



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF FILING

DATE OF NOTICE: March 16, 2018

FILES: SP-11-18

TYPE OF APPLICATION: Site Plan Review of a two-story addition (approx. 2,296 square feet) to an existing building and associated site improvements.

REVIEW BODY: Staff (Type I-L process)

APPLICANT: Lori Stephens; Broadleaf Architecture; 534 NW 4th Street, Corvallis, OR 97330; 541-753-2900; info@broadleafarchitecture.com

PROPERTY OWNER: Jennifer Gilmore-Robinson; ABC House, Inc; 1054 29th Avenue SW, Albany, OR 97321; 541-926-2203

ADDRESS: 228 SW 5TH AVE, ALBANY, OR 97321

MAP/TAX LOT: Linn Tax Assessor's Map No(s): 11S-03W-07BB Tax Lot 5700

ZONING: Downtown Mixed Use (DMU); Hackleman Monteith (HM)

OVERLAY: Monteith Historic District (/HD)

The City of Albany has received the application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is **5:00 p.m. on March 30, 2018**.

A location map and a site plan of the proposed development are attached to this notice. All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit the Planning Division office in City Hall, 333 Broadalbin Street, or telephone **Laura LaRoque, Project Planner**, at 541-917-7640. Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code (ADC), the proposed use is allowed on this property subject to approval of a Site Plan Review permit. The proposed application will be evaluated for consistency with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the ADC. The City may apply conditions of approval to the application to ensure that the proposal will conform to the applicable development standards and review criteria (ADC 2.450).

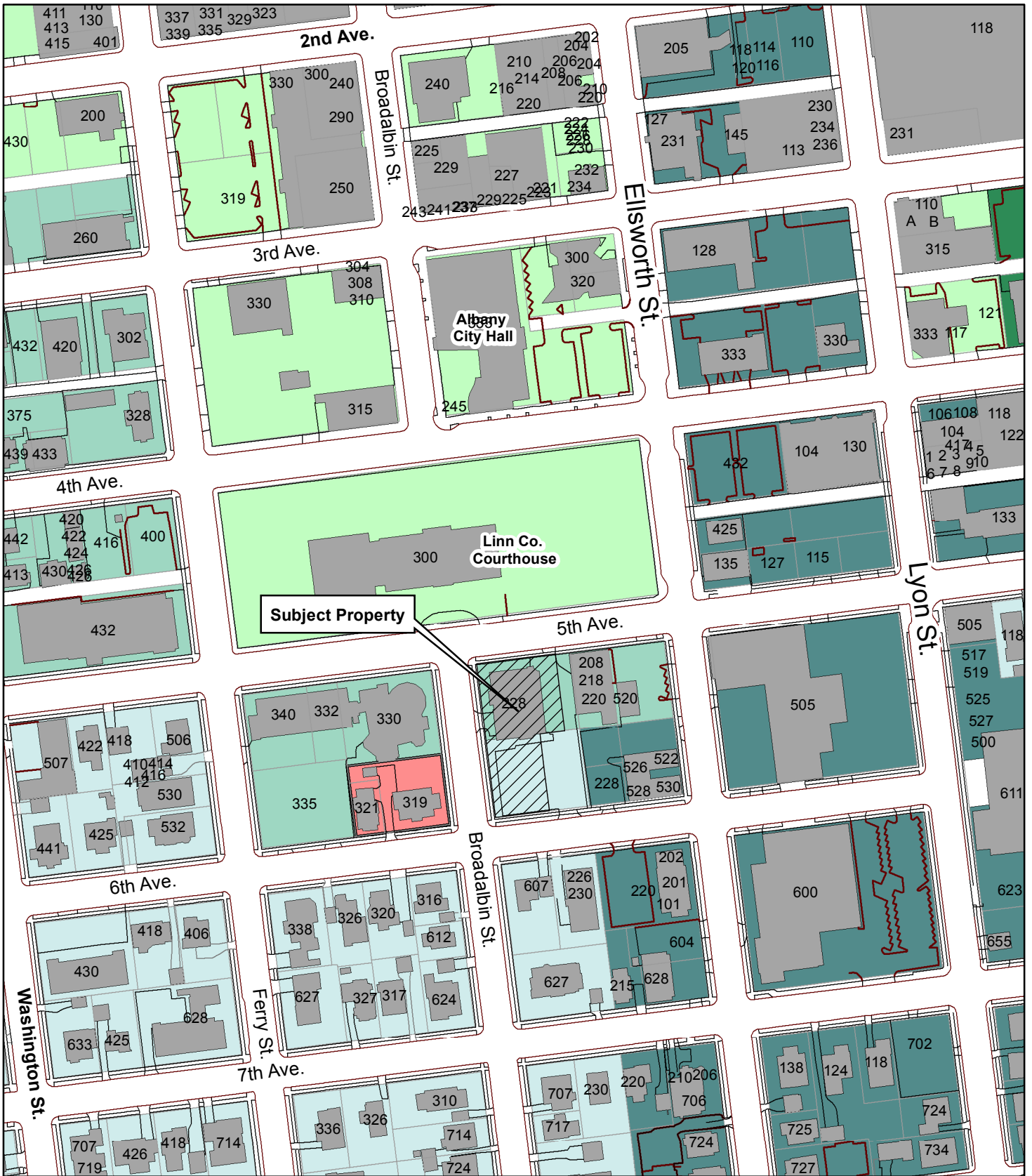
APPROVAL CRITERIA AND STANDARDS FOR THIS REQUEST:

SITE PLAN REVIEW (ADC 2.450)

- 1) Public utilities can accommodate the proposed development.
- 2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- 3) The transportation system can safely and adequately accommodate the proposed development.
- 4) Parking areas and entrance/exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- 5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- 6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- 7) The site is in compliance with prior land use approvals.
- 8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 4, 6, 9, and 12

Attachments: Location Map, Site Plan



Location Map: 228 5th Avenue SW



The City of Albany's Infrastructure records, drawings and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

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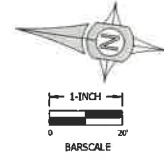
0 40 80 160 240 320 Feet

March 12, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

SITE SUMMARY			
BUILDING			
1ST FLOOR GROSS	1ST FLOOR NET	2ND FLOOR GROSS	2ND FLOOR NET
4,336 SF	2,729 SF	6,840 SF	3,910 SF
TOTAL GROSS AREA	11,176 SF		
TOTAL NET AREA	6,639 SF		
PARKING			
REQUIRED VEHICLE PARKING (OFFICE - 1 SPACE/400 SF NET)	=	6,639 SF/400 SF	= 17
PROVIDED ON-SITE VEHICULAR PARKING	=		23
REQUIRED BICYCLE PARKING (1 SPACE/10 REQUIRED VEHICULAR SPACES)	=		2
PROVIDED BICYCLE PARKING	=		2
LOT COVERAGE			
PARCEL SIZE	20,924 SF		
DOWNTOWN MIXED USE	12,435 SF	(COVERAGE ALLOWED = 100%)	
HACKLEMAN/MONTIETH	8,489 SF	(COVERAGE ALLOWED = 60%)	
	EXISTING	PROPOSED	
BUILDING	190 SF	150 SF	
PARKING LOT	6,670 SF	5,468 SF	
SIDEWALK	000 SF	457 SF (COURTYARD/REFUGE)	
LOT COVERAGE (%)	80.81 %	72.03 %	



CLIENT:
 ABC HOUSE, INC.
 P.O. BOX 68
 ALBANY, OREGON 97321
 (541) 926-2203

OWNER INFORMATION
 ABC HOUSE, INC.
 JENNIFER GILMORE-ROBINSON, EXECUTIVE DIRECTOR
 PO BOX 68
 ALBANY, OREGON 97321
 (541) 926-2203

APPLICANT INFORMATION
 ABC HOUSE, INC.
 JENNIFER GILMORE-ROBINSON, EXECUTIVE DIRECTOR
 PO BOX 68
 ALBANY, OREGON 97321
 (541) 926-2203

PROJECT TEAM

GENERAL CONTRACTOR
 GERDING BUILDERS, LLC
 PROJECT MANAGER: JORDAN GERDING
 200 SW AIRPORT ROAD
 CORVALLIS, OREGON 97333
 (541) 753-2012

ARCHITECT
 BROADLEAF ARCHITECTURE PC
 534 NW 4TH STREET
 CORVALLIS, OREGON 97330
 (541) 753-2900

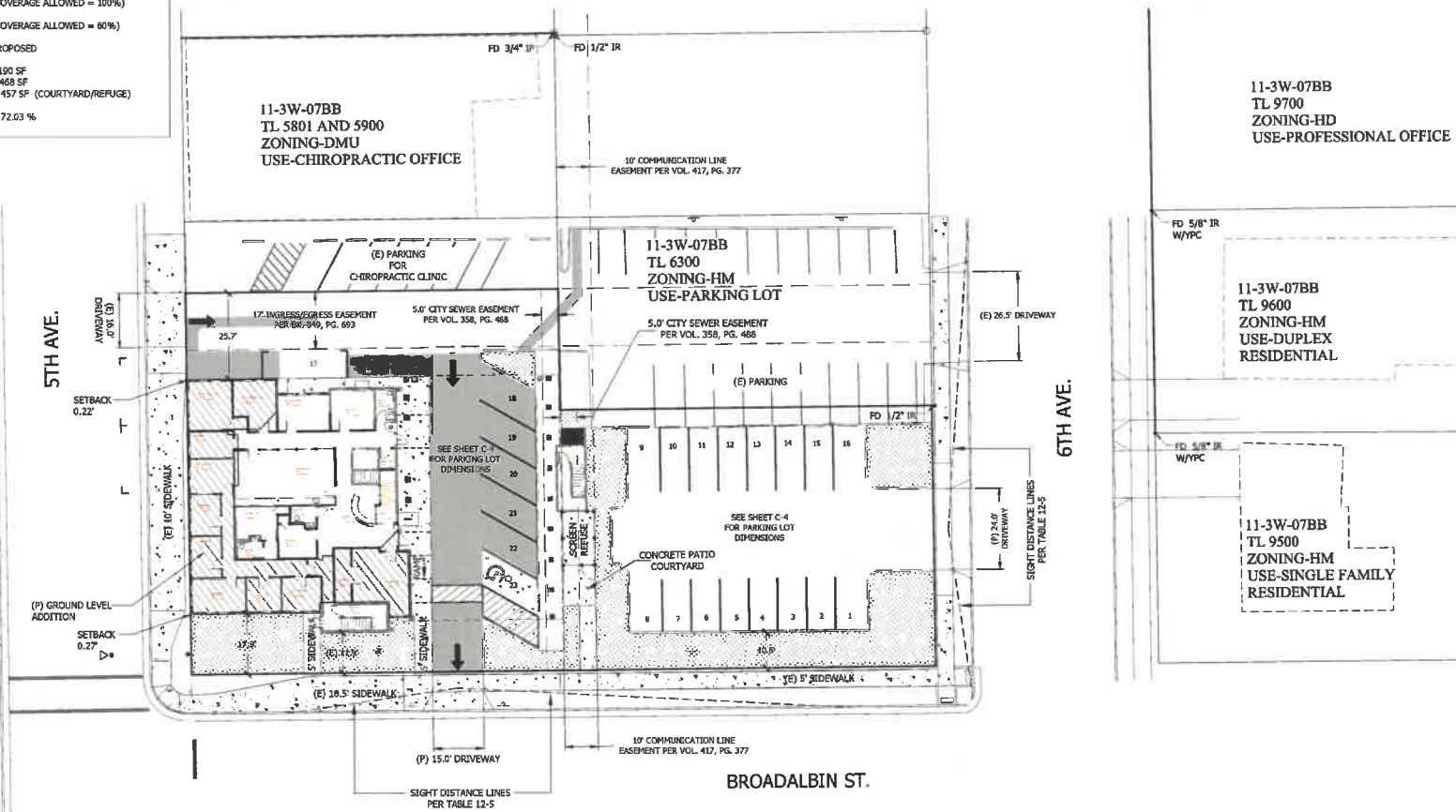
STRUCTURAL ENGINEER
 MCGEE ENGINEERING INC.
 PO BOX 1067
 CORVALLIS, OREGON 97330
 (541) 757-1270

CIVIL ENGINEER
 UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH STREET
 LEBANON, OREGON 97355
 (541) 451-5125

SURVEYOR
 UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH STREET
 LEBANON, OREGON 97355
 (541) 451-5125

PROPOSED SITE PLAN
 ABC HOUSE EXPANSION
 SITE PLAN REVIEW
 228 5th AVENUE
 ALBANY, OREGON 97321

DATE: FEBRUARY 5, 2016
 PROJECT: J16-114
 DRAWN BY: M.L. BOY
 CHECKED BY: BOY



Sheet **C-1**
 SCALE: SEE BARSCALE