



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF DECISION

DATE OF NOTICE: April 25, 2018
FILE: SP-11-18
TYPE OF APPLICATION: Site Plan Review of a two-story addition (approx. 2,296 square feet) to an existing building and associated site improvements.
REVIEW BODY: Staff (Type I-L process)
PROPERTY OWNER / APPLICANT: Jennifer Gilmore-Robinson; ABC House, Inc; 1054 29th Avenue SW, Albany, OR 97321; 541-926-2203
ARCHITECT / REPRESENTATIVE: Lori Stephens; Broadleaf Architecture; 534 NW 4th Street, Corvallis, OR 97330; 541-753-2900; info@broadleafarchitecture.com
ADDRESS: 228 SW 5TH AVE, ALBANY, OR 97321
MAP/TAX LOT: Linn Tax Assessor's Map No(s): 11S-03W-07BB Tax Lot 5700
ZONING: Downtown Mixed Use (DMU); Hackleman Monteith (HM)

On April 24, 2018, the City of Albany Community Development Director granted **APPROVAL with CONDITIONS** of the applications referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact **Laura LaRoque, Project Planner** at 541-917-7640 or Bob Richardson, Planning Manager, at 541-917-7555.

The City's decision may be appealed to the State Land Use Board of Appeals (LUBA) if a person with standing files a completed Notice to Appeal application and the associated filing fee no later than 21 days from the date the City mails the Notice of Decision. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Albany Development Code Section 12.600, or if the development did not require public infrastructure, a valid building permit exists for new construction or improvements and work has commenced.

Community Development Director

Attachments: Location Map, Site Plan, Elevation Drawings

Appeal Deadline: May 15, 2018
Approval Expiration Date (If not appealed): April 25, 2021

CONDITIONS OF APPROVAL

- Condition 1 **Encroachment Permit.** Prior to issuance of a certificate of occupancy, the applicant shall obtain an encroachment permit for driveway modifications on 6th Avenue and Broadalbin Street. The new driveway on 6th Avenue shall be a minimum of 24 feet in width and located as shown on the approved site plan. The site's existing driveway on Broadalbin shall be reduced to 15 feet in width. The section of driveway to be removed shall be replaced with standard curb, gutter, and sidewalk.
- Condition 2 **Bicycle Parking.** Prior to issuance of a certificate of occupancy, a total of six bicycle parking spaces shall be installed, with at least two sheltered, in conformance with the requirements at ADC 9.120(13)(e-h).
- Condition 3 **Exterior Lighting.** Prior to issuance of a certificate of occupancy, all exterior lighting fixtures, including pole mounted lights, shall be of a shielded, full cut-off design.
- Condition 4 **Final Landscape & Irrigation Plan.** Prior to issuance of a certificate of occupancy, a revised landscape and irrigation plan shall be submitted to the City Planning Division for review and approval. The final plan shall include planting and irrigation details, dimensions, and calculations, and notes as necessary to verify the required landscape standards of ADC 9.150(1), the screening and buffering standards of ADC 9.210 – 9.270 and Table 9-4, parking area tree canopy cover of ADC 8.460(3), and perimeter parking area screening standards of ADC 8.470(1) are satisfied.
- Condition 5 **Completion Guarantee.** Prior to issuance of a certificate of occupancy, all proposed and required site improvements, including the installation of required landscaping and irrigation, shall be completed in accordance with approved plans or guaranteed in accordance with ADC 9.190. Any changes to approved plans must be reviewed and approved by the Albany Planning Division and be in compliance with landscape standards of ADC 9.150(1), the screening and buffering standards of ADC 9.210 – 9.270 and Table 9-4, and parking area tree canopy cover of ADC 8.460(3).
- Condition 6 **Refuse Container Screening.** Prior to issuance of a certificate of occupancy, all required screening for refuse containers or disposal areas shall be installed in accordance with ADC 4.300.
- Condition 7 **Pedestrian Amenities.** Prior to the issuance of a certificate of occupancy, a minimum of three pedestrian amenities shall be installed in accordance with ADC 8.360(2-4).

INFORMATION FOR THE APPLICANT

Please read through the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Albany Development Code (ADC) regulations or administrative policies of the Planning, Public Works, Fire, or Building Departments that you must meet as part of the development process.

You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

PLANNING

Land use approval does not constitute Building or Public Works permit approvals.

BUILDING DIVISION

PERMITS

1. Obtain Building Permits prior to any construction. Separate permits are required for underground fire lines, fire sprinklers, fire alarms, electrical work, parking lots, and exterior signs.
2. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively. More information about the EPSC permit can be found on the City of Albany web page.

PLAN REVIEW FOR PERMITS

3. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.

CODES

4. The current building codes are subject to change late 2017 or early 2018. They currently are:
 - a. The 2014 Oregon Structural Specialty Code (OSSC) based on the 2012 International Building Code (IBC)
 - b. The 2014 Oregon Energy Efficiency Specialty Code (OEESC),
 - c. The 2014 Oregon Mechanical Specialty Code (OMSC) based on the 2012 International Mechanical Code (IMC) and 2012 International Fuel Gas Code
 - d. The 2017 Oregon Plumbing Specialty Code (OPSC) based on the 2011 Uniform Plumbing Code
 - e. The 2014 Oregon Fire Code (OFC) based on the 2012 International Fire Code (IFC) (Not used for construction. Use OSSC Appendix N.)
 - f. The 2017 National Electrical Code (NEC) with Oregon amendments.
 - g. 2013 NFPA 13 for fire sprinklers
 - h. 2013 NFPA 72 for fire alarms.

ENGINEERING

5. This new building will be required to have all construction documents and engineering calculations prepared, signed, and sealed by an Oregon registered engineer or architect.
6. Provide a geotechnical report from a soils engineer that shows the soil conditions will support the proposed structure.
7. The building is to be designed for wind loads determined per **Chapters 26 to 30 of ASCE 7 (2010)** and **2014 OSSC 1609** using **Figures 1609A, B, or C** for the **Ultimate Design Wind Speeds** for the appropriate **Risk Category** determined from **OSSC Table 1604.5**. Snow loads shall be determined by **Chapter 7** of the **ASCE 7 (2010)** and the **December 2007 Snow Load Analysis for Oregon**. Design roof snow to be not less than 20 psf. It usually works out to 25# with rain on snow and higher with drifting.

Seismic loads are calculated per **OSSC 1613 and ASCE 07-10 except for Chapter 14 and Appendix 11A** which were not adopted. Seismic Design Categories are determined by **OSSC 1603 or ASCE 7**.

OCCUPANCY

8. Group B allowing office.

OCCUPANT LOAD

9. The occupant load of an office space is found by dividing the gross floor area by 100. Storage and area is divided by 300 and assembly areas using unconcentrated loading use 15 square feet per person. **OSSC Table 1004.1.2**

ALLOWABLE AREA/TYPE OF CONSTRUCTION

10. The size and height of the building and the floor level allowed for the various occupancies is determined by **OSSC Table 503** and building modifications allowed by **OSSC 506.1** for building area increases due to fire sprinklers and yards. (Basic allowable area without any modifications for Group B Type VB construction is 9,000 square feet per story.)
11. Fire resistance rating of exterior walls of commercial buildings shall be as per **OSSC Tables 601 and 602** with opening protection as per **OSSC 705.8.1 through 705.8.6** and **OSSC Table 705.8** If the building maintains 10' or more set-back to the property line or an assumed property line between two buildings on the same property, rated exterior walls and parapets would not be required unless required by the type of construction.
12. Parapet walls are required as per **OSSC 705.11**. See the 6 exceptions. Fire separations in the building will depend on the use of incidental use, accessory use, separated or non-separated use provisions of **OSSC 508**.

ENERGY

13. The buildings shall meet the requirements of the **2014 Oregon Energy Efficiency Specialty Code (OEESC)**, for exterior envelope, lighting, and mechanical and ventilation systems.
14. COMcheck work sheets will be required at plan review. Than COMcheck program can be downloaded at <http://energycode.pnl.gov/COMcheckWeb>

VENTILATION

15. Buildings shall be provided with either natural ventilation per **2014 OSSC 1203.4** or mechanical ventilation per **2014 OMSC Chapter 4**. Using **OMSC** and the **2014 OEESC**, provide ventilation calculations to determine outside air requirements as per **OMSC 403** and **Equations 4-1 through 4-8**. COMcheck forms will be required.

DRAFT STOPPING

16. **OSSC 718.4.3** requires draft stopping to be installed in attics and concealed roof spaces of combustible construction, such that any horizontal area does not exceed 3,000 square feet. Exception: Not required in fire sprinkled buildings using NFPA 13 systems.

ACCESSIBILITY

17. All commercial facilities will be required to be fully accessible to the disabled. Provide at least one accessible route to the public way. Where there is more than one building on the site, an accessible route is to be provided between the accessible buildings and the accessible site facilities. **OSSC 1104.1**
18. Provide accessible parking per **ORS 447.233 numbers (1) through (7)** and **OSSC Chapter 11** which also references **ICC/ANSI A117.1-2009**.
 - a. **OSSC Figures 1-10** limit the slope of the parking space and aisle to 2 percent in any direction.

- b. **OSSC 1106.6** requires accessible parking to be located on the shortest practical accessible route of travel from parking to an accessible building entrance. Where buildings have multiple entrances, accessible parking shall be dispersed and located near the accessible entrances.
- 19. Where drinking fountains are provided, no fewer than two are required. One for a standup person and one for people who use wheelchairs. A single unit meeting all of the requirements is also allowed. **(OSSC 1109.5)** Refer to **ICC/ANSI 602** for specific details.
- 20. . At least one of each type of fixture, element, control or dispenser in each accessible toilet room and bathing room shall be accessible. See **OSSC 1109.2 Exceptions 1-5**.
- 21. Where lockers are provided, at least five percent but not less than one of each type shall be accessible. **OSSC 1109.9**
- 22. Sales and service counters shall comply with **ICC 904.3.1** (parallel) or **904.3.2** (forward) approach.
- 23. Where more than one means of egress are required by **OSSC Table 1021.2 and Table 1021.1(2)** each accessible portion of the space shall be served by not less than two accessible means of egress. **(OSSC 1007.1)**. This can be achieved by any of the means listed in **OSSC 1007.2**: Accessible routes, interior exit stairs, interior exit access stairs, elevators, etc.
- 24. In order to be considered an accessible means of access, a stairway must be at least 48 inches in width between the handrails as per **OSSC 1007.3** and shall incorporate an area of refuge within an enlarged floor-level landing. The 48-inch clear width and the area of refuge are not required in a fully fire sprinkled building. **OSSC 1007.3 and exceptions**

ELEVATORS

- 25. An elevator is required for a two-story office building with 3,000 square feet or more on the 2nd floor. **ORS 447.247 and OSSC 1104.4 Exception 1**
- 26. In order to be considered part of an accessible means of egress, an elevator shall comply with emergency operation and signaling device requirements of Section 2.27 of ASME A17.1. Standby power per **OSSC 27 and 3003** shall be provided. The elevator shall be accessed from either an area of refuge complying with **OSSC 1007.6** or a horizontal exit.

AREA OF REFUGE

- 27. The area of refuge is required for the stairs and the elevator unless the building is fully protected with fire sprinklers. **OSSC 1007.3 Exceptions 1 & 2 and 1007.4 Exception 4**
- 28. See **OSSC 1007.3** for stair size details due to the area of refuge.
- 29. See **OSSC 1007.6** for size, construction, and separation requirements for the area of refuge.
- 30. See **OSSC 1007.6.3 through 1007.8.11** for area of refuge communication, signage, and posted instruction requirements.

RESTROOMS

- 31. The number of restrooms is found by using the occupant load of the building. Fractional numbers are rounded up. When there are over 15, both male and female are required. **OSSC Table 2902.1**

DRAINAGE

- 32. Provide a complete drainage plan for all hard surface drainage areas. Shape lot to facilitate surface, gutter, and under-floor drainage to the street or an approved system or area.

FIRE SPRINKLERS

33. Fire sprinklers are not normally required in Group B occupancies.
34. If provided, all fire sprinklers and fire hydrant calculations are required to use the latest City of Albany Water Model Data information for designs. Contact the Building Division for current numbers prior to design and submittal of application for permits.

FIRE ALARMS

35. Fire alarms are required for Group B occupancies when there are 100 or more occupants above the 1st floor. **OSSC 907.2.2 #2**

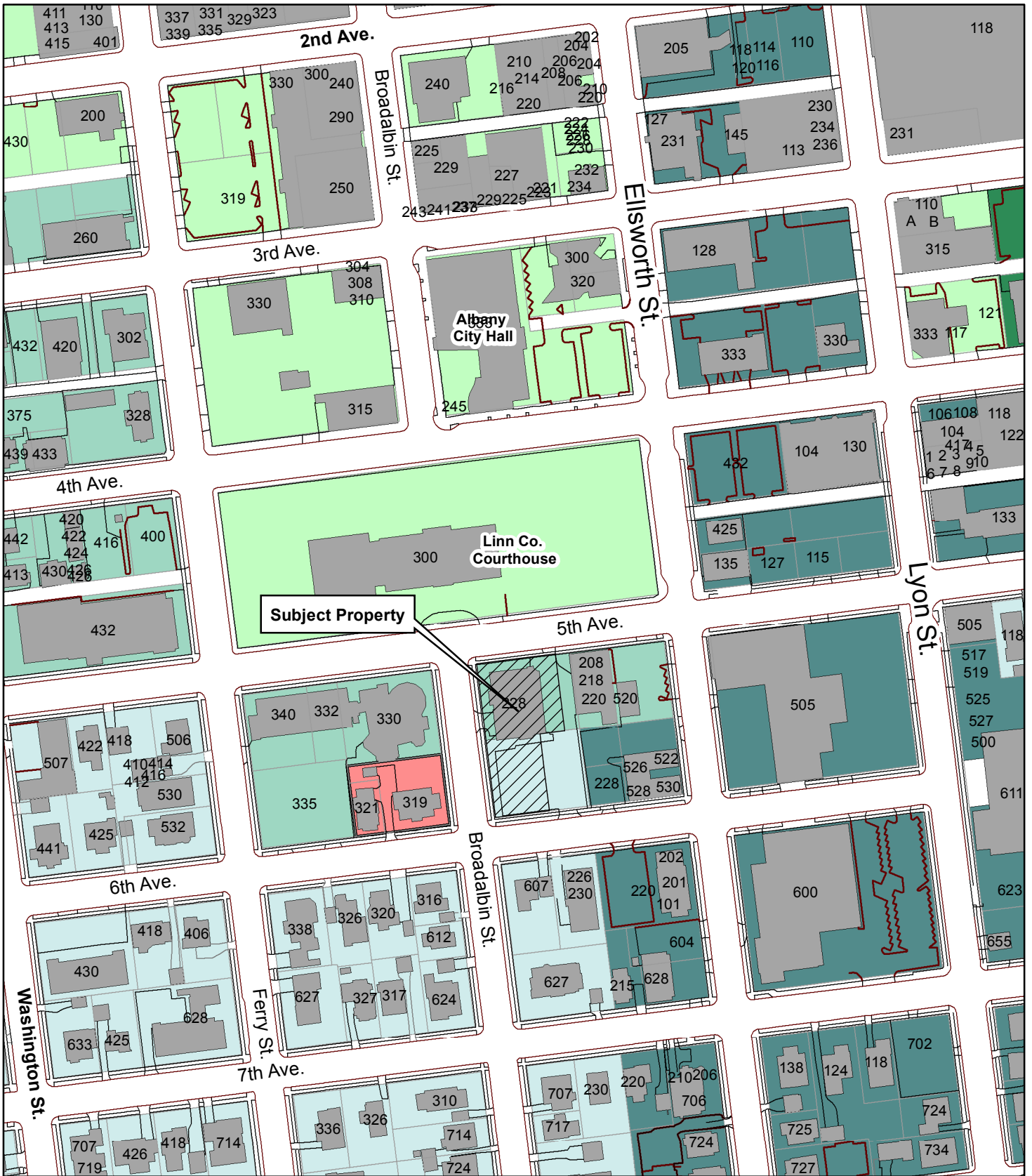
FIRE DEPARTMENT

1. Location of the Fire Department Connections (FDCs) that will serve any fire sprinkler system(s) protecting the building shall be installed at a location approved by the Albany Fire Department and shall be provided with approved STORZ fitting and locking STORZ cap. The FDC shall be located near the site entrance as not to obstruct subsequent arriving fire apparatus and within 40 feet of a fire hydrant (public fire hydrants whenever possible). (OFC 903.3.7 and Albany Fire Department requirements)

FDCs shall be located remote from building at a distance of at least one and on-half times the building height when possible. The NW corner of the property would be an acceptable location for the Fire Department Connection (FDC). The FDC needs to be located within 40 feet of a fire hydrant, or as close as is feasible given the existing conditions.

PUBLIC WORKS - ENGINEERING

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained in our records.



Location Map: 228 5th Avenue SW



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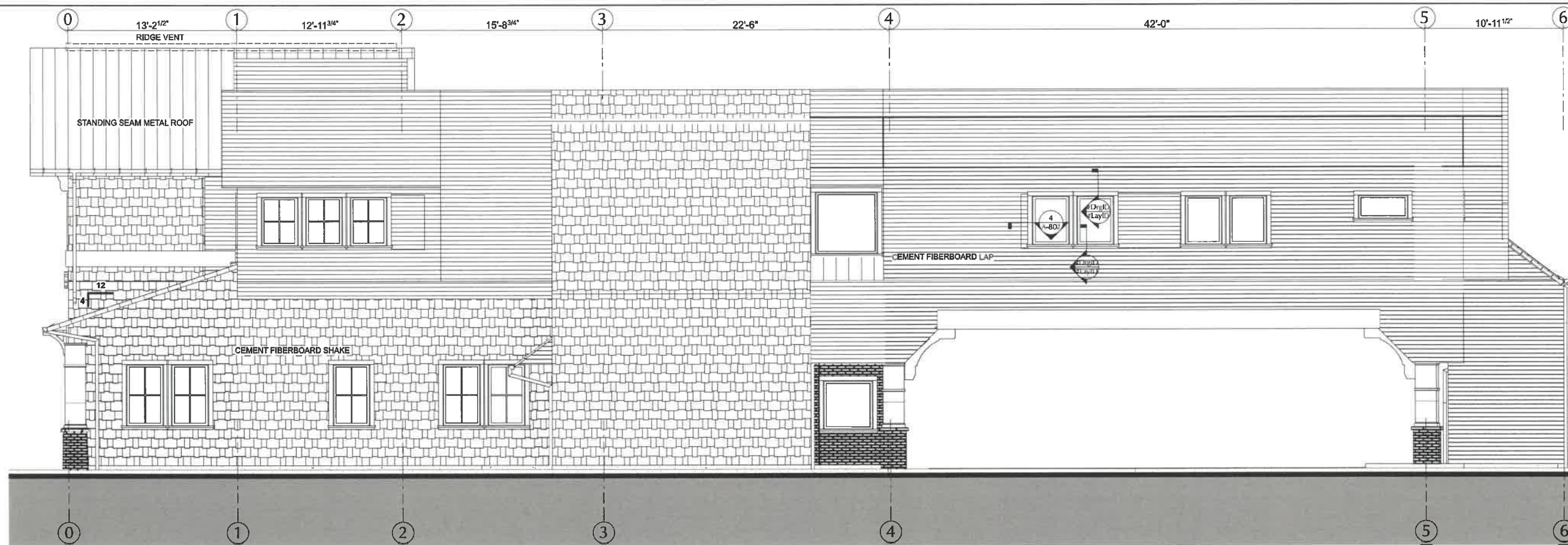


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March 12, 2018

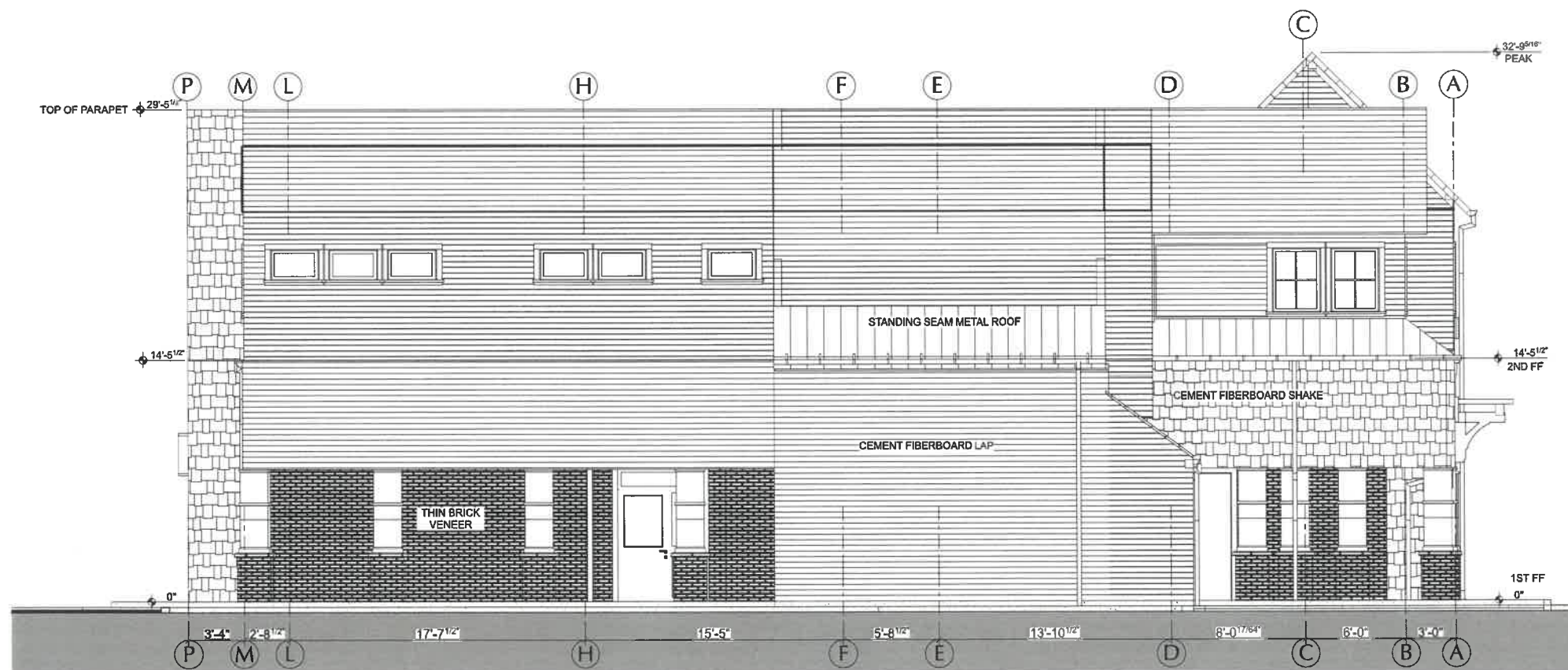
Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550



1 West Elevation
 A-201 SCALE: 1/4" = 1'-0"

MATERIALS LIST:
 SLOPED ROOFS: STANDING SEAM METAL ROOF - CHARCOAL COLOR.
 CEMENT FIBERBOARD LAP SIDING: EVENING BLUE COLOR.
 CEMENT FIBERBOARD SHAKE STYLE SIDING: CYPRESS COLOR.
 THIN BRICK VENEER: RED (OLD MILL-INDEPENDENCE).
 TRIM: FRENCH VANILLA COLOR.



2 South Elevation
 A-201 SCALE: 1/4" = 1'-0"

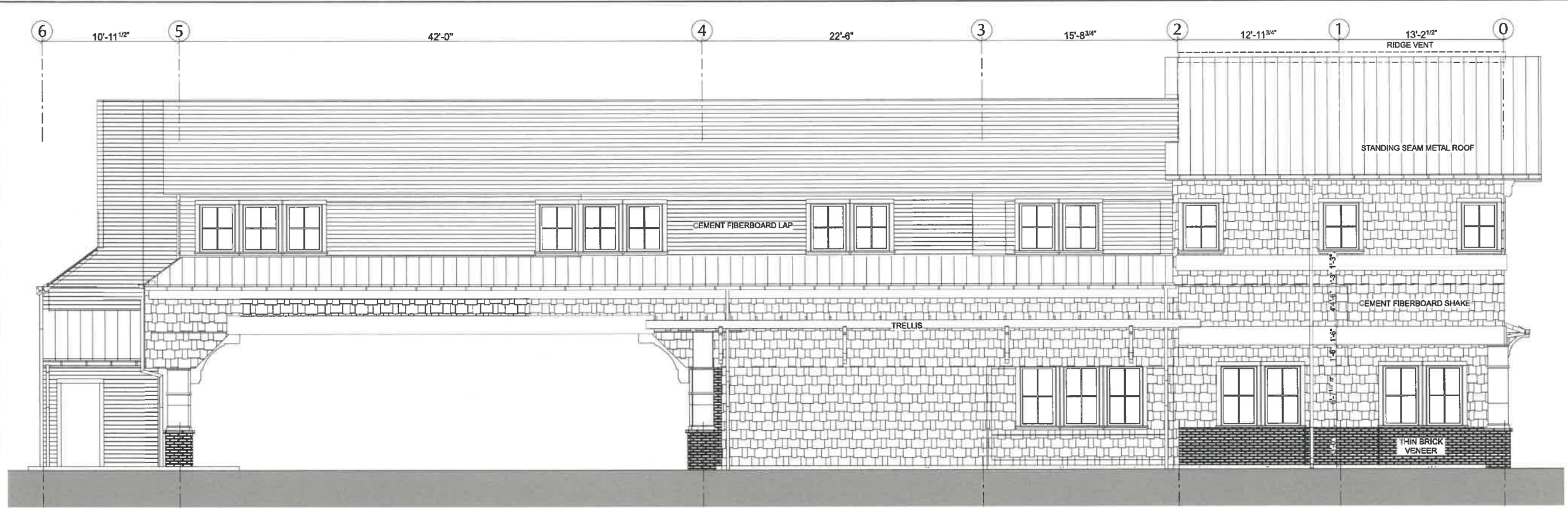
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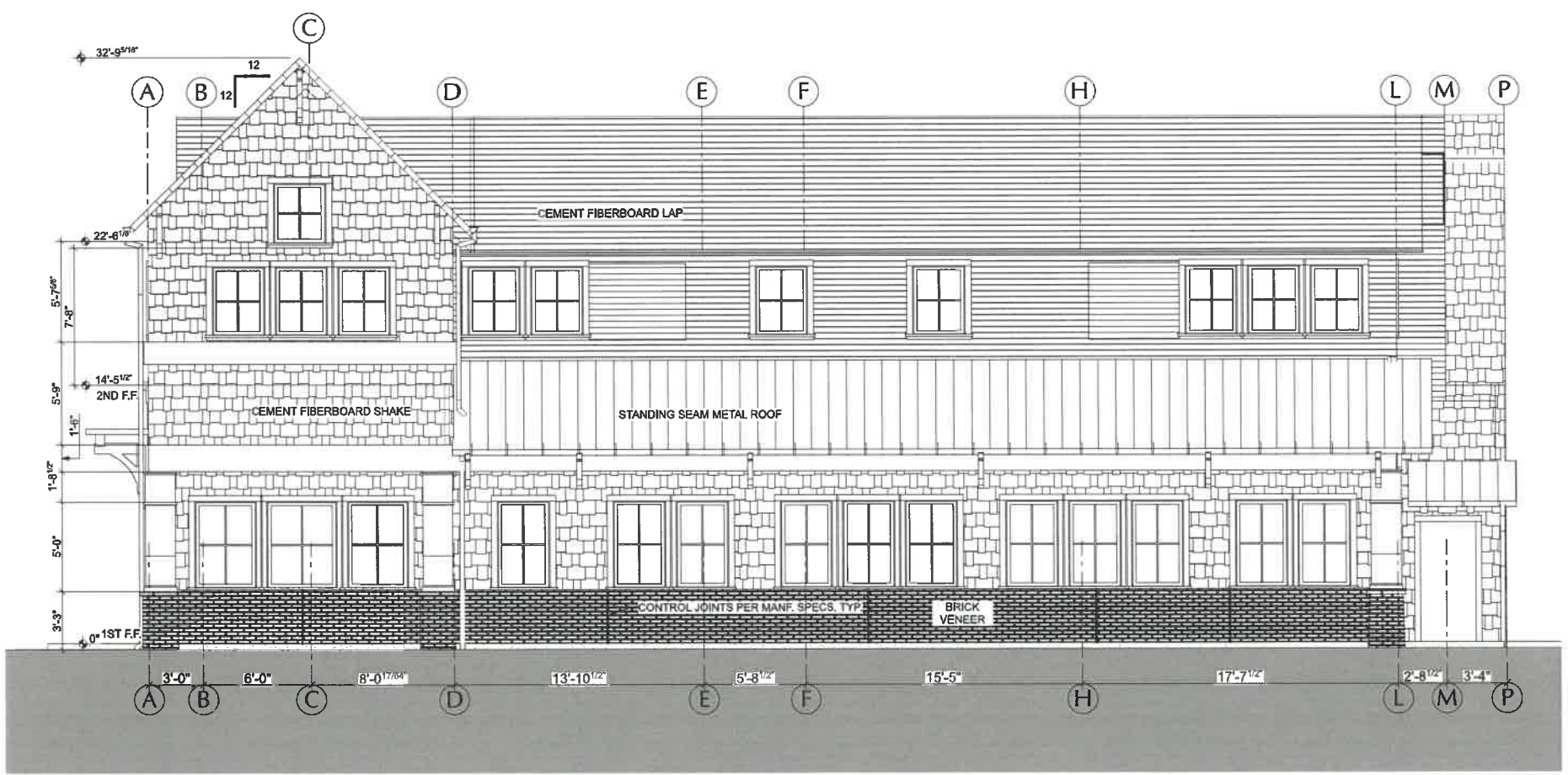
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 Wednesday, February 21, 2018
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SHEET TITLE
Exterior Elevation

A-201



1 East Elevation
 A-202 SCALE: 1/4" = 1'-0"



2 North Elevation
 A-202 SCALE: 1/4" = 1'-0"

- MATERIALS LIST:**
- SLOPED ROOFS: STANDING SEAM METAL ROOF - CHARCOAL COLOR.
 - CEMENT FIBERBOARD LAP SIDING: EVENING BLUE COLOR.
 - CEMENT FIBERBOARD SHAKE STYLE SIDING: CYPRESS COLOR.
 - THIN BRICK VENEER: RED (OLD MILL-INDEPENDENCE).
 - TRIM: FRENCH VANILLA COLOR.

BROADLEAF ARCHITECTURE PC
 LORI STEPHENS ARCHITECT
 624 NW 4TH ST
 CORVALLIS, OREGON 97330
 503-325-1700
 www.broadleafarch.com
 http://www.broadleafarch.com

REGISTERED ARCHITECT
 4711
 LORI STEPHENS
 CORVALLIS, OREGON
 STATE OF OREGON

ABC House Albany Remodel
 228 SW 6th Ave
 Albany, Oregon
 PHONE# 541-926-2203

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SHEET TITLE
Exterior Elevation

A-202