

COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Notice of Filing

Site Plan Review

SP-03-23

March 6, 2023

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Jennifer Cepello** at 541-917-7561 or jennifer.cepello@cityofalbany.net. The deadline for submission of written comments is 5:00 p.m. on **March 20, 2023**.

Application Information

Proposal:	To construct a new 1,120-square-foot accessory structure.
Review Body:	Staff (Type I-L review)
Property Owner/ Applicant:	Simon Dodd; 1022 Morse Ave SW, Albany, OR 97321
Address/Location:	1022 Morse Avenue SW, Albany, OR 97322
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-25AA; Tax Lot 2700
Zoning:	Residential Single-Family District (RS-6.5)
Overlay Districts:	N/A
Total Land Area:	14,682 square feet
Existing Land Use:	Residential

The City of Albany has received the application for Site Plan Review as referenced above. We are mailing notice of the application to property owners within 100 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **March 20, 2023**, 14 days from the date the City mails the notice of filing.

We have attached a location map, site plan, and elevation drawings. All application materials are available for review in person at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please call **Jennifer Cepello**, project planner, at 541-917-7561. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to jennifer.cepello@cityofalbany.net. Any person submitting written comments will receive a copy of the notice of decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

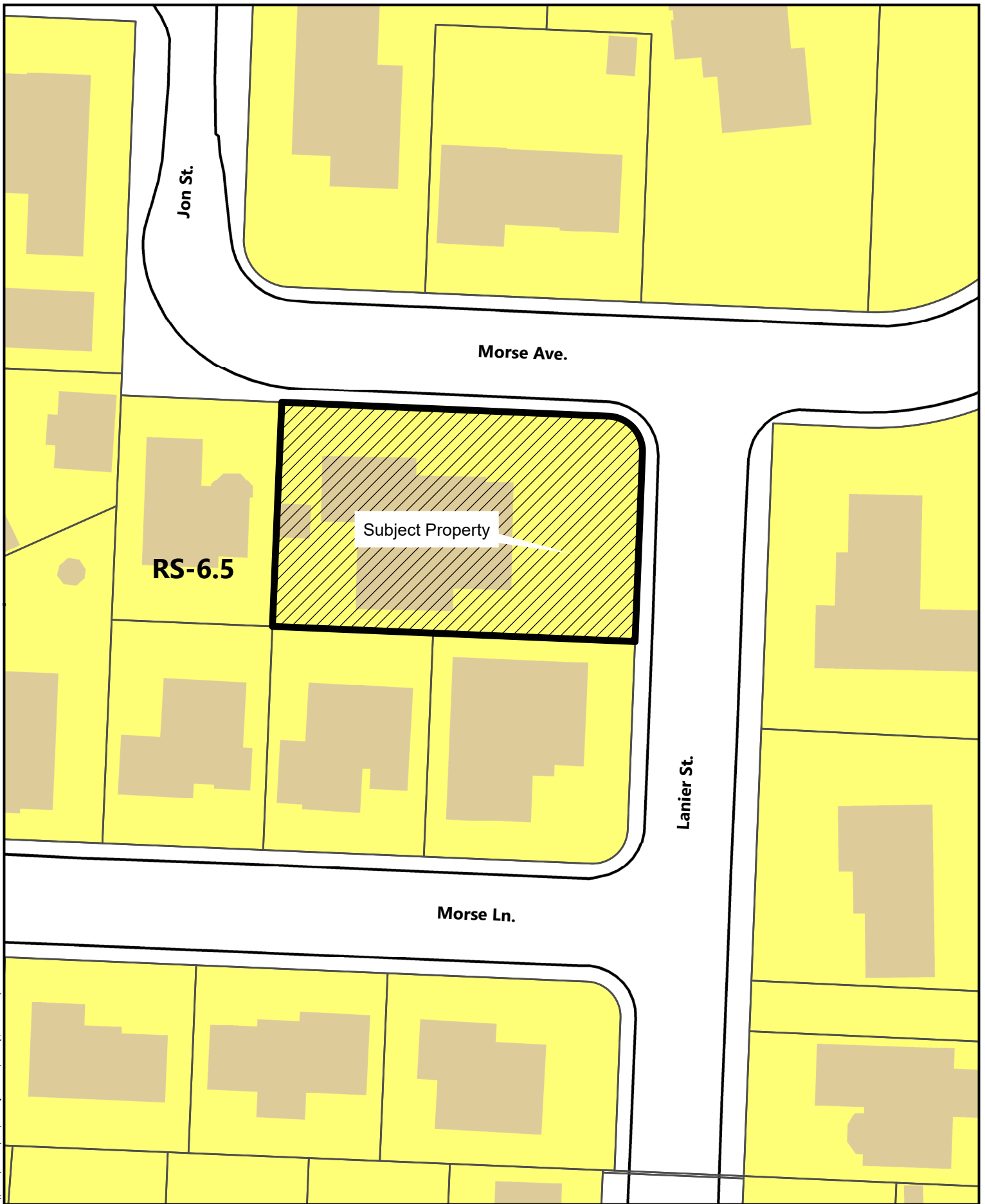
Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Additional review standards for this Site Plan Review application are found in ADC Articles 1, 2, 3, 8, 9, and 12.

Attachments: Location Map, Site Plan, Elevations



Jon St.

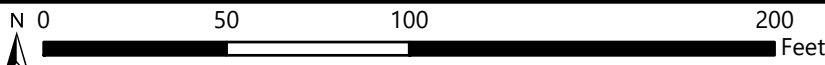
Morse Ave.

RS-6.5

Subject Property

Lanier St.

Morse Ln.



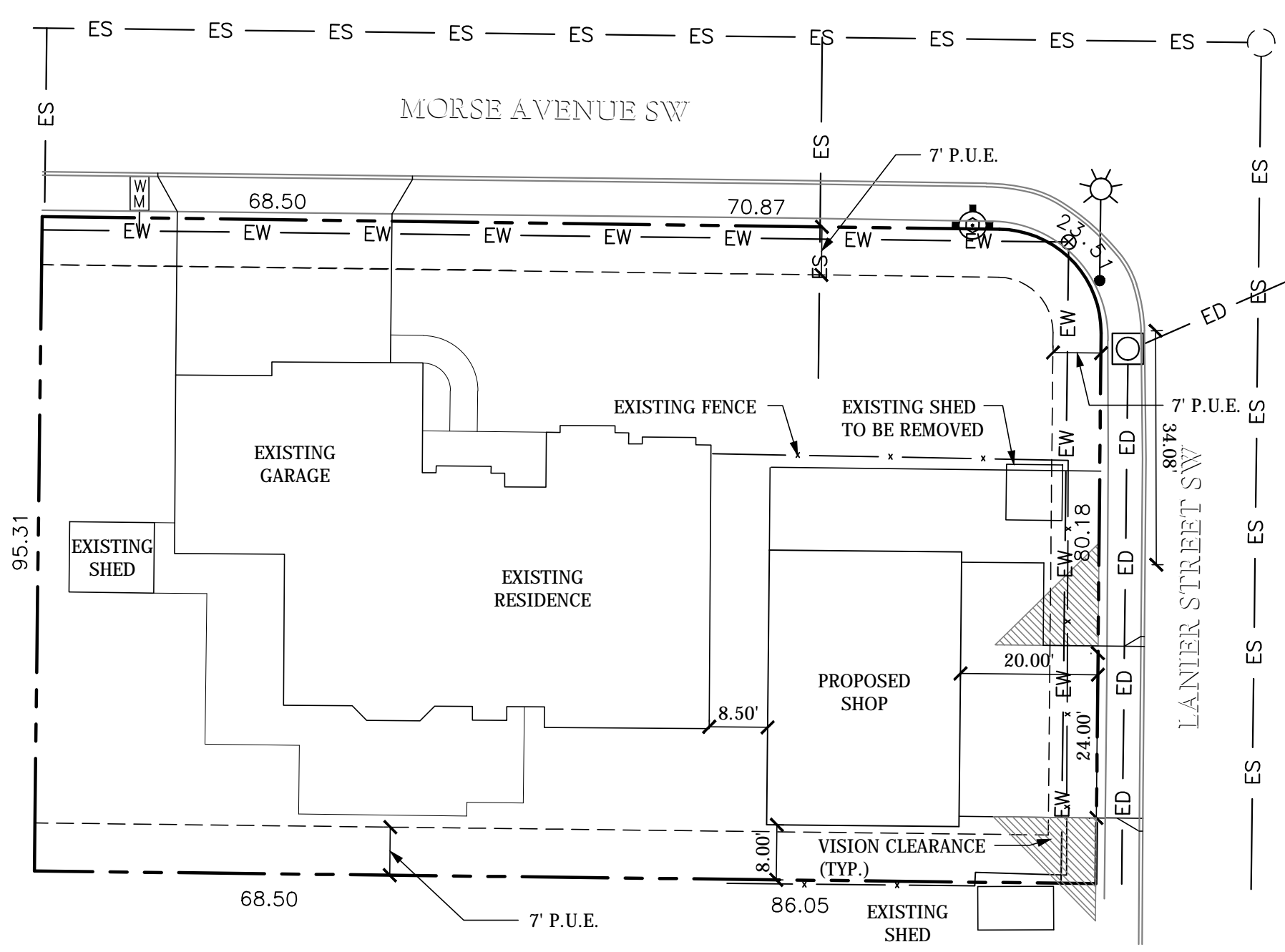
1022 Morse Ave



Date: 2/17/2023 Map Source: City of Albany

Location Map

\\con.cityofalbany.net\homes\jenifac\Desktop\Location Map.mxd



1 SITE PLAN
SCALE: 1" = 20'



CONTRACTOR TO VERIFY FEATURE LOCATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCY.

GENERAL NOTES:

STREETS SHALL BE KEPT SWEEPED AND NOT FLUSHED UNLESS FLUSHING CAN BE ACCOMPLISHED WITHOUT CAUSING RUN-OFF TO ENTER AND / OR IMPACT PUBLIC STORM DRAIN SYSTEMS, INCLUDING DRAINAGE WAYS.

CONTRACTOR TO VERIFY LOCATION AND INTEGRITY OF EXISTING UTILITIES PRIOR TO CONNECTION.

EXCAVATORS:

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER (ADMINISTRATIVE) FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

LEGEND:

— ES —	SANITARY SEWER (EX.)
— EW —	WATER (EX.)
— ED —	STORM DRAIN (EX.)
W/M	WATER METER (EX.)
⊙	FIRE HYDRANT (EX.)
⊠	CURB INLET (EX.)
⊗	WATER VALVE (EX.)

LOT COVERAGE

COVERAGE SUMMARY	PROPOSED % LOT	EXISTING AREA	PROPOSED AREA
EXISTING LOT AREA	100%	14682	NO CHANGE
COVERAGE SUMMARY	% LOT	AREA	AREA
EXISTING BUILDING FOOTPRINT	21.1%	3096	NO CHANGE
OUT BUILDING FOOTPRINTS	0.8%	193	127
ACCESSORY BUILDING FOOTPRINT	7.6%	-	1120
DRIVEWAY	14.6%	684	2143
PORCHES / PATIOS	6.9%	1016	NO CHANGE
INTERNAL SIDEWALKS	0.6%	82	NO CHANGE
OPEN SPACE	48.4%	9580	7098
ADJUSTED LOT AREA	100%	14682	14682
GREEN AREA SUMMARY	% LOT	AREA	AREA
INTERNAL SIDEWALKS	0.6%	82	NO CHANGE
OPEN SPACE	48.4%	9580	7098
TOTAL GREEN AREA	49.0%	9662	7180

DRAFTING:
 Corvallis CAD Services
CCS COMPUTER-AIDED
 DRAFTING AND DESIGN
 P.O. Box 2237
 Corvallis, Oregon 97339
 Phone: (541) 754-2714
 email: ccs@proaxis.com

PROJECT #:
 BUILDER:

Phone: _____ Fax: _____
 email: _____

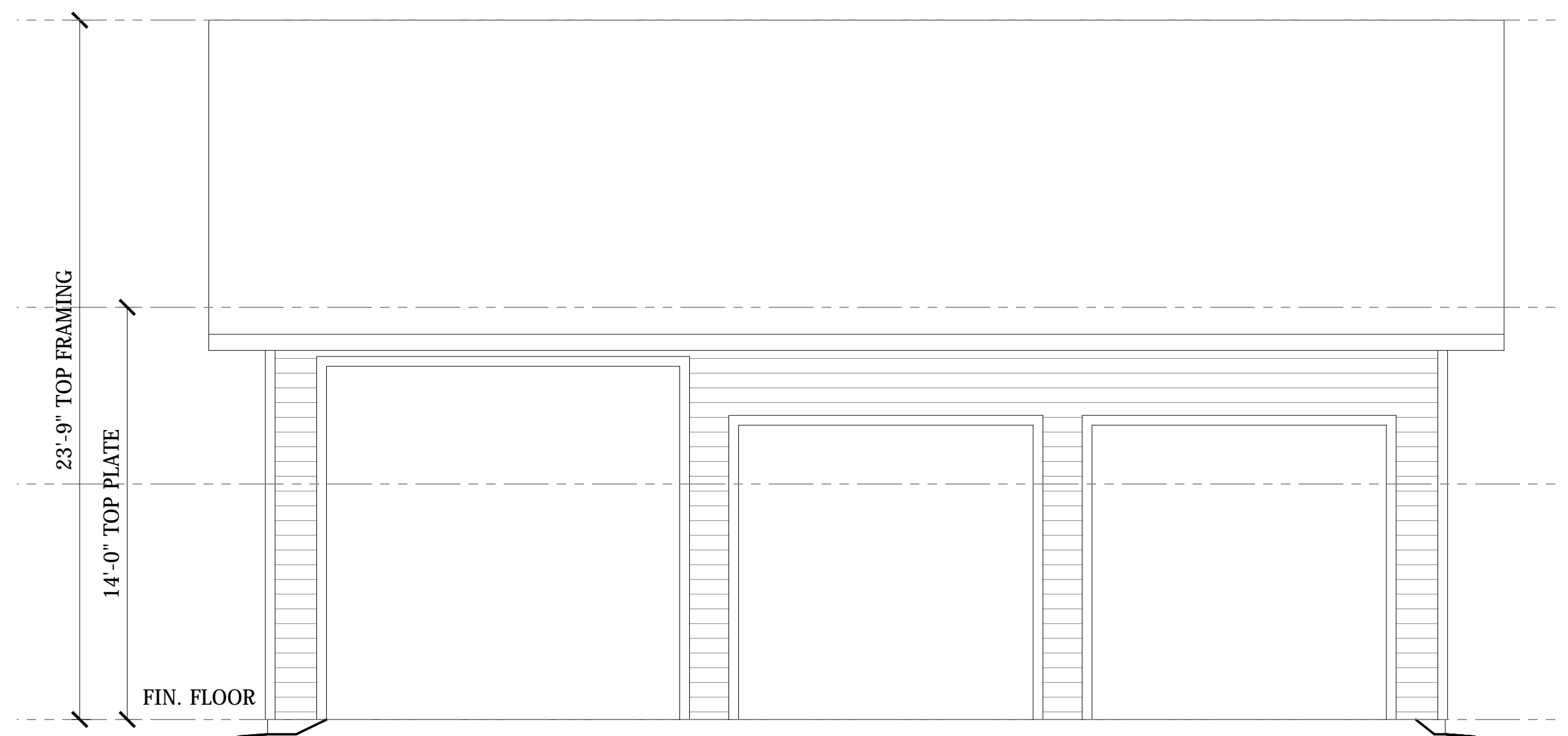
PROJECT: **1022 Morse Avenue SW Shop** SHEET: _____
Elevations

PROJECT LOCATION:
 Map 11S04W25AA Tax Lot 2700
 1022 Morse Avenue SW
 Linn County
 Albany, Oregon 97321

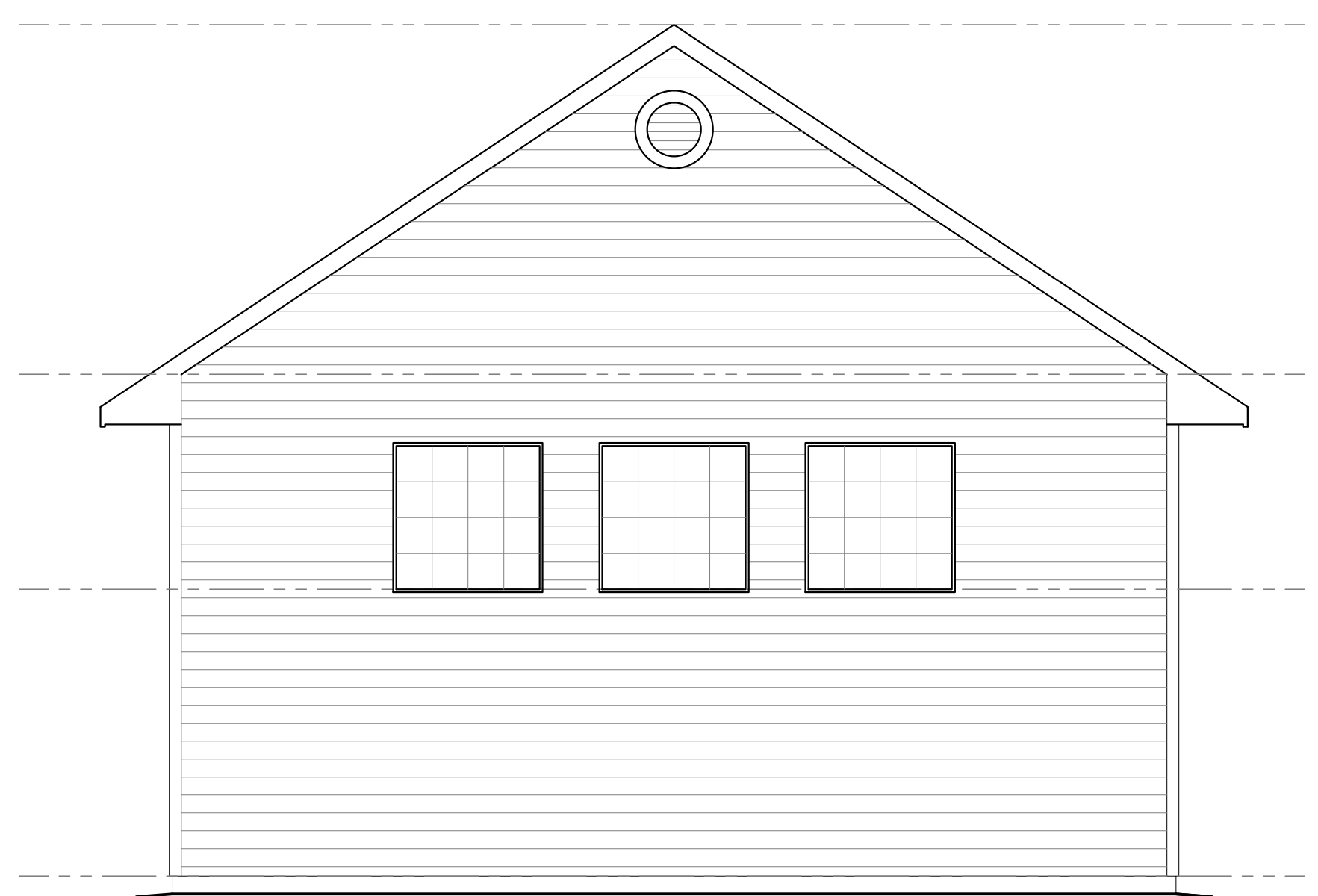
DRAWING STATUS:
 DRAWINGS WITH A "PRELIMINARY" STATUS
 ARE NOT TO BE USED FOR CONSTRUCTION

DESIGN OF THIS STRUCTURE IS INTENDED
 TO COMPLY WITH THE CURRENT OREGON
 RESIDENTIAL SPECIALTY CODE. BUILDER
 SHALL ENSURE THAT ALL CONSTRUCTION
 CONFORMS TO THIS AND ANY OTHER
 ADDITIONAL CODES THAT APPLY.

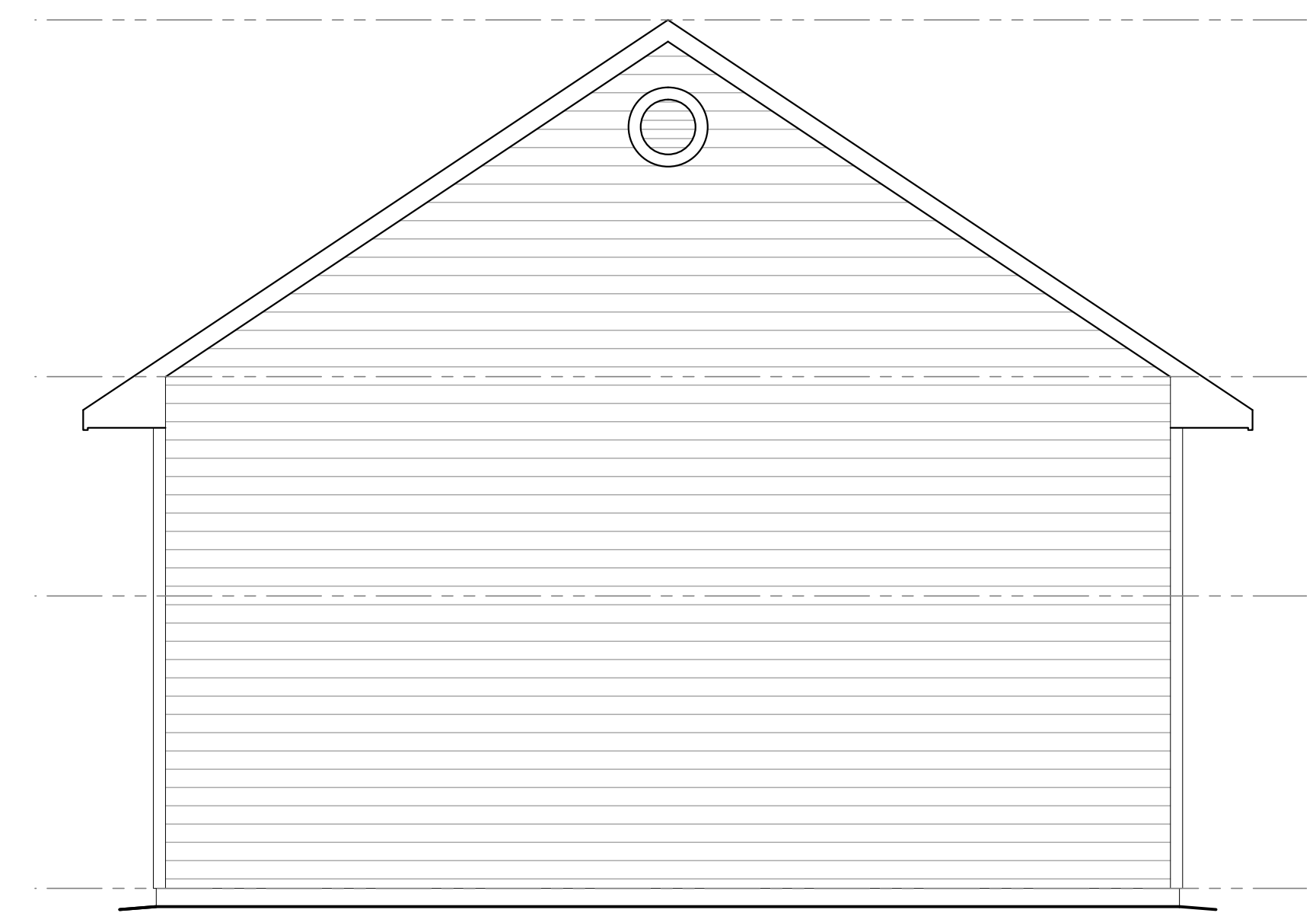
SHEET #
1



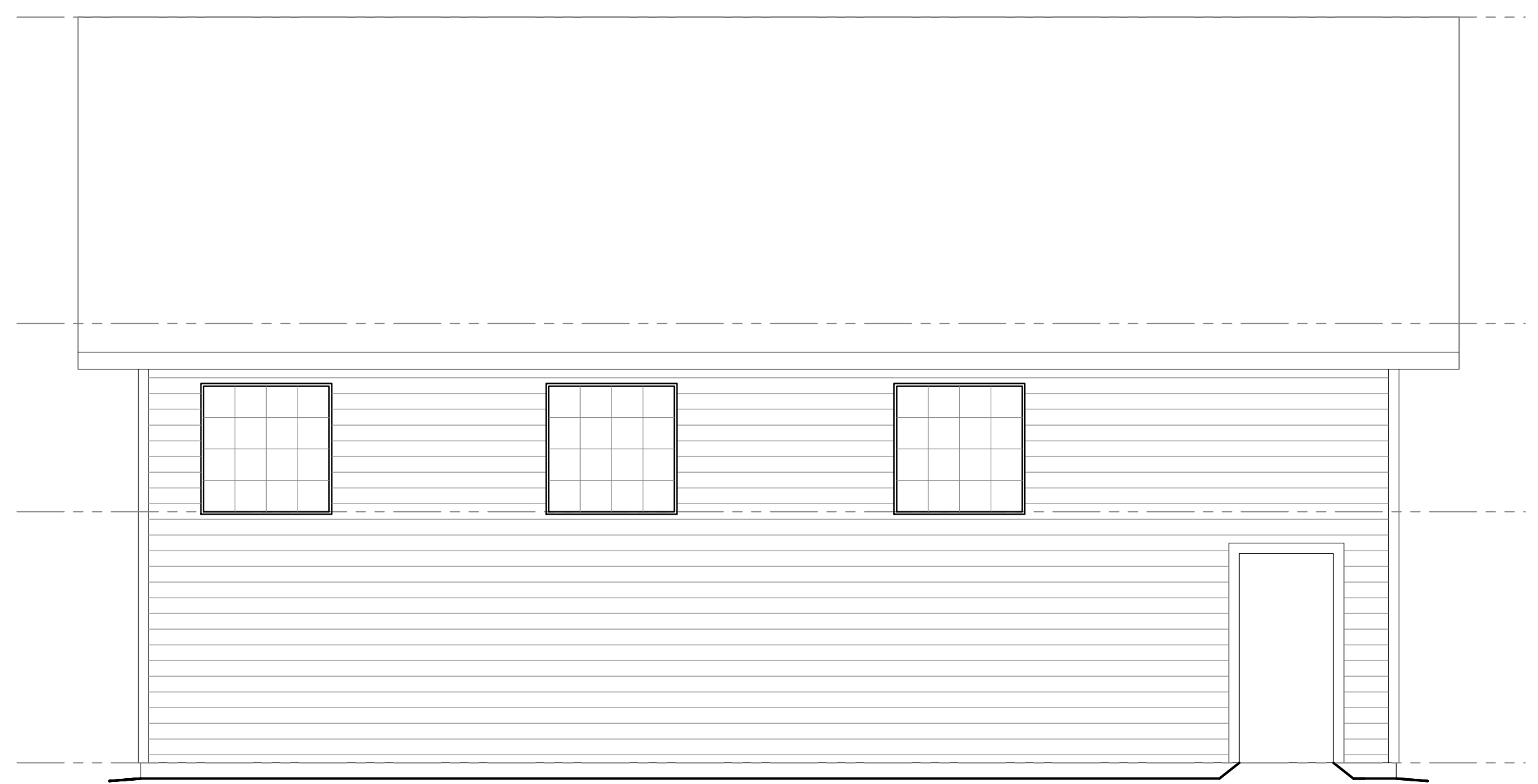
1 FRONT ELEVATION
 1 SCALE: 1/4" = 1'-0"



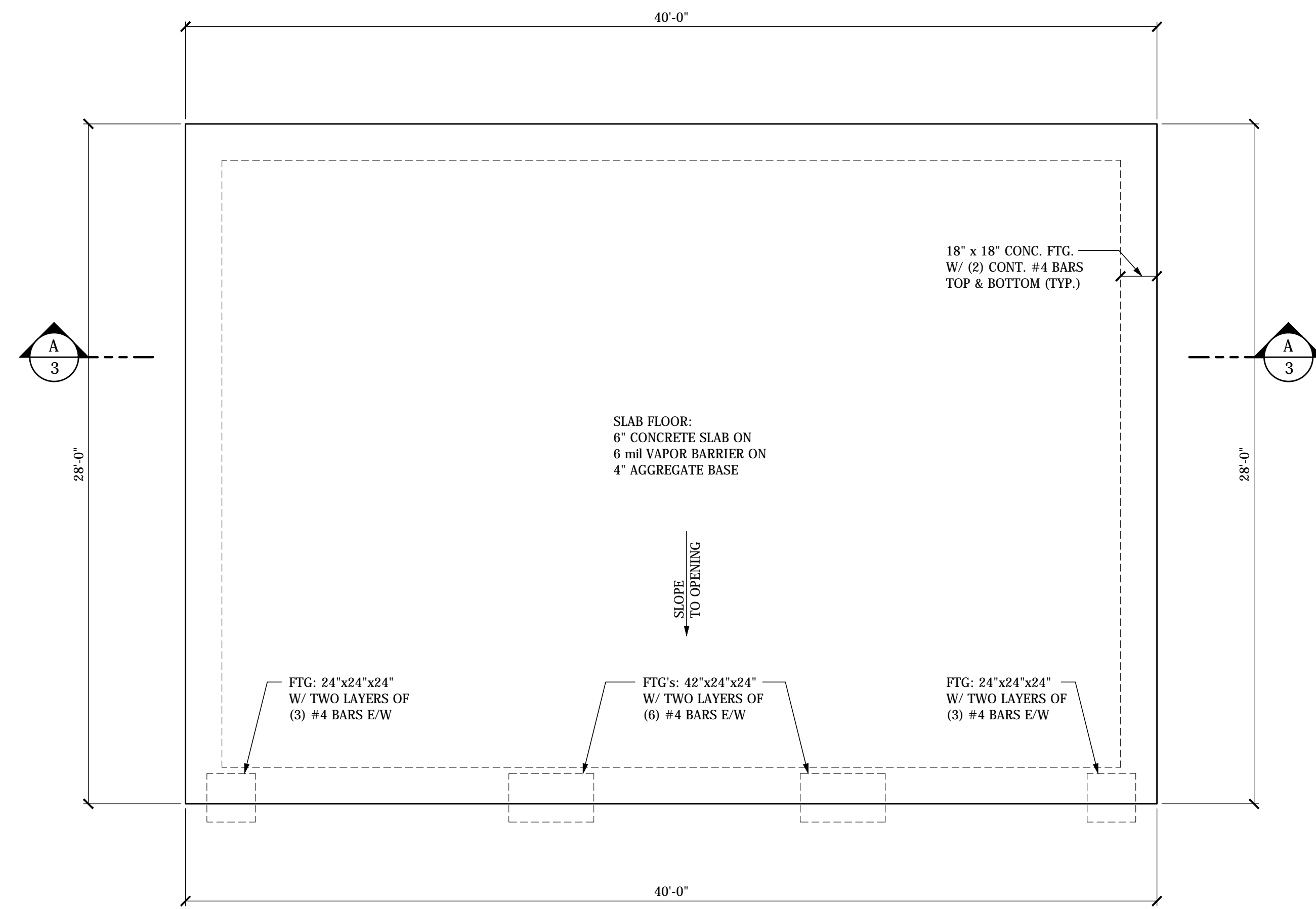
2 RIGHT ELEVATION
 1 SCALE: 1/4" = 1'-0"



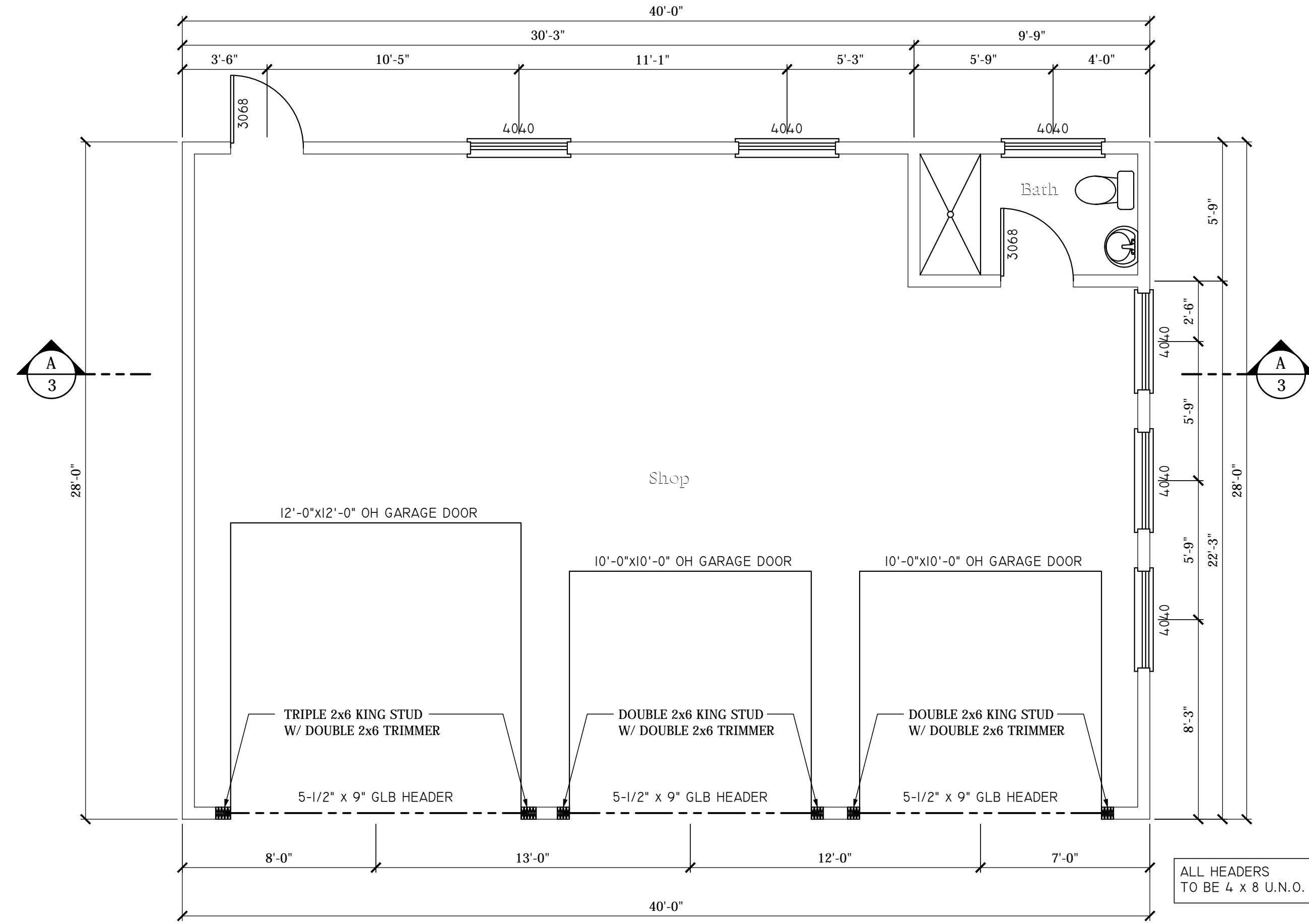
3 LEFT ELEVATION
 1 SCALE: 1/4" = 1'-0"



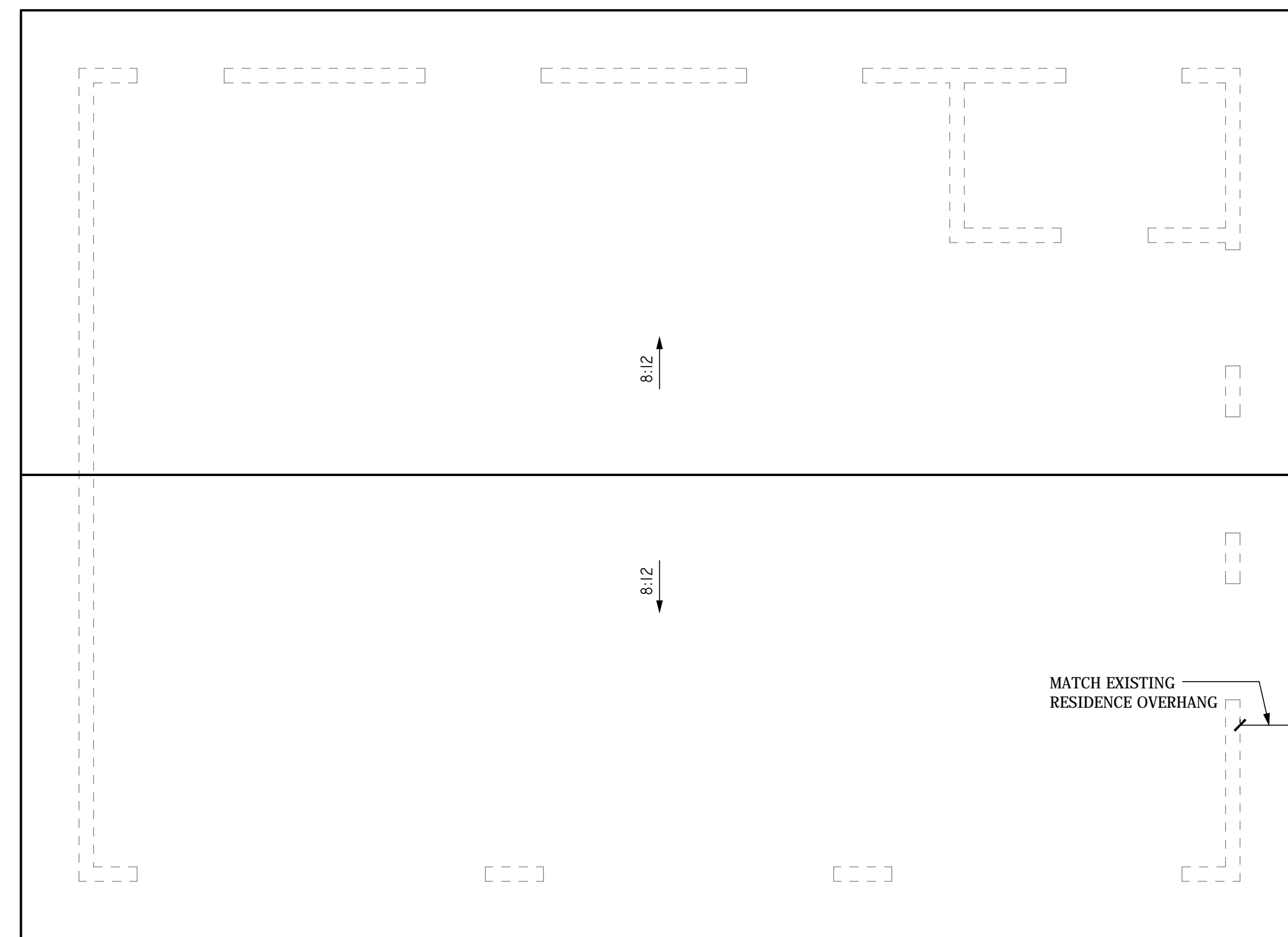
4 REAR ELEVATION
 1 SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN
2 SCALE: 1/4" = 1'-0"



2 FLOOR PLAN
2 SCALE: 1/4" = 1'-0"



3 ROOF PLAN
2 SCALE: 1/4" = 1'-0"

DRAFTING:
Corvallis CAD Services
CORVALLIS CAD SERVICES
COMPUTER-AIDED
DRAWING AND DESIGN

P.O. Box 2237
Corvallis, Oregon 97330
Phone: (541) 754-2714
email: ccs@proasts.com

PROJECT #:
BUILDER:

PROJECT: SHEET:

1022 Morse Avenue SW Shop
Foundation, Floor & Roof Plan

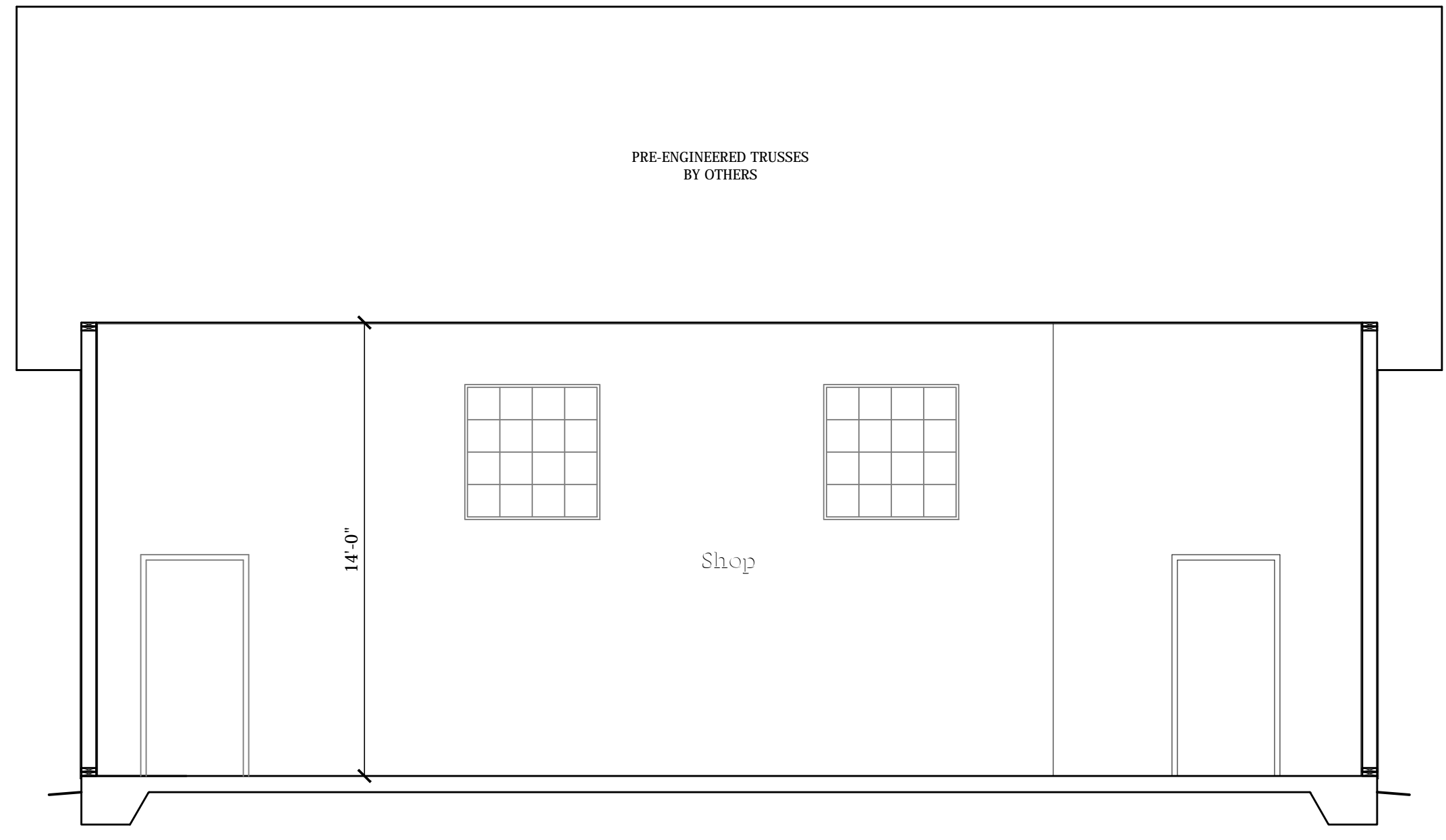
PROJECT LOCATION:
Map 11S04W25AA Tax Lot 2700
1022 Morse Avenue SW
Linn County
Albany, Oregon 97321

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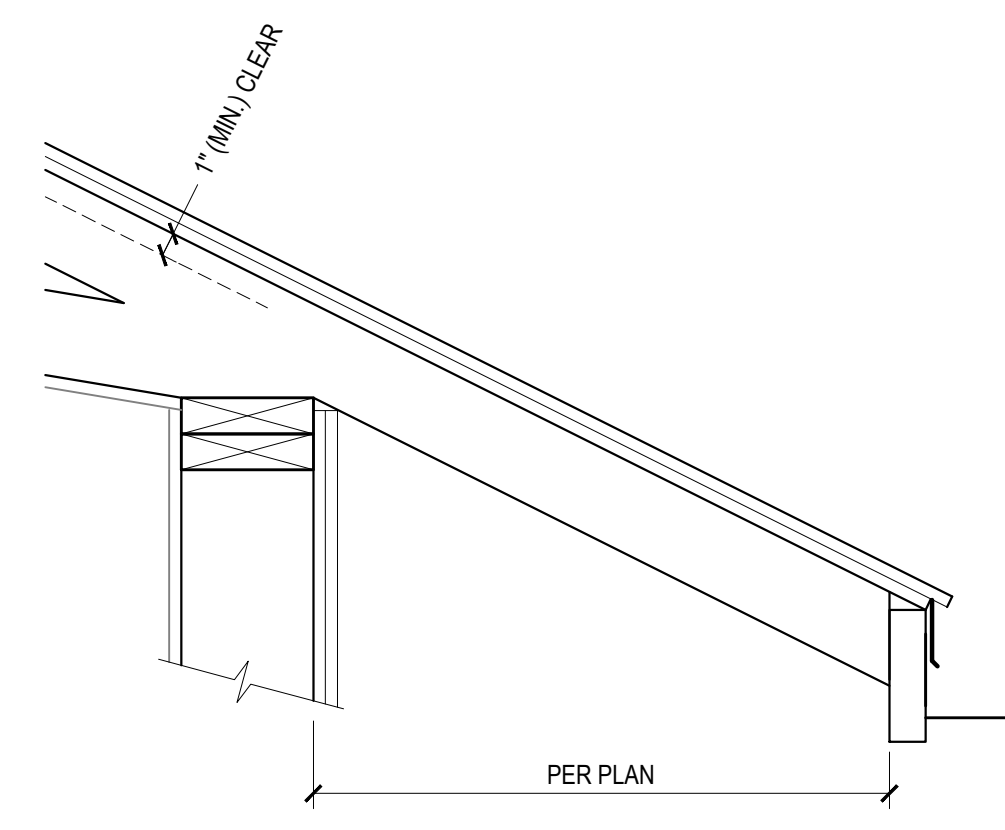
SHEET #
2

EXTERIOR FINISH:
COMP. SHINGLES
UNDERLAYMENT:
PER MANUF. INSTRUCTIONS
SHEATHING:
15/32" MIN. WOOD PANELS
FRAMING:
PRE-MANUF. TRUSSES
@ 24" O.C.

OPTIONAL CLOSED
SOFFIT



A
3 SECTION A-A
SCALE: 1/4" = 1'-0"

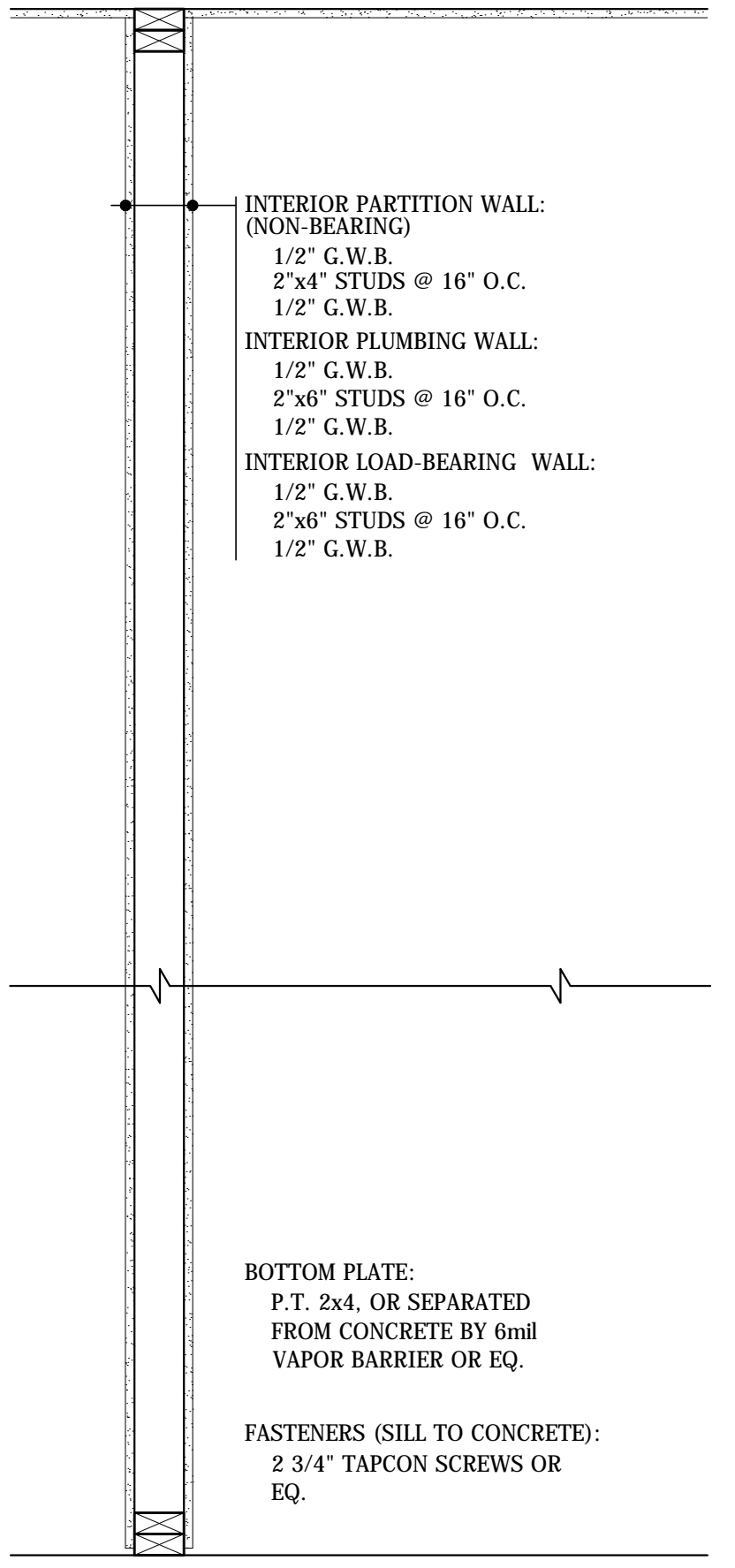


806
3 EAVE DETAIL
SCALE: NONE

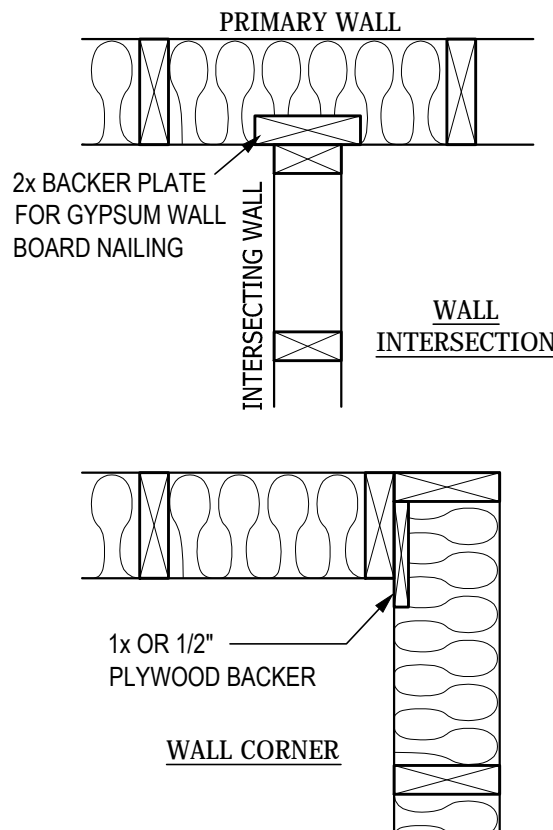
EAVE & VENTING NOTES:
VENTING AT EAVES:
PROVIDE SCREENED VENTING WITH CORROSION RESISTANT WIRE MESH WITH 1/8" (MIN.) TO 1/4" (MAX.) OPENINGS. MAINTAIN 1" (MIN.) CLEAR ABOVE INSULATION FOR AIR FLOW BY PROVIDING A BAFFLE OR OTHER APPROPRIATE MEANS.
VENTING AT RIDGE:
PROVIDE 40% (MIN.) TO 50% (MAX.) OF TOTAL REQUIRED ATTIC VENTILATION IN UPPER PORTION OF ROOF LOCATED WITHIN THREE FEET OF THE RIDGE OR HIGH POINT OF THE SPACE. ALTERNATIVELY, INSTALL CLASS I OR II VAPOR BARRIER ON WARM-IN-WINTER SIDE OF THE CEILING.
TRUSS TIES:
TRUSS TIES PER TRUSS MANUFACTURER UNLESS NOTED OTHERWISE.
FLASHING:
LAP UNDERLAYMENT OVER END OF METAL EAVE FLASHING. LAP METAL EAVE FLASHING OVER GUTTER AND FASCIA.
BLOCKING:
PROVIDE 2x BLOCKING BETWEEN TRUSSES OVER ALL SUPPORTS.

EXTERIOR FINISH:
LAP SIDING
HOUSE WRAP:
SELF-DRAINING
SHEATHING:
7/16" MIN. WOOD
STRUCTURAL PANELS
FRAMING:
2"x8" STUDS @ 16" O.C.

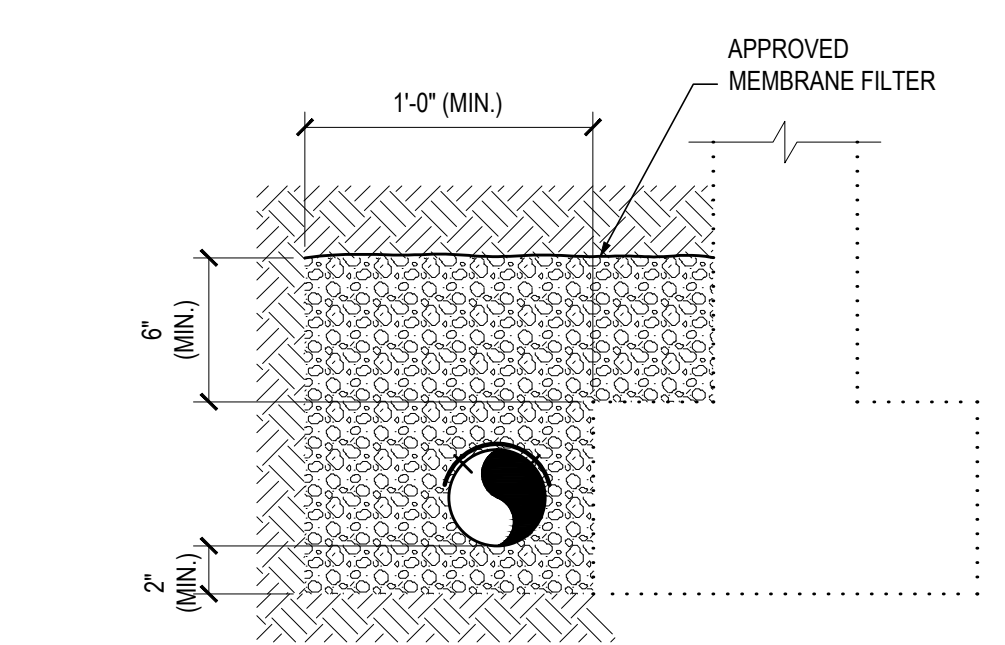
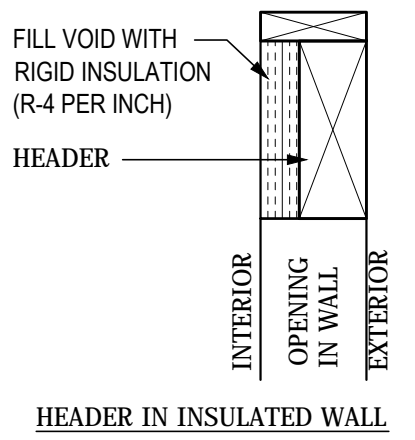
SUBFLOOR:
6" CONCRETE SLAB - SLOPE TO
OVERHEAD GARAGE DOOR
OPENING. REINFORCE W/ GRID OF
#3 BARS AT 24" CENTERS EACH
WAY OR FIBER REINFORCEMENT
TO MATCH. PROVIDE CAULKED
EXPANSION JOINTS @ 10'-0" O.C.
E/W.
BARRIER:
CONCRETE RATED VAPOR
BARRIER.
BASE:
4" (MIN.) AGGREGATE BASE.



2
3 TYPICAL INTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"



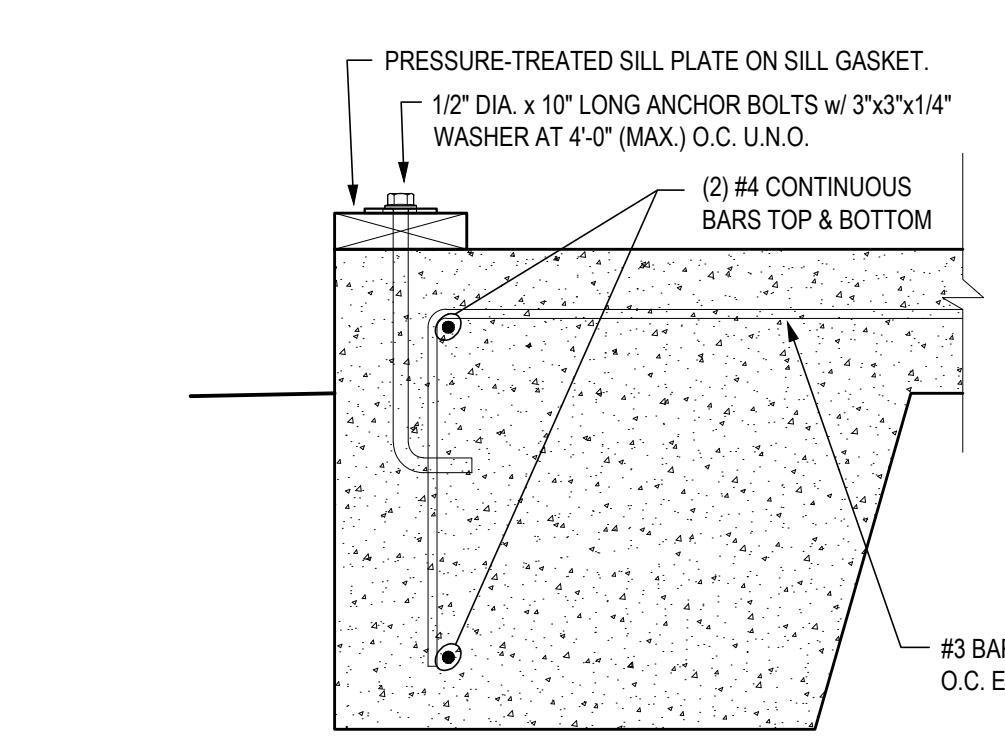
104.5
3 INTERMEDIATE FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



405
3 FOUNDATION DRAINAGE
SCALE: 1 1/2" = 1'-0"

DRAINAGE NOTES:
FOUNDATION PERIMETER:
PROVIDE 4" DIAMETER PERFORATED PIPE AROUND FOUNDATION PERIMETER COVER WITH 6" (MIN.) OF 3/4" (MIN.) ROUND ROCK. EXTEND 3/4" ROUND ROCK TO 6" (MIN.) ABOVE FOOTING AND 12" (MIN.) OUTSIDE OF FOOTING.
CRAWL SPACE LOW POINT:
PROVIDE CRAWL SPACE LOW POINT DRAIN WITH BACKWATER VALVE AND STRAINER DEVICE.
ROOF DRAINS:
PROVIDE SEPARATE SOLID DRAIN FOR ROOF DRAIN DISCHARGE.
LOCATION:
INSTALL ALL DRAINS AT OR BELOW THE AREA TO BE DRAINED.
DISCHARGING:
DISCHARGE ALL DRAINS TO APPROVED LOCATION. PROVIDE MECHANICAL DISCHARGE SYSTEM WHERE NECESSARY.
FINISHED GRADE:
SLOPE FINISHED GRADE TO FALL AWAY FROM BUILDING 6" (MIN.) IN THE FIRST 10'-0" UNLESS OTHERWISE APPROVED.
SLOPE DRIVEWAYS AND OTHER IMPERVIOUS SURFACES AWAY FROM BUILDING AT A 2% (MIN.) SLOPE.

1
3 TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"



403
3 CONTINUOUS FOOTING AT BUILDING EXTERIOR
SCALE: NONE

FOUNDATION NOTES:
ASSUMED SOIL BEARING CAPACITY:
1500 psf (VERIFY)
SITE:
CLEAR GROUND OF ALL VEGETATION AND ORGANIC MATERIAL. ALL FOOTINGS TO BEAR ON UNDISTURBED NATURAL SOIL.
DEPTH:
FOOTING TO BE 12" (MIN.) BELOW FINISHED GRADE
FINISHED GRADE AT EXTERIOR:
6" (MIN.) BELOW UNTREATED WOOD.
SLOPE FINISHED GRADE TO FALL AWAY FROM BUILDING 6" (MIN.) IN THE FIRST 10'-0" UNLESS OTHERWISE APPROVED.
SLOPE DRIVEWAYS AND OTHER IMPERVIOUS SURFACES AWAY FROM BUILDING AT A 2% (MIN.) SLOPE. UNLESS OTHERWISE APPROVED.