



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF FILING

DATE OF NOTICE: February 7, 2018

FILE: SP-04-18

TYPE OF APPLICATION: Site Plan Review for the Fred Meyer Fuel Center Expansion and Parking Lot Modifications

REVIEW BODY: Staff (Type I-L review)

PROPERTY OWNER REPRESENTATIVE: Chris Taylor; Fred Meyer Stores, Inc.; 3800 SE 22nd Avenue; Portland, OR 97202; (503) 797-3708; chris.taylor@fredmeyer.com

APPLICANT'S REPRESENTATIVE: Robert McNeill, Senior Planner; Barghausen Engineers, 18215 72nd Ave. S., Kent, WA 98032; 425-656-1061; bmcneill@barghausen.com

ALTERNATIVE REPRESENTATIVE: Hal P. Grubb, Director of Engineering Services; Barghausen Engineers, 18215 72nd Ave. S., Kent, WA 98032; 425-656-1061; hgrubb@barghausen.com

ADDRESS/LOCATION: 2500 Santiam Hwy. SE

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-08AC; Tax Lot 202

ZONING: Community Commercial (CC) District

The City of Albany has received the application referenced above. We are mailing notice of the application to property owners within 300 feet of the development. We invite your written comments on this application to be considered when staff decides on this application. Comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond. The deadline for submission of written comments is 5:00 p.m. on **February 21, 2018**, 14 days from the date the City mails the Notice of Filing.

All application materials are available at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or call **Melissa Anderson, Project Planner**, at 541-704-2319 (melissa.anderson@cityofalbany.net). Submit any written comments to the Planning Division; P.O.Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision.

REVIEW CRITERIA FOR THIS REQUEST:

Albany Development Code (ADC)

SITE PLAN REVIEW – (ADC 2.450)

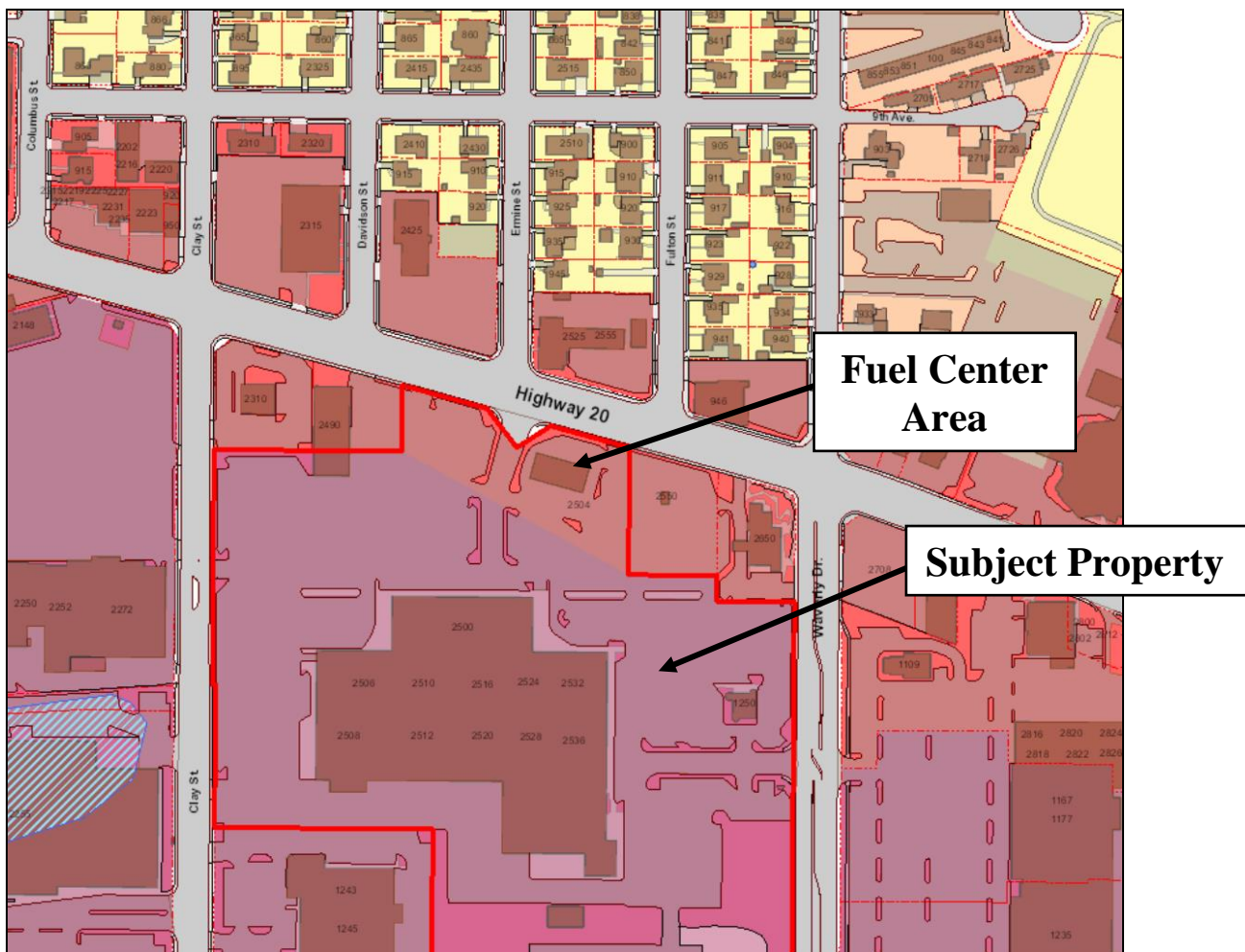
- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.

- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

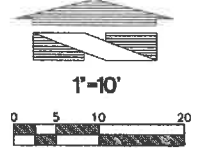
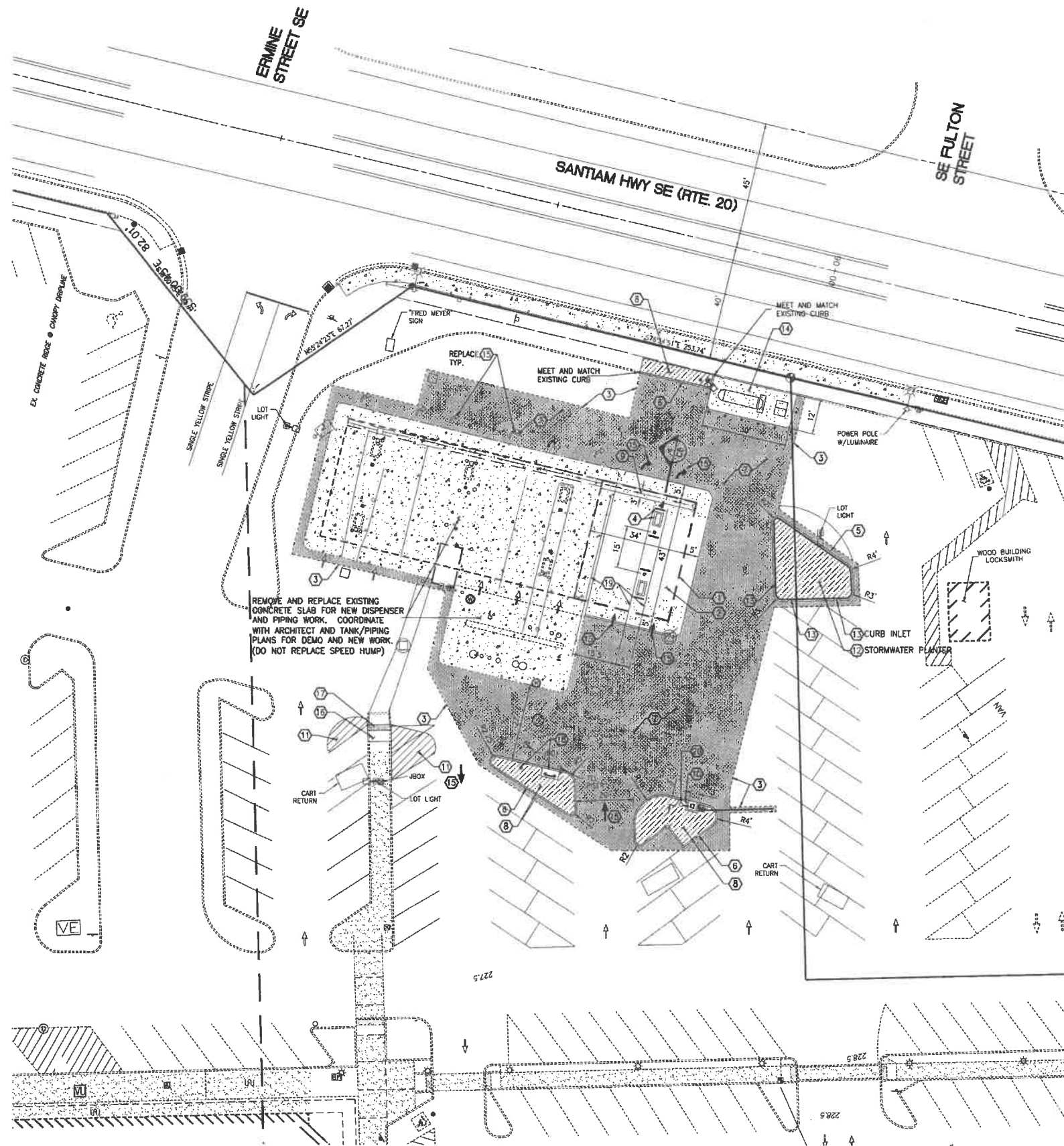
ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 4, & 9.

COMMENTS: *Comments must relate to the above approval standards and be supported by findings of fact. Attach additional sheets if necessary; please sign and date. Thank You!*

Attachment: Site Plan



SITE IMPROVEMENT PLAN



LEGEND

PROPOSED ASPHALT PAVEMENT	
EXISTING CONCRETE PAVEMENT	
PROPOSED CONCRETE PAVEMENT	
EXISTING CONCRETE CURB	
NEW CONCRETE CURB	
EXISTING SAN SEWER	
EXISTING WATER	
EXISTING UNDERGROUND POWER	

CONSTRUCTION CALL OUTS

- PUMP ISLAND CANOPY ADDITION WITH 2 NEW MPD'S. SEE CANOPY PLANS FOR DETAILS.
- REINFORCED CONCRETE DRIVE SLAB ADDITION, BENEATH PUMP ISLAND CANOPY. SEE SHT. A1 FOR CONTROL JOINTS AND SPECIFICATIONS.
- EDGE OF PAVEMENT SAWCUT (COORDINATE LIMITS ALSO WITH DEMO PLAN C2.0). CLEAN AND TACK COAT (E) PAVEMENT PRIOR TO NEW ASPHALT PAVING.
- NEW DISPENSER ISLAND AND BOLLARDS PER ARCHITECTURAL DETAIL.
- CONCRETE CURB AND GUTTER PER DETAIL 10/C6.0
- CONCRETE BARRIER CURB PER DETAIL 2/C6.0
- NEW ASPHALT PAVEMENT PER DETAIL 1/C6.0
- NEW LANDSCAPING. SEE LANDSCAPE AND IRRIGATION PLANS FOR DETAILS.
- CONCRETE PERIMETER SWALE PER DETAIL 3/C6.0. MEET AND MATCH EXISTING SWALE TO ENSURE POSITIVE FLOW TO UNDERCANOPY CATCH BASIN.
- NEW AIR/WATER UNIT CONCRETE PAD PER ARCHITECT DETAIL SHEET A3.0. RELOCATE EXISTING AIR/WATER UNIT AND PHONE, AND EXTEND UTILITIES, TO NEW LOCATION.
- 4" WIDE YELLOW PAINTED ISLAND STRIPES AT 2' O.C. / 45° ANGLE
- ONSITE STORMWATER WATER QUALITY PLANTER PER DETAILS C6.1
- CONCRETE CURB INLET PER DETAIL 10/C6.0
- 6" THICK CONCRETE SLAB OVER 6" COMPACTED STRUCTURAL FILL. TOP OF SLAB SHALL BE SET LEVEL WITH TOP OF CURB. SEE UTILITY PLAN FOR REQUIRED CONDUITS FOR POWER/CONTROLS. PROVIDE 6" CONCRETE FILLED STEEL PROTECTIVE BOLLARDS AT 4' ON-CENTER. BOLLARDS SHALL BE SET MINIMUM 3" BELOW GRADE, 3" ABOVE CONCRETE, AND PAINTED SAFETY RED. (NOTE: CONTRACTOR SHALL CONTACT "UTILITY LOCATE" TO VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES AND ENSURE BOLLARDS ARE INSTALLED CLEAR OF UTILITIES).
- DIRECTIONAL TRAFFIC MARKINGS PER DETAIL 9/C6.0
- SIDEWALK END RAMP PER DETAILS 4 AND 5/C6.0
- DETECTABLE WARNINGS PER DETAIL 5/C6.0
- TANK VENT RISER AND OVERFILL ALARM WITH PROTECTIVE BOLLARDS PER TANK/PIPING PLANS. SEE DETAIL 11/C6.0 FOR VENT RISER CONCRETE PAD DETAIL.
- 4" WIDE YELLOW PAINTED LANE STRIPE.
- HOSE BIBB W/BOLLARD PROTECTION. SEE UTILITY PLAN.

SITE LAYOUT NOTES

- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO PROVIDE HORIZONTAL AND VERTICAL CONTROL FOR ALL NEW WORK. SURVEYOR TO CONTACT BCE, INC. TO OBTAIN ELECTRONIC DRAWING FILES FOR STAKING CONTROL PURPOSES.
- ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED ON PLAN.



Call Toll Free
1 (800) 332-2344
TWO WORKING DAYS
BEFORE YOU DIG

UTILITY CONFLICT NOTE

CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POtholing THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-332-2344 AND THEN POtholing ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



18215 72ND AVENUE SOUTH
KENT, WA 98032
(425)251-6222
(425)251-8782 FAX
CIVIL, ENGINEERING, LAND PLANNING,
SURVEYING, ENVIRONMENTAL SERVICES



The Kroger Co.
3800 S.E. 27th Avenue
Portland, OR 97202-3844
Fax (503) 767-3509



EXPIRES: 6-30-19

NO.	DESCRIPTION	DATE	DRAWN BY		CHECKED BY	
			DL	DL	DL	DL
	OWNER CHECK SET	11.16.2017				
	PERMIT SUBMITTAL	01.11.2018				

Project #:	7852	Store #0005
Designed By:		DL
Drawn By:		DL
Checked By:	JSG	
Date:	11.10.2017	
Scale:	1"=20'	
Block File:	7852-c3	
Model:		
Address:	2500 Santiam Highway SE Abney, Oregon	

SITE IMPROVEMENT PLAN
FRED MEYER
GAS STATION EXPANSION

Drawing No.:

C3.0 of 10

File: P:\07000a\7852\engineering\7852-c3.0 site.dwg Date/Time: 1/5/2018 11:19 AM Scale: 1" = 1' DL: MNOTE Xref: -----