



COMMUNITY DEVELOPMENT DEPARTMENT

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STAFF REPORT

Application for Site Plan Review SP-07-18 and Floodplain Development Review FP-02-18 Hickory Station Access Easement

SUMMARY

This staff report evaluates a Site Plan Review and Floodplain Review application for development of a thirty-foot-wide shared private access easement centered along the common property line of 633 and 655 North Albany Road NW. The applicant proposes to improve the easement with a 24-foot-wide paved accessway and five-foot-wide sidewalk from an existing driveway fronting North Albany Road to an existing private drive to the east of the subject site. The analysis in this report finds that the proposed development will satisfy the Site Plan Review criteria of Albany Development Code (ADC) 2.450 and Floodplain Development review criteria of ADC 6.110 and ADC 6.111 with conditions of approval to ensure compliance.

APPLICATION INFORMATION

DATE OF REPORT: May 4, 2018

FILES: SP-07-18 & FP-02-18

TYPE OF APPLICATION: Site Plan Review and Floodplain Review to improve an existing 30-foot-wide private access easement located along the common property line of 633 and 655 North Albany Rd. NW

REVIEW BODY: Staff (Type I-L process)

APPLICANT: Hickory Station, LLC; Gary and Patty Davenport; P.O. Box 2744, Albany, OR 97321; 541-990-5777; pepandg@msn.com

APPLICANT REP.: TKP Engineering, LLC; Troy Plum; P.O. Box 374, Corvallis, OR 97339; 541-760-7205; troy@tkpeng.net

PROPERTY OWNER: North Albany MOB, LLC; 2870 Nansen Drive, Medford, OR 97504

PROPERTY OWNER: Jackson Food Stores, Inc.; 3450 E. Commercial Court, Meridian, ID 83642

ADDRESS/LOCATION: 633 & 655 NORTH ALBANY RD NW, ALBANY, OR 97321

MAP/TAX LOT: Benton Tax Assessor's Map No(s): 11S04W01DA Tax Lot 400 & 11S04W01DA Tax Lot 700

ZONING: Community Commercial (CC)

PLAN DESIGNATION: Village Center

OVERLAY /FP

TOTAL LAND AREA: Approximately 6,900 square feet

EXISTING LAND USE: Partially improved shared driveway to 633 & 655 North Albany Road NW

NEIGHBORHOOD: North Albany

SURROUNDING
ZONING:

North: Community Commercial (CC)
South: Community Commercial (CC)
East: Community Commercial (CC)
West: Mixed Use Commercial (MUC)

SURROUNDING
USES:

North: Retail commercial establishments
South: Retail commercial establishments
East: Retail commercial establishments and self-serve storage
West: Undeveloped, MUC-zoned property

PRIOR HISTORY:

PA-03-94: Partition to divide a 10.2-acre parcel into three parcels containing 1.24 acres (Parcel 1); 5.75 acres (Parcel 2); and 3.23 acres (Parcel 3). Approval was granted by the Planning Commission on September 1, 1994. Partition Plat No. 1994-063 was recorded with Benton County on December 28, 1994

PA-15-97: Partition to divide a 5.75-acre parcel into two parcels containing 4.63 acres and 1.11 acres. Approval was granted by the Hearings Board on December 22, 1997. Partition Plat No. 1998-012 was recorded with Benton County on March 13, 1998.

SP-30-00: Site Plan Review for construction of a gas station, convenience store, carwash, and fast food restaurant.

SP-18-17 & FP-04-17: Site Plan Review and Floodplain Review of a 15,115-square-foot, two-story medical office building with related site improvements.

STAFF DECISION

The Site Plan Review and Floodplain Development applications referenced above are **APPROVED with CONDITIONS** as described in this staff report.

NOTICE INFORMATION

A Notice of Filing for this application was mailed on March 20, 2018, to owners of property located within 300 feet of the subject property. At the time the comment period ended on April 3, 2018, no comments had been received by the Planning Division.

STAFF ANALYSIS

The Albany Development Code (ADC) includes the following review criteria for site plan review and floodplain development which must be met for these applications to be approved. Code criteria are written in *bold italics* and are followed by findings and conclusions.

SITE PLAN REVIEW CRITERIA (ADC 2.450)

Criterion (1) Public utilities can accommodate the proposed development.

FINDINGS OF FACT

Sanitary Sewer

1.1 City utility maps show an 8-inch public sanitary sewer in the private access easement that runs along the east boundaries of the subject parcels.

Water

1.2 City utility maps show a 12-inch public water main that runs along the east boundaries of the subject parcels.

Storm Drainage

- 1.3 City utility maps show a 15-inch public storm drainage main that runs along the east boundaries of the subject parcels.
- 1.4 The applicant is proposing to construct a private storm water collection system within the new accessway. The catch basins must be located such that the maximum amount of runoff is collected within the access and not allowed to flow west across the public sidewalk into North Albany Road.

CONCLUSIONS

- 1.1 The proposal will have no impact on the public sanitary sewer or water systems.
- 1.2 The applicant must construct a private storm water collection system in the proposed private access easement. This system must be designed to collect as much runoff from the private access easement as possible without allowing runoff to flow to the west across the public sidewalk into North Albany Road.

CONDITIONS

Condition 1 **Private Storm Water Collection System.** The applicant must construct a private stormwater collection system in the proposed private access easement. The westernmost catch basin in this system must be located as far west as possible to collect as much runoff from the private access easement as possible without allowing runoff to flow to the west across the public sidewalk into North Albany Road.

Criterion (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

FINDINGS OF FACT

- 2.1 Section 12.45.030 of the Albany Municipal Code states that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development (Ord. 5841 § 3, 2014).
- 2.2 Section 12.45.040 of the Albany Municipal Code states that development may be exempted from a post-construction stormwater quality permit if the development creates and/or replaces less than 8,100 square feet of impervious surface, cumulatively.
- 2.3 The proposed development will not create or replace 8,011 square feet of impervious surface or occur on a site that is an acre or larger.

CONCLUSIONS

- 2.1 The proposed development is exempt from the City's Storm Water Quality requirements.
- 2.2 This criterion is met without conditions.

Criterion (3) The transportation system can safely and adequately accommodate the proposed development.

FINDINGS OF FACT

- 3.1 The development is located on the east side of North Albany Road and consists of a thirty-foot-wide shared private access easement centered along the common property line of 633 and 655 North Albany Road NW, as shown in Attachment A, Sheet P.100.
- 3.2 The applicant proposes to improve an existing easement with a 24-foot-wide paved accessway and five-foot-wide sidewalk, with a reduction to 4.5 feet wide along the carwash building encroachment (see Attachment A, Sheet P.100) from an existing driveway fronting North Albany Road to an existing private drive to the east of the subject site.

- 3.3 North Albany Road is classified as a minor arterial street and is constructed to city standards. Improvements along the frontage of the site include: curb, gutter, and sidewalk along both sides of the street; a north and southbound vehicle travel lane in each direction; a northbound right turn lane; and on street bike lanes.
- 3.4 The proposed development will not generate any additional trips.

CONCLUSIONS

- 3.1 Public streets adjoining the development are improved to city standards.
- 3.2 The proposed development will consist of improvements to an existing private access easement.
- 3.3 The proposed development will not generate any additional trips.
- 3.4 This criterion is met without conditions.

Criterion (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

FINDINGS OF FACT

- 4.1 The proposed development consists of a thirty-foot-wide shared private access easement centered along the common property line of 633 and 655 North Albany Road. Eight separate parcels are currently benefitted by the access easements.
- 4.2 The applicant proposes to improve an existing private access easement with a 24-foot-wide paved accessway and five-foot wide sidewalk, with a reduction to 4.5 feet wide along the carwash building encroachment (see Attachment A, Sheet P.100), from an existing driveway fronting North Albany Road to an existing private drive to the east of the subject site.
- 4.3 The shared access easement includes a shared driveway access at North Albany Road. The shared driveway improvements only extend about 40 feet into the subject site from North Albany Road.
- 4.4 The shared access easement along the subject site's east property line has been improved for its full length with the development of nearby parcels.
- 4.5 The access easements were created with a land partition approved by the Planning Commission and recorded in 1994 that involved this site as well as nearby parcels to the north and east. The access easements were not originally proposed by the property owners. They were added and included as a condition of the partition due to City concerns regarding the potential for creation of multiple access points to North Albany Road and Hickory street with development of individual parcels. Based on the easement language on the plat map any of the properties benefitted by the easements can initiate the process to construct and improve them.
- 4.6 Improvements to the existing access easement will not generate any required parking off-street parking spaces or parking areas; therefore, ADC 9.020-9.130 are not applicable to this application.

CONCLUSIONS

- 4.1 The shared private access along the site's east boundary is improved between the subject parcels and Hickory Street.
- 4.2 The shared private access along the site's north boundary is only partially improved; improvements extend about 40 feet from North Albany Road.
- 4.3 The access easements were created with a land partition approved by the Planning Commission and recorded in 1994. That partition included the subject parcels as well as nearby parcels to the east and created several shared access easements. Based on the easement language on the plat map any of the properties benefitted by the easements can initiate the process to construct and improve them.
- 4.4 This criterion is met with the following condition.

CONDITIONS

Condition 2 **Private Access Improvements.** The extension of the shared private access shall have curb on both sides, a minimum paved width of 24 feet, and a five-foot-wide sidewalk along the north side with a reduction to 4.5 feet wide along carwash building encroachment, in accordance with the approved site plan. The sidewalk shall extend to the private shared travel aisle along the site's east boundary as shown on the approved site plan.

Criterion (5) *The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.*

FINDINGS OF FACT

- 5.1 **Surrounding Development.** The site is surrounded by Community Commercial zoning to the north, east, and south, and Mixed-Use Commercial to the west. The subject parcels consist of a developed commercial retail establishment specifically gas station, convenience store/fast food restaurant, and self-service drive-through car wash, and a medical office building that is under construction. North of the site, across Hickory Street are commercial retail establishments. Commercial retail establishments and self-serve storage units abut the site to the east. A carwash and vehicle service station abut the site to the south. West of the site, across North Albany Road, is a single-family dwelling.
- 5.2 **Operating Characteristics.** The proposal consists of improvements to an existing private access easement along the common property line of 633 and 655 North Albany Road. The existing development at 655 North Albany Road consists of a gas station, convenience store/fast food restaurant, and self-service drive-through car wash. The existing development at 633 North Albany Road is currently under construction but will consist of a medical office building when complete. Access to both sites is via a shared driveway to North Albany Road and Hickory Street via an improved shared private access easement that runs along the east boundaries of the subject parcels. A condition of approval, regarding the medical office building (SP-18-17) includes the extension of the shared private access, including curb on both sides, a minimum paved width of 24 feet, and a five-foot wide walk along one side of the easement as shown on the approved site plan (see Attachment B, Sheet A100A).
- 5.3 **Building and Parking Lot Setbacks.** ADC 4.090, Table 1, provides that in the CC zoning district the minimum building setback from a front property line is 10 feet and there is no interior yard setback from property lines that do not abut a residential zoning district. Per ADC 4.220 parking and loading spaces may not be located in a required front or interior yard setback. No structures or parking lots are proposed with this development. The developments at 633 and 655 North Albany Road meet applicable setback requirements, with only landscaping, driveways, and pedestrian connections located in the front yard setback.
- 5.4 **Lot Coverage.** Maximum lot coverage in the CC zone is 90 percent. Lot coverage includes all impervious surfaces, building footprints, eave overhangs, parking, access, and sidewalks. When the access easement along the north portion of 633 North Albany Road is development, the site will have 83 percent impervious and 17 percent pervious surface post-development (see Attachment C, Sheet C001). When the access easement along south portion of 655 North Albany Road is developed, the site will have approximately 80 percent impervious surface post-development (based on lot coverage calculations in SP-30-00).
- 5.5 **Building Height.** The maximum building height in the CC zoning district is 50 feet unless the Airport Approach Overlay restrictions dictate a lower height. No structures have been proposed with this development, this standard is not applicable.
- 5.6 **Landscaping Required – Non-Residential.** ADC 9.140(2) requires that all required front and interior setbacks (exclusive of access ways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued. There are no interior yard setbacks from property lines that do not abut a residential zoning district. The entire access width is proposed to be improved with no front yard setback area remaining.
- 5.7 **Buffering and Screening.** ADC 9.210 – 9.270 and Table 9-4 contain buffering and screening provisions intended to reduce impacts on adjacent uses of a different type. Buffering and screening provisions

applicable to 633 and 655 North Albany Road have been applied in SP-30-00 and SP-18-17. Buffering and screening standards are not applicable to changes to site circulation and improvement of accessways.

- 5.8 Landscaping within Parking Lot. (ADC 9.150). The purpose of landscaping in parking lots is to provide shade, reduce stormwater runoff, and direct traffic. No new parking areas or parking lots have been proposed or are required with this development, the standards of ADC 9.150 are not applicable.
- 5.9 Irrigation System. ADC 9.160 requires that all required landscape areas be provided with a piped underground irrigation system unless a licensed landscape architect or certified nurseryman submits written verification that the proposed plant materials do not require irrigation. Irrigation standard of ADC 9.160 regarding the subject parcels were reviewed in SP-30-00 and SP-18-17. No new landscape areas are proposed or required with this development.
- 5.10 Signs. Signage will be reviewed separately from this Site Plan Review application. The Planning Division will review applications for sign permits when they are submitted to the Building Division. See ADC 13.421-13.425 for regulations regarding sign size and number allowances in the CC zoning district.
- 5.11 Screening of Refuse Containers. ADC 4.300 states that any refuse container or disposal area that would otherwise be visible from a public street, customer or resident parking area, any public facility, or any residential area must be screened from view by placement of a sight obscuring fence, wall, or hedge at least six (6) feet tall. Refuse disposal areas may not be located in required setback areas or buffer yards and must be contained within the screened area. No new refuse containers are proposed or required with this development. Refuse containers associated with existing development were reviewed in SP-30-00 and SP-18-17.
- 5.12 Fences. ADC 9.370 lists the requirements for fences. No fences are proposed at this time.
- 5.13 Environmental Standards. ADC 9.440 - 9.500 include environmental standards related to noise, visible emissions, vibrations, odors, glare, heat, insects, rodents, and hazardous waste. No adverse environmental impacts are expected from this development other than standard vehicle traffic noise.

CONCLUSIONS

- 5.1 The improvement to an existing access easement along the common property line of 633 and 655 North Albany Road is consistent with the operating characteristics of the subject parcels, as approved in SP-03-00 and SP-18-17.
- 5.2 No adverse impacts have been identified in association with proposed development.
- 5.3 The proposed development will meet the standards for lot coverage, setbacks, and environmental standards.
- 5.4 No signage has been reviewed as part of the Site Plan Review request. Any proposed signage will be reviewed when sign permits are submitted.
- 5.5 No new refuse disposal containers are proposed or required with this development.
- 5.6 The design and operating characteristics of the proposed development will be reasonably compatible with surrounding development.
- 5.7 This criterion is met without conditions.

Criterion (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

FINDINGS OF FACT

- 6.1 Article 4 Airport Approach. The subject property is not located within the Airport Approach District.
- 6.2 Article 6 Steep Slopes. *Comprehensive Plan, Plate 7: Slopes*, does not show any steep slopes on this portion of property.
- 6.3 Article 6 Floodplains. *Comprehensive Plan Plate 5: Floodplain:* Based on the FEMA Flood Insurance Rate Map (FIRM# 41043C0213H, dated December 8, 2016), portions of the subject property are located within Zone AE of the Special Flood Hazard Area (SFHA), commonly referred to as the 100-year

floodplain. The site is in the flood-fringe and entirely outside of the floodway. Within the site area, the Base Flood Elevation (BFE) has been determined to be of 205.7 feet, based on the North American Vertical Datum of 1988 (NAVD '88). Applicable review criteria for this land use review are ADC 6.110 "Site Improvement, Land Division, and Manufactured Home Park Standards" and ADC 6.111 "Grading, Fill, Excavation, and Paving." Those criteria are addressed later in this report. Those findings and conclusions are included here by reference.

- 6.4 Article 6 Wetlands. *Comprehensive Plan, Plate 6: Wetland Sites*, does not show any wetlands on this property. The National Wetland Inventory does not show wetlands in this location.
- 6.5 Article 7 Historic Districts. *Comprehensive Plan Plate 9: Historic Districts*, shows the subject property is not in any historic district. There are no known archaeological sites on the property.

CONCLUSIONS

- 6.1 The subject property is not located within the Airport Approach District.
- 6.2 There are no areas of steep slopes on the subject property.
- 6.3 A portion of the subject property is located in the Floodplain Overlay district. Floodplain review criteria under ADC 6.110 and ADC 6.111 are addressed later in this report and incorporated here by reference.
- 6.4 No development is proposed within the significant wetland overlay (/SW) or the riparian corridor overlay (/RC).
- 6.5 The subject property is not in any historic district.
- 6.6 There are no known archaeological resources on the subject properties.
- 6.7 There are no other special purpose districts to consider on this site.
- 6.8 This criterion is satisfied without conditions.

Criterion (7) The site is in compliance with prior land use approvals.

FINDING OF FACT AND CONCLUSION:

- 7.1 Four prior land use approvals are associated with the property:
 - 1) PA-03-94: Partition to divide a 10.2-acre parcel into three parcels containing 1.24 acres (Parcel 1); 5.75 acres (Parcel 2); and 3.23 acres (Parcel 3). Approval was granted by the Planning Commission on September 1, 1994. Partition Plat No. 1994-063 (Attachment D) was recorded with Benton County on December 28, 1994
 - 2) PA-15-97: Partition to divide a 5.75-acre parcel into two parcels containing 4.63 acres and 1.11 acres. Approval was granted by the Hearings Board on December 22, 1997. Partition Plat No. 1998-012 (Attachment E) was recorded with Benton County on March 13, 1998.
 - 3) SP-30-00: Site Plan Review for construction of a gas station, convenience store, carwash, and fast food restaurant.
 - 4) SP-18-17 & FP-04-17: Site Plan Review and Floodplain Review of a 15,115-square-foot, two-story medical office building with related site improvements.
- 7.2 The access easements enjoyed by this site were created with a land partition approved by the Planning Commission and recorded in 1994 that involved this site as well as nearby parcels to the north and east. Based on the easement language on the plat map any of the properties benefitted by the easements can initiate the process to construct and improve them.
- 7.3 A condition of approval for SP-18-17 states that prior to the issuance of a certificate of occupancy, an extension of the shared private access shall have curb on both sides, a minimum paved width of 24 feet, and a five-foot wide sidewalk along one side in accordance the approved site plan. The condition further stipulates that the sidewalk extends to the private shared travel aisle along the site's east boundary as shown

on the approved site plan. This development is currently under construction. This condition of approval will be verified at the prior to the issuance of a certificate of occupancy.

- 7.4 There are no other outstanding conditions of approval from previous land use approvals.

CONCLUSION:

- 7.1 The site is in compliance with prior land use approvals.
7.2 This criterion is satisfied without additional conditions.

Criterion (8) Sites that have lost their nonconforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.370.

FINDING OF FACT AND CONCLUSION:

- 8.1 The site does not have non-conforming status; therefore, this criterion is not applicable.

Provisions for Flood Hazard Reduction- Development in the Floodplain (ADC 6.110)

The Albany Development Code (ADC) Section 6.110 includes the following review criteria for site improvements in the Special Flood Hazard Area. Code criteria are written in ***bold italics*** and are followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion (1) All proposed new development and land divisions shall be consistent with the need to minimize flood damage and ensure that building sites will be reasonably safe from flooding.

FINDINGS OF FACT

- 1.1 The project site is located along the shared property line of 633 North Albany Road and 655 North Albany Road on the east side of North Albany Road, between Hickory Street NW and Pacific Highway 99E.
- 1.2 Based on the FEMA Flood Insurance Rate Map (FIRM# 41043C0213H, dated December 8, 2016), portions of the subject property are located within Zone AE of the Special Flood Hazard Area (SFHA), commonly referred to as the 100-year floodplain. The site is in the flood-fringe and entirely outside of the floodway. Within the site area, the Base Flood Elevation (BFE) has been determined to be of 205.7 feet, based on the North American Vertical Datum of 1988 (NAVD '88).
- 1.3 As shown on the storm sewer and grading plan (Attachment D, Sheet P.101), the proposed access easement easements include a 24-foot wide paved accessway and five-foot wide sidewalk, with a reduction to 4.5-feet along carwash building encroachment.
- 1.4 No structures or building sites are proposed as part of this project. There are no watercourses located within the boundaries of the subject property.

CONCLUSIONS

- 1.1 A small portion of the subject property is located within the flood-fringe of the SFHA, and entirely outside of the floodway. A BFE has been established at the building site at 205.7 feet (NAVD '88) based on the FIRM Panel Number 41043C0213H, dated December 8, 2016.
- 1.2 No structures or building sites are proposed as part of access easement improvements.
- 1.3 Based on the factors described above, the proposed new development will minimize the risk of flood damage and be reasonably safe from flooding.
- 1.4 This criterion is met without conditions.

Criterion (2) All new development and land division proposals shall have utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.

FINDINGS OF FACT & CONCLUSIONS

- 2.1 The applicant states that “the existing Pacific Power utility vault will be relocated” (Attachment D, Sheet P.101).
- 2.2 The proposed private storm water collection system is evaluated under Site Plan Review Criterion One (above); those findings and conclusions are included here by reference.
- 2.3 No other utilities are located within the site area.
- 2.4 Utilities located within the subject site have been designed to minimize flood damage.
- 2.5 This criterion is met without conditions.

Criterion (3) On-site waste disposal systems shall be located and constructed to avoid functional impairment, or contamination from them, during flooding.

FINDING OF FACT & CONCLUSION

- 3.1 No new on-site waste disposal systems are proposed for this development.
- 3.2 This criterion is not applicable.

Criterion (4) All development proposals shall have adequate drainage provided to reduce exposure to flood damage.

FINDINGS OF FACT

- 4.1 City utility maps show a 15-inch diameter public storm drainage main along the east boundary of the subject property.
- 4.2 The applicant is proposing to construct a private storm water collection system within the new accessway. The catch basins must be located such that the maximum amount of runoff is collected within the access and not allowed to flow west across the public sidewalk into North Albany Road.
- 4.3 Storm water drainage is evaluated under Site Plan Review Criterion One (above); those findings and conclusions are included here by reference.

CONCLUSIONS

- 4.1 The City’s Engineering staff has reviewed the applicant’s preliminary stormwater plans and has determined that they are acceptable.
- 4.2 This criterion is met without conditions.

Criterion (5) Any lot created for development purposes must have adequate area created outside of the floodway to maintain a buildable site area meeting the minimum requirements of this Article.

FINDING OF FACT & CONCLUSION

- 5.1 The proposal does not create any new lots.
- 5.2 This criterion is not applicable.

Criterion (6) Any new public or private street providing access to a residential development shall have a roadway crown elevation not lower than one foot below the 100-year flood elevation.

FINDING OF FACT & CONCLUSION

- 6.1 The proposal does not create a new residential street.
- 6.2 This criterion is not applicable.

Criterion (7) All development proposals shall show the location of the 100-year flood contour line followed by the date the flood elevation was established. When elevation data is not available, either through the Flood Insurance Study or from another authoritative source, and the development is four or more acres or results in four or more lots or structures, the elevation shall be determined and certified by a registered engineer. In addition, a statement located on or attached to the recorded map or plat shall read as follows: "Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City." [Ord. 5338, 1/28/98]

FINDINGS OF FACT & CONCLUSION

- 7.1 The proposed grading plan (Attachment D, Sheet P.101).) shows the location of the 100-year flood contour line with a BFE of 205.7 feet (NAVD '88). The floodplain boundary and BFE is based on FIRM Panel #41043C0213H, dated December 8, 2016.
- 7.3 As this development is not a land division, and this site plan review is not required to be recorded.
- 7.4 This criterion is met without conditions.

Criterion (8) In addition to the general review criteria applicable to manufactured home parks in Article 10, applications that propose actual development within a Special Flood Hazard Area shall include an evacuation plan indicating alternate vehicular access and escape routes.

FINDING OF FACT & CONCLUSION

- 8.1 This is not an application to develop a manufactured home park.
- 8.2 This criterion is not applicable.

GRADING, FILL, EXCAVATION AND PAVING IN THE FLOODPLAIN (ADC 6.111)

Criterion 1 – Provisions have been made to maintain adequate flood-carrying capacity of existing watercourses.

FINDINGS OF FACT

- 1.1 The proposed access easement improvements consist of a paved drive and pedestrian sidewalk partially within the 100-year flood plain as shown (Attachment D, Sheet P.101).
- 1.2 There are no watercourses located within the boundaries of the subject property.
- 1.3 The proposed finished grade of the subject access easement improvements will only change slightly and will ultimately increase the available flood storage area within the flood plain by 15 cubic yards.

CONCLUSIONS

- 1.1 The proposed access easement improvements would cause minimal disturbance to the existing natural elevations, and the flood storage capacity will be increased by the proposed development.
- 1.2 Flood-carrying capacity of existing watercourses will be maintained.

Criterion 2 – The proposal will be approved only where adequate provisions for stormwater runoff have been made that are consistent with the Public Works Engineering standards, or are otherwise approved by the City Engineer.

FINDINGS OF FACT

- 2.1 City utility maps show a 15-inch diameter public storm drainage main along the east boundary of the subject property.
- 2.2 The applicant is proposing to construct a private storm water collection system within the new accessway. The catch basins must be located such that the maximum amount of runoff is collected within the access and not allowed to flow west across the public sidewalk into North Albany Road.

- 2.3 Storm water drainage is evaluated under Site Plan Review Criterion One (above); those findings and conclusions are included here by reference.

CONCLUSIONS

- 2.1 The City's Engineering staff has reviewed the applicant's preliminary stormwater plans and has determined that they are acceptable.
- 2.2 This criterion is met without conditions.

Criterion 3 – The proposal will not increase the existing velocity of flood flows so as to exceed the erosive velocity limits of soils in the flood area.

FINDINGS OF FACT

- 3.1 The proposed development is located within an existing developed area, surrounded by commercial uses and the North Albany Road.
- 3.2 The proposed access easement improvements consist of a paved drive and pedestrian sidewalk that is partially located within the 100-year flood plain as shown (Attachment D, Sheet P.101). The finished grade of these improvements will only change slightly.
- 3.3 The proposal will have an insignificant effect on the velocity of flood flows because the total cumulative impact in the floodplain is 205 cubic yards, but the net impact will increase the available flood storage capacity by 15 cubic yards.

CONCLUSIONS

- 3.1 The proposed access easement improvements would cause minimal disturbance to the existing natural elevations, and the flood storage capacity will be increased by the proposed development.
- 3.2 The proposal will not increase the existing velocity of flood flows to exceed the erosive velocity limits of soils in the flood area.
- 3.3 This criterion is met without conditions.

Criterion 4 – No grading, fill, excavation, or paving will be permitted over an existing public storm drain, sanitary sewer.

FINDINGS OF FACT

- 4.1 Public utilities adjacent to this site consist of an eight-inch public sanitary sewer main, twelve-inch public water main, and fifteen-inch public storm drainage main in the private easement that runs along the east boundaries of the subject site.
- 4.2 No fill is proposed over these existing public utilities.

CONCLUSIONS

- 4.1 The proposed fill will not be placed over public utilities.
- 4.2 This criterion is met without conditions.

Criterion 5 – In areas where no floodway has been designated on the applicable FIRM, grading will not be permitted unless it is demonstrated by the applicant that the cumulative effect of the proposed grading, fill, excavation, or paving when combined with all other existing and planned development, will not increase the water surface elevation of the base flood more than a maximum of one foot (cumulative) at any point within the community.

FINDINGS OF FACT AND CONCLUSION

- 5.1 Portions of the subject site are located within Zone AE of the SFHA, where a BFE and a floodway have been established.
- 5.2 This review criterion is not applicable.

Criterion 6 – The applicant shall notify the City of Albany, any adjacent community, and the Natural Hazards Mitigation Office of the Oregon Department of Land Conservation and Development of any proposed grading, fill, excavation, or paving activity that will result in alteration or relocation of a watercourse (See Section 6.101).

FINDINGS OF FACT AND CONCLUSION

- 6.1 No fill, alteration or relocation of a watercourse is proposed.
- 6.2 This review criterion is not applicable.

Criterion 7 – All drainage facilities shall be designed to carry waters to the nearest practicable watercourse approved by the designee as a safe place to deposit such waters. Erosion of ground in the area of discharge shall be prevented by installation of non-erosive down spouts and diffusers or other devices.

FINDINGS OF FACT

- 7.1 Collection of storm water runoff from the site during construction is reviewed and monitored through an Erosion Prevention Sediment Control (EPSC) permit. Consequently, the developer will have to conform to erosion and sediment control measures as specified in the City’s Stormwater Management Engineering Standards.
- 7.2 The applicant states that drainage of surface stormwater will be directed towards a private storm water collection system that has been proposed to be constructed within the new accessway.

CONCLUSIONS

- 7.1 Drainage facilities are designed to carry waters to the nearest drainage facilities.
- 7.2 Stormwater runoff details are reviewed as part of the required EPSC permit.
- 7.3 This criterion is met without conditions.

Criterion 8 – Building pads shall have a drainage gradient of two percent toward approved drainage facilities, unless waived by the Building Official or designee.

FINDINGS OF FACT AND CONCLUSION

- 8.1 No structures or building pads are proposed as part of the subject access easement improvement.
- 8.2 This review criterion is not applicable.

OVERALL FLOODPLAIN REVIEW CONCLUSION

As proposed, the application for site improvements and placement of fill and grading in the floodplain satisfies the applicable review criteria for ADC 6.110 and ADC 6.111.

OVERALL CONCLUSION

As conditioned, the proposed development meets all applicable site plan review and floodplain review criteria with the following conditions of approval:

CONDITIONS OF APPROVAL

- Condition 1 **Private Storm Water Collection System.** The applicant must construct a private storm water collection system in the proposed private access easement. The westernmost catch basin in this system must be located as far west as possible to collect as much runoff from the private access easement as possible without allowing runoff to flow to the west across the public sidewalk into North Albany Road.
- Condition 2 **Private Access Improvements.** The extension of the shared private access shall have curb on both sides, a minimum paved width of 24 feet, and a five-foot-wide sidewalk along the north side with a reduction to 4.5 feet wide along the carwash building encroachment, in accordance with the approved site plan. The sidewalk shall extend to the private shared travel aisle along the site’s east boundary as shown on the approved site plan.

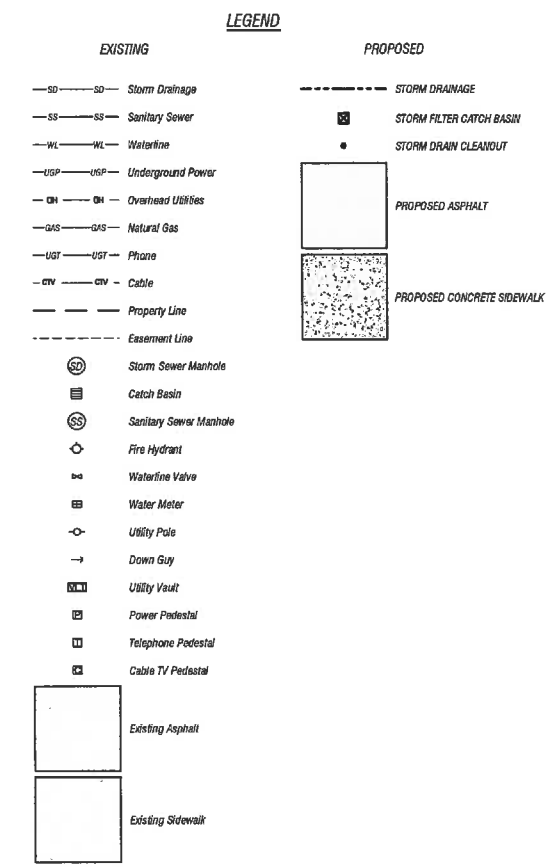
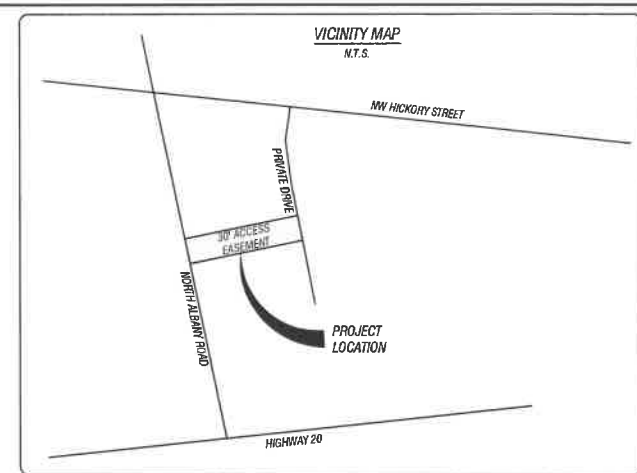
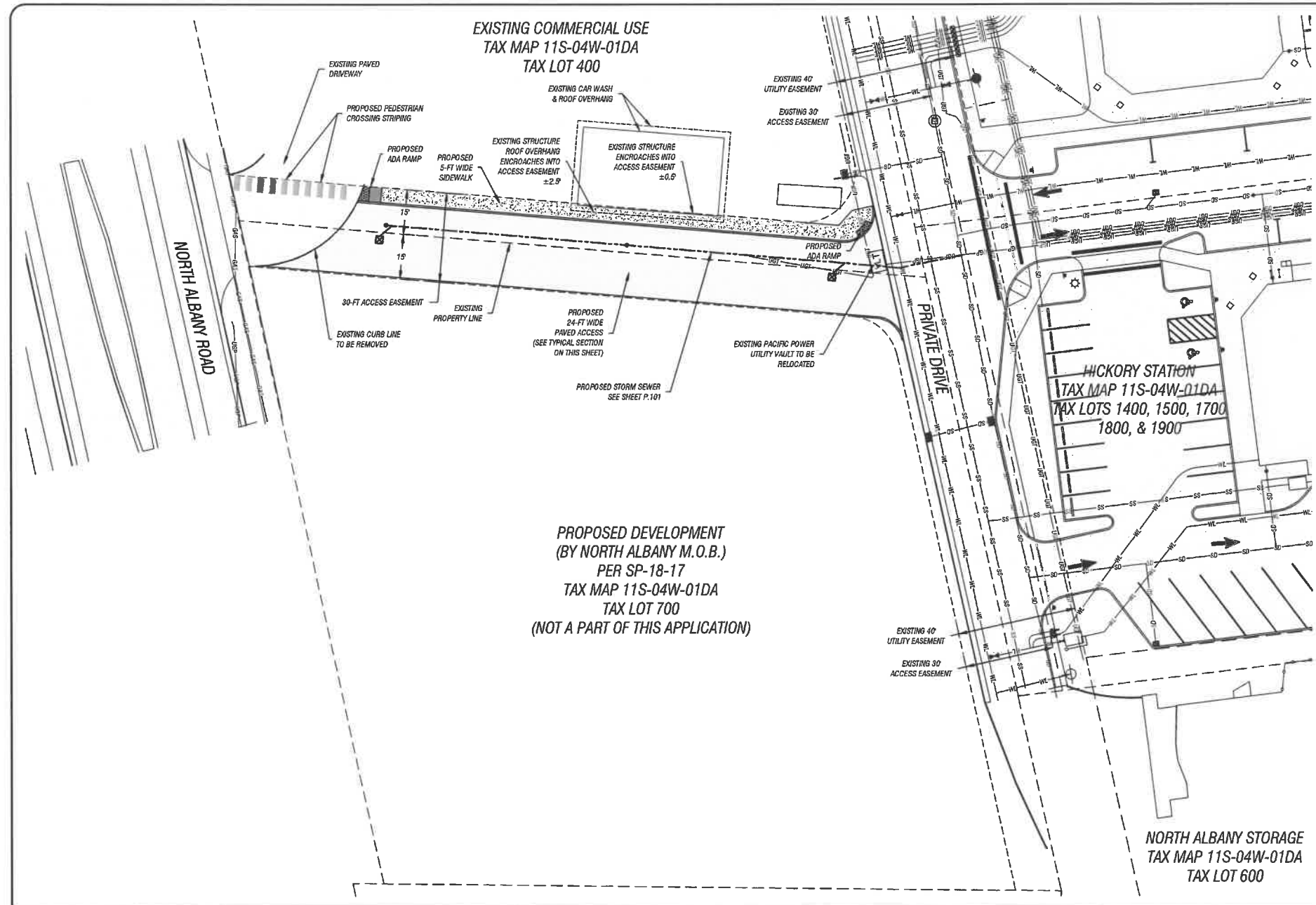
ATTACHMENTS

- A. Access Easement Improvements, Cover Sheet, Sheet P.100
- B. Site Plan (SP-18-17), Sheet A100A
- C. Cover Sheet (SP-18-17). Sheet C001
- D. Access Easement Improvements, Storm Sewer & Grading Plan, Sheet P.101

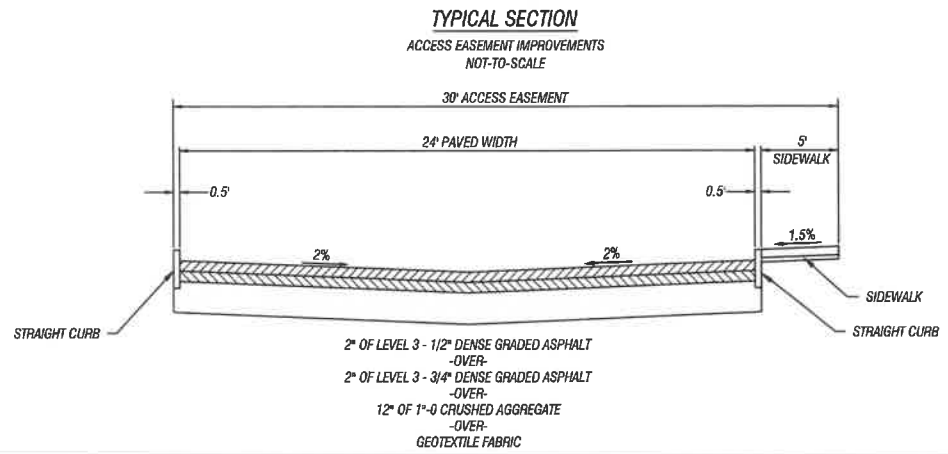
ACRONYMS

ADC	Albany Development Code
AMC	Albany Municipal Code
BFE	Base Flood Elevation
CC	Community Commercial
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
FP	Floodplain File Designator
MUC	Mixed Use Commercial Zoning District
NAVD 1988	North American Vertical Datum of 1988*
SFHA	Special Flood Hazard Area
SP	Site Plan Review
TSP	City of Albany's Transportation System Plan

*The conversion factor from NGVD 1929 to NAVD 1988 in Albany is +3.38 feet.



PROPOSED DEVELOPMENT
(BY NORTH ALBANY M.O.B.)
PER SP-18-17
TAX MAP 11S-04W-01DA
TAX LOT 700
(NOT A PART OF THIS APPLICATION)



SITE DATA

TAX MAP BENTON COUNTY 11S-4W-01DA
TAX LOTS 400 & 700
ZONE COMMUNITY COMMERCIAL

ACCESS & UTILITIES EASEMENT PER DOCUMENT #194559-95 RECORDED WITH BENTON COUNTY ON JANUARY 12TH, 1995.

DEVELOPMENT TEAM

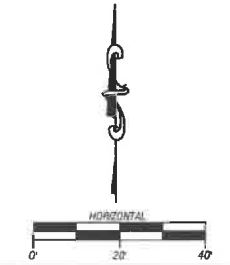
DEVELOPER
HICKORY STATION, LLC
GARY DAVENPORT
P.O. BOX 2744
ALBANY, OR 97321

ENGINEER
TKP ENGINEERING, LLC
TROY L. PLUM, PE
P.O. BOX 374
CORVALLIS, OR 97339
PH: (541) 760-7205
FAX: (866) 861-5704

SURVEYOR
NORTHSTAR SURVEYING
720 NW 4TH STREET
CORVALLIS, OR 97330
PH: (541) 757-9050

INDEX OF DRAWINGS

P.100 COVER SHEET
P.101 STORM SEWER & GRADING PLAN



TKP ENGINEERING
P.O. BOX 374
Corvallis, OR 97339
Phone (541) 760-7205
Fax (866) 861-5704

TKP

COVER SHEET

ACCESS EASEMENT IMPROVEMENTS
PREPARED FOR:
HICKORY STATION, LLC

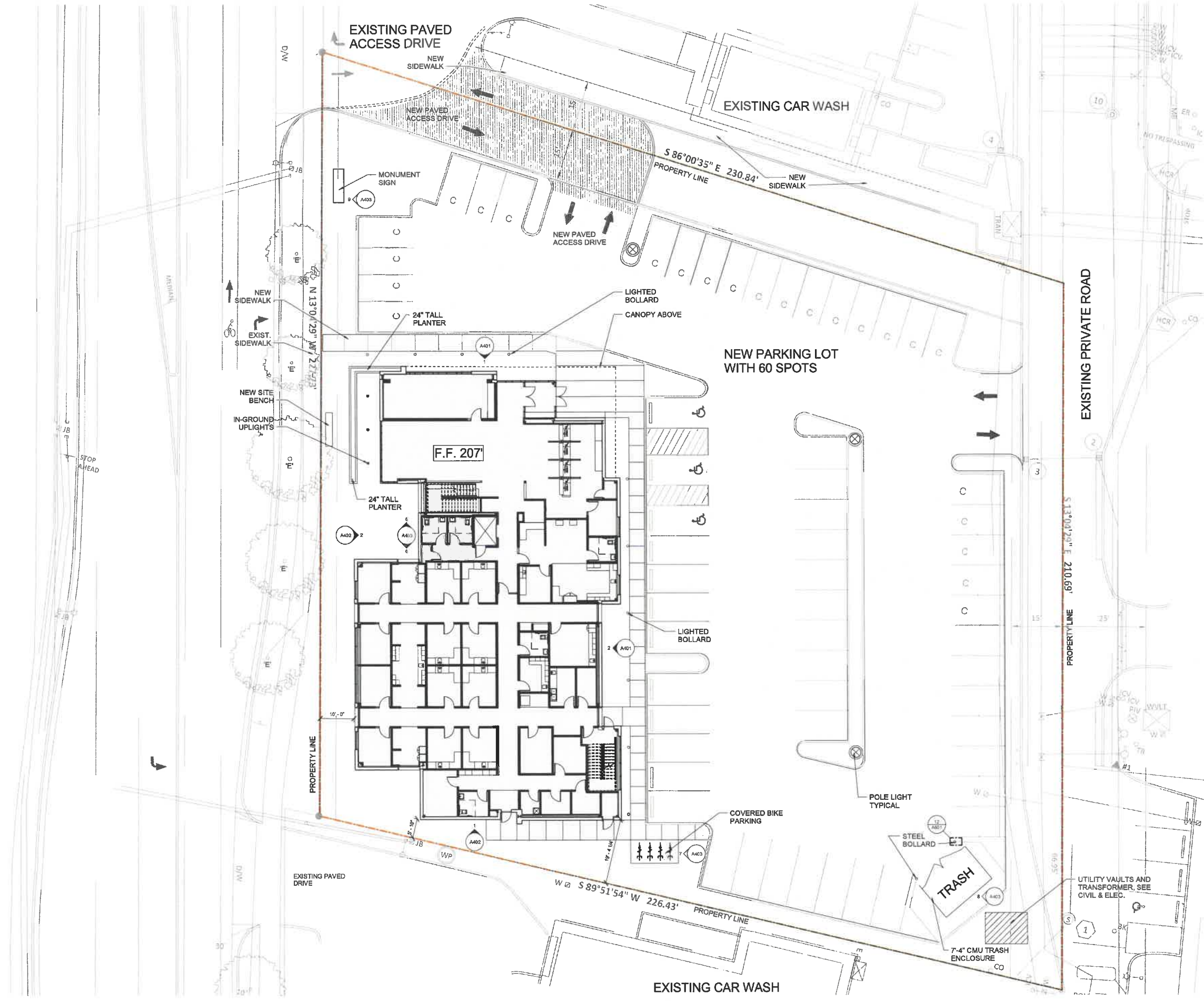
REGISTERED PROFESSIONAL ENGINEER
022873
Digital signed by Troy L. Plum PE
Date: 2018.02.22 10:05:14 -0500
OREGON
TROY L. PLUM
EXPIRES 12/31/2018

DATE	2/21/2018
PROJECT	13-015
DWG	13-015.DWG
REVISION	DATE
SHEET	P.100

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tva architects inc.
 920 sw sixth avenue | suite 1000
 portland, oregon 97204
 phone: 503 220 0560
 www.tvaarchitects.com



PARKING STALL COUNT:
 BLDG GROSS = 15,116 SQFT
 PARKING REQUIRED = 60 SPOTS
 PARKING PROVIDED = 60 SPOTS
 COMPACT SPACES = 24 OUT OF 60

North Albany M.O.B.
 Albany, Oregon 97321

Revisions:

No.	Date	Description

Permit Set

Project # 16092

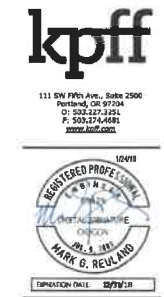
City Use Only	SITE PLAN - ALTERNATE
	A100A

Date: 02/22/18

1 SITE PLAN - PROPOSED ALTERNATE SITE PLAN
 3/32" = 1'-0"

NORTH ALBANY MOB ALBANY, OREGON

SI-17-24



GENERAL NOTES

1. SURVEY PROVIDED BY KPFF, DATED JULY 01, 2017.
VERTICAL DATUM: NAVD 88 (OSHD 124)
ELEVATION WAS ESTABLISHED THROUGH A 3 MINUTE GPS OBSERVATION ON CONTROL POINT NO. 1 USING THE OREGON REAL-TIME GPS NETWORK (ORGN)
*TO CONVERT TO NAD83 DATUM, SUBTRACT 3.30 FEET FROM ELEVATIONS SHOWN HEREON, BASED ON GPS OBSERVATIONS ON BENCHMARK 1-580.
Q 580 (OSHD) IN ALBANY AT THE WEST END OF 3RD STREET ENTRANCE TO BRYANT PARK, IN THE NE CORNER AGAINST HAND RAIL, 10 FEET FROM END OF NEW BRIDGE OVER CALAPOGA RIVER, STANDARD OSHD DISK STAMPED "Q 580 1984 217"
ELEVATION 217.466 FEET
2. CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
3. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT. SEE SHEET C100 FOR PROJECT CONTROL INFORMATION.
4. WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED - DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION, NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES.
5. BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
6. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
7. CONTRACTOR TO REFERENCE SOILS REPORT BY GRI DATED AUGUST 14, 2017 FOR THE SITE SOILS CONDITIONS.
8. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2015 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2014 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF ALBANY.
9. THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
10. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THESE RULES ARE SET FORTH IN OUR 952-001-0010 THROUGH OUR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
11. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF KPFF CONSULTING ENGINEERS, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
12. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
13. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF ALBANY FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS DURING THE CONSTRUCTION PERIOD. ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
14. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL, AS REQUIRED.
15. TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF ALBANY FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
17. NOTIFY CITY OF ALBANY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY OF ALBANY REPRESENTATIVE SHALL BE REQUIRED.
18. THE LOCATION AND DESCRIPTIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE CONSTRUCTION DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS, FIELD SURVEYS OF ONE CALL UTILITY LOCATE, AND/OR ABOVE GROUND FEATURES. THE SURVEYOR OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
19. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR ADDRESSING POTENTIAL CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATION WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE RETIRED AS NECESSARY PRIOR TO EXCAVATING OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.

CONSTRUCTION NOTES

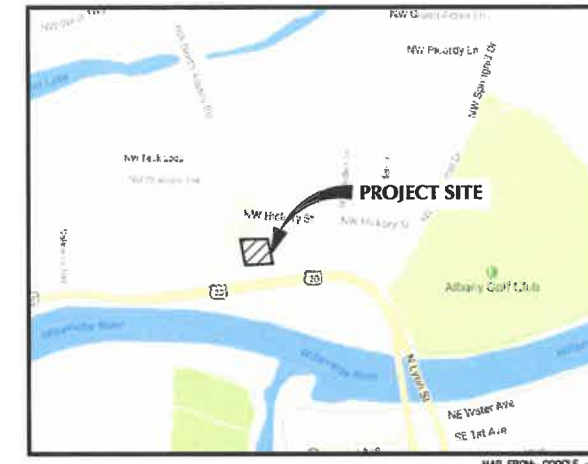
- GENERAL**
1. ACTUAL LINES AND GRADES SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON DIMENSIONS, ELEVATIONS AND BEARINGS AS SHOWN ON THE PLANS.
 2. SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
 3. SPECIAL INSPECTION REQUIRED FOR ALL COMPACTION TESTING.
- DEMOLITION**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
 2. EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
 3. ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
 4. ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
 5. CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
 6. SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.
- UTILITIES**
1. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
 2. CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
 3. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
 4. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.
 5. ALL WORK TO CONFORM TO THE 2014 OREGON PLUMBING SPECIALTY CODE
- STORM AND SANITARY**
1. CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2015 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 0490, "WORK ON EXISTING SEWERS AND STRUCTURES".
 2. BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNDERGROUND CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
 3. ACTUAL LINES AND GRADES SHALL BE STAKED BY A QUALIFIED SURVEYOR, BASED ON COORDINATES, DIMENSIONS AND BEARINGS INDICATED ON THE PLANS. CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN THE STATE OF OREGON.
 4. ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.
 5. ALL HORIZONTAL CONNECTIONS TO THE SANITARY OR STORM SEWERS SHALL BE OF THE "W" BRANCH TYPE.
- WATER**
1. ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
 2. ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
 3. ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.
- EARTHWORKS**
1. CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
 2. TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT, FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SEPARATION STATEMENT**
- ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.

MATERIAL NOTES

1. GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ARCHITECT PRIOR TO INSTALLATION.
2. STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE CONFORMING TO THE PROJECT SPECIFICATIONS, AS INDICATED IN THE PLANS.
3. PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE CONFORMING TO THE PROJECT SPECIFICATIONS, AS INDICATED IN THE PLANS.
4. PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING CONFORMING TO THE PROJECT SPECIFICATIONS, AS INDICATED IN THE PLANS.
5. CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.

ABBREVIATIONS

AC	ASPHALT CONCRETE	MIN	MINIMUM
AD	AREA DRAIN	N	NORTHING
APPROX	APPROXIMATE	OD	OUTSIDE DIAMETER
BLDG	BUILDING	OH/OH	OVERHEAD
BOW	BACK OF WALK	P/L	PROPERTY LINE
CB	CATCH BASIN	PEB	PEDESTRIAN
CL	CENTERLINE	PV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PM	PARKING METER
CMU	CONCRETE MASONRY UNIT	PP	POWER POLE
CO	CLEAROUT	P.U.E.	PUBLIC UTILITY EASEMENT
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE
COTU	CLEANOUT TO GRADE	PAVMT	PAVEMENT
CP	CONTROL POINT	PVT	PRIVATE
DELTA	DELTA	R	RAIL
D/W	DRIVEWAY	RD	ROOF DRAIN
DIA.	DIAMETER	R.O.W	RIGHT-OF-WAY
DP	DUCTILE IRON PIPE	S	SLOPE (FT/FT)
E	EASTING	SD	STORM DRAIN
EXIST./EX	EXISTING	SDMH	STORM DRAIN MANHOLE
FDX	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER
FG	FINISH FLOOR ELEVATION	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	ST	STREET
FL	FIRE HYDRANT	STA	STATION
FL	FLUMINE	STD	STANDARD
FND	FOUNDATION	TC	TOP OF CURB
G	GUTTER	TO	TOP OF GROUND
GB	GRADE BREAK	TP	TOP OF PAVEMENT
GL	GAS LINE	TRNS.	TRANSFORMER
GV	GATE VALVE	TP	TYPICAL
H	HEIGHT	UG	UNDERGROUND
HCP	HANDICAP PARKING SPACE	UGC	UNDERGROUND ELECTRIC
ID	INSIDE DIAMETER	W	WATER
IE	INVERT ELEVATION	W/	WITH
IRV	IRRIGATION	WCH	WHEEL CHAIR RAMP
ISL	LIGHT POLE	WM	WATER METER
LN	MANHOLE	WV	WATER VALVE



VICINITY MAP
SCALE: NTS

PROJECT CONTACTS

- OWNER:**
NORTH ALBANY MOB, LLC
881 NW GRANT AVENUE
CORVALLIS, OR 97330
TEL: 503-245-0291
CONTACT: JUSTIN HURLEY BRASHELL
- CIVIL ENGINEER:**
KPFF CONSULTING ENGINEERS
111 SW FIFTH AVENUE, SUITE 2500
PORTLAND, OREGON 97204
TEL: 503-227-3251
CONTACT: MARK REULAND
- ARCHITECT:**
TVA ARCHITECTS
920 SW SIXTH AVENUE, SUITE 1500
PORTLAND, OREGON 97204
TEL: 503-220-0668
CONTACT: ROBERT THOMPSON
- STRUCTURAL ENGINEER:**
KPFF CONSULTING ENGINEERS
111 SW FIFTH AVENUE, SUITE 2500
PORTLAND, OREGON 97204
503-227-3251
CONTACT: ANNE MONNER
- ELECTRICAL ENGINEER:**
LANDIS CONSULTING
8446 FARROW AVENUE SE SUITE 220
SALEM, OR 97306
TEL: 503-864-1978
CONTACT: BEN PERRY
- MECHANICAL/PLUMBING ENGINEER:**
MEP CONSULTING, LLC
9220 SW BARBER BLVD #119-324
PORTLAND, OR 97219
TEL: 503-248-6300
CONTACT: DAVID R. KEYS
- LANDSCAPE ENGINEER:**
DESANTIS LANDSCAPES
7907 STATE STREET
SALISBURY, OR 97137
TEL: 503-248-5300
CONTACT:

SITE DESCRIPTION

ADDRESS:
THE ENTIRETY OF THE LOT LOCATED IN THE SE QUARTER OF SECTION 1 TOWNSHIP 11 SOUTH, RANGE 4 WEST, WILLAMETTE MERIDIAN BENTON COUNTY AND A PORTION OF ADJACENT TAX LOT 400.
PROPERTY ID: 1149101A TAX LOT 700 AND A PORTION OF TAX LOT 400

LOT COVERAGE

PRIVATE PROPERTY	EXISTING	PROPOSED	W/ FUTURE ROAD
IMPERVIOUS	2,637 SF (5.9%)	38,665 SF (80.0%)	40,297 SF (83.3%)
PERVIOUS	45,738 SF (94.1%)	8,990 SF (18.0%)	8,079 SF (16.7%)
TOTAL AREA = 48,375 SF			

NOTICE TO EXCAVATORS:
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THESE RULES ARE SET FORTH IN OUR 952-001-0010 THROUGH OUR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS
Dig Safely.
Call the Oregon One-Call Center
1-800-332-2344

SHEET INDEX

SHEET NO	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS
C200	DEMOLITION PLAN
C300	CIVIL SITE PLAN
C400	UTILITY PLAN
C450	STORM DRAINAGE PLAN
C500	GRADING PLAN
C550	EROSION AND SEDIMENT CONTROL PLAN
C600	DETAILS
C601	DETAILS
C602	DETAILS
C603	DETAILS
FD-1	FIRE ACCESS PLAN

Revisions:

No.	Date	Description
1	01/17/18	PERMIT REV
2	01/24/18	PERMIT REV 2

100% CD

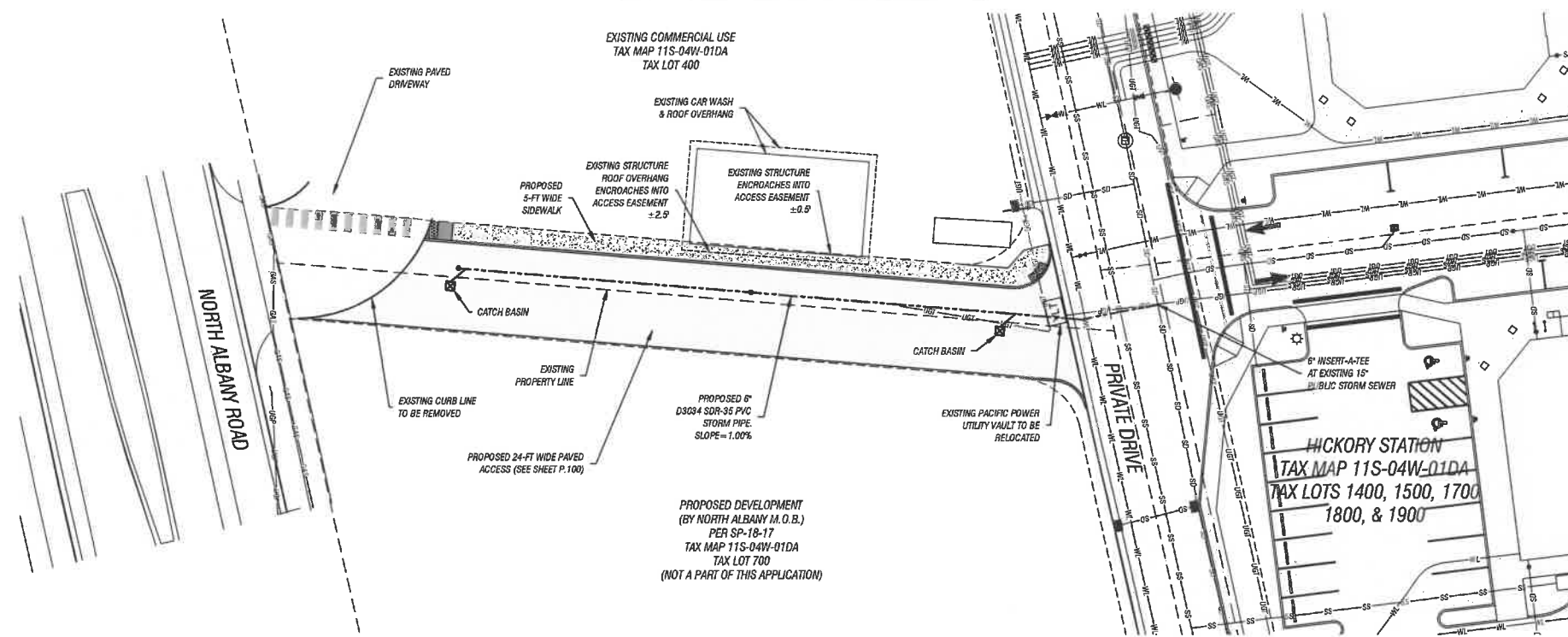
Project # 16092

City Use Only	COVER SHEET
	C001

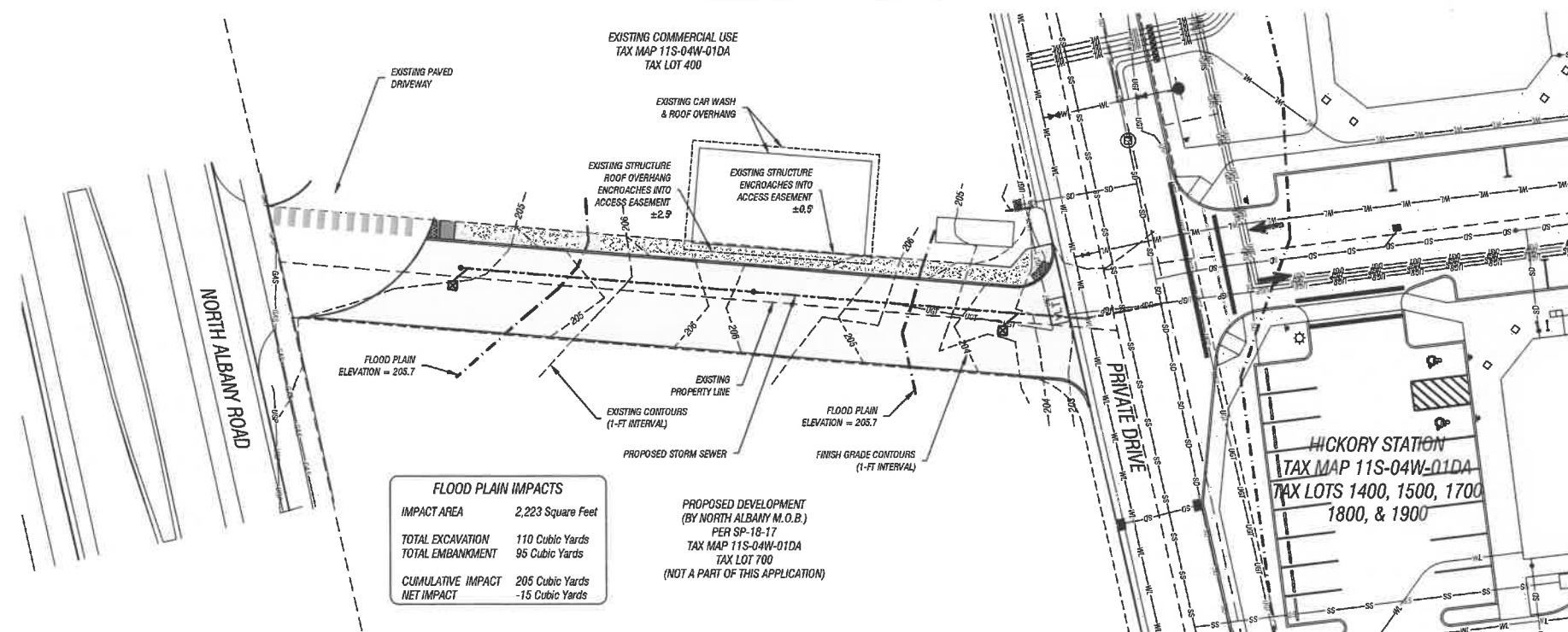
Date: 11/17/17

North Albany M.O.B.
Albany, Oregon 97321

PRELIMINARY STORM DRAINAGE PLAN



PRELIMINARY GRADING PLAN



TKP ENGINEERING
P.O. BOX 374
Corvallis, OR 97339
Phone (541) 760-7205
Fax (866) 861-5704



STORM SEWER &
GRADING PLAN

ACCESS EASEMENT
IMPROVEMENTS
PREPARED FOR:
HICKORY STATION, LLC



DATE 2/21/2018

PROJECT 13-015

DWG 13-015.DWG

REVISION	DATE

SHEET P.101

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