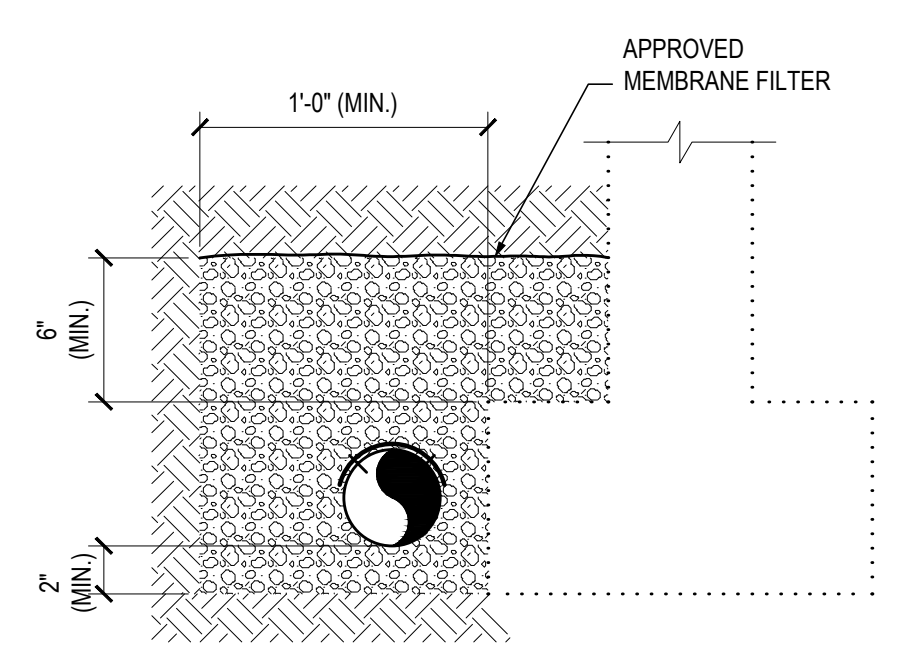
EXTERIOR FINISH:  
LAP SIDING  
HOUSE WRAP:  
SELF-DRAINING  
SHEATHING:  
7/16" MIN. WOOD STRUCTURAL PANELS  
FRAMING:  
2"x8" STUDS @ 16" O.C.



TYPICAL INTERIOR WALL DETAIL  
SCALE: 1/2" = 1'-0"

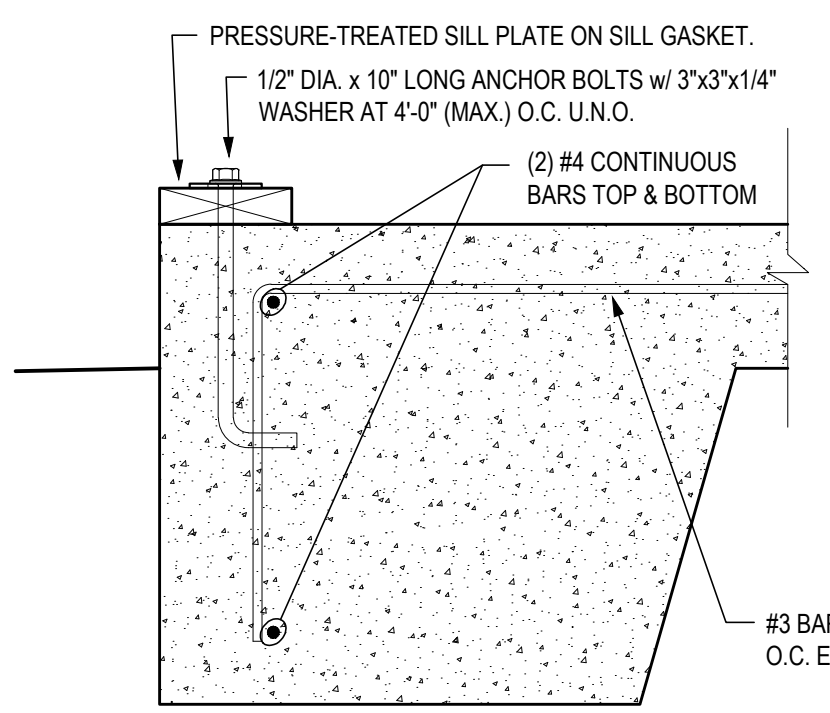


INTERMEDIATE FRAMING DETAILS  
SCALE: 1 1/2" = 1'-0"



FOUNDATION DRAINAGE  
SCALE: 1 1/2" = 1'-0"

**DRAINAGE NOTES:**  
FOUNDATION PERIMETER:  
PROVIDE 4" DIAMETER PERFORATED PIPE AROUND FOUNDATION PERIMETER COVER WITH 6" (MIN.) OF 3/4" (MIN.) ROUND ROCK. EXTEND 3/4" ROUND ROCK TO 6" (MIN.) ABOVE FOOTING AND 12" (MIN.) OUTSIDE OF FOOTING.  
CRAWL SPACE LOW POINT:  
PROVIDE CRAWL SPACE LOW POINT DRAIN WITH BACKWATER VALVE AND STRAINER DEVICE.  
ROOF DRAINS:  
PROVIDE SEPARATE SOLID DRAIN FOR ROOF DRAIN DISCHARGE.  
LOCATION:  
INSTALL ALL DRAINS AT OR BELOW THE AREA TO BE DRAINED.  
DISCHARGING:  
DISCHARGE ALL DRAINS TO APPROVED LOCATION. PROVIDE MECHANICAL DISCHARGE SYSTEM WHERE NECESSARY.  
FINISHED GRADE:  
SLOPE FINISHED GRADE TO FALL AWAY FROM BUILDING 6" (MIN.) IN THE FIRST 10'-0" UNLESS OTHERWISE APPROVED.  
SLOPE DRIVEWAYS AND OTHER IMPERVIOUS SURFACES AWAY FROM BUILDING AT A 2% (MIN.) SLOPE.



CONTINUOUS FOOTING AT BUILDING EXTERIOR  
SCALE: NONE

**FOUNDATION NOTES:**  
ASSUMED SOIL BEARING CAPACITY:  
1500 psf (VERIFY)  
SITE:  
CLEAR GROUND OF ALL VEGETATION AND ORGANIC MATERIAL. ALL FOOTINGS TO BEAR ON UNDISTURBED NATURAL SOIL.  
DEPTH:  
FOOTING TO BE 12" (MIN.) BELOW FINISHED GRADE  
FINISHED GRADE AT EXTERIOR:  
6" (MIN.) BELOW UNTREATED WOOD.  
SLOPE FINISHED GRADE TO FALL AWAY FROM BUILDING 6" (MIN.) IN THE FIRST 10'-0" UNLESS OTHERWISE APPROVED.  
SLOPE DRIVEWAYS AND OTHER IMPERVIOUS SURFACES AWAY FROM BUILDING AT A 2% (MIN.) SLOPE. UNLESS OTHERWISE APPROVED.

TYPICAL EXTERIOR WALL DETAIL  
SCALE: 1/2" = 1'-0"

SUBFLOOR:  
6" CONCRETE SLAB - SLOPE TO OVERHEAD GARAGE DOOR OPENING. REINFORCE W/ GRID OF #3 BARS AT 24" CENTERS EACH WAY OR FIBER REINFORCEMENT TO MATCH. PROVIDE CAULKED EXPANSION JOINTS @ 10'-0" O.C. E/W.  
BARRIER:  
CONCRETE RATED VAPOR BARRIER.  
BASE:  
4" (MIN.) AGGREGATE BASE.

BOTTOM PLATE:  
P.T. 2x4, OR SEPARATED FROM CONCRETE BY 6mil VAPOR BARRIER OR EQ.  
FASTENERS (SILL TO CONCRETE):  
2 3/4" TAPCON SCREWS OR EQ.