



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Staff Report

Site Plan Review

SP-11-20

September 21, 2020

Application Information

Proposal:	Site plan review for a 2,400-square-foot (60-foot x 40-foot) accessory structure on a vacant lot.
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Mark Hull, 139 Kouns Drive NW, Albany, OR 97321
Address/Location	Unaddressed
Map/Tax Lot:	Benton County Assessor's Map No. 11S-04W-02BD; Tax Lot 1300
Zoning:	Residential Reserve (RR)
Overlay Districts:	Hillside Development
Total Land Area:	1.24 acres
Existing Land Use:	Vacant
Neighborhood:	North Albany
Surrounding Zoning	North: Residential Reserve (RR) Zoning District East: RR South: RR West: RR
Surrounding Uses:	North: Vacant, Single-family residential East: Scenic Drive, Single-family residential South: Single-family residential West: Vacant, Single-family residential

Summary

On May 1, 2020, the applicant submitted a site plan review application to construct a residential accessory structure on unaddressed vacant property identified as Benton County Map Number 11S-04W-02BD Tax Lot 1300. The proposed accessory structure is 2,400 square feet (60 feet x 40 feet) with a wall height of 14 feet and an overall height of 21 feet (Attachment C). The proposed structure will have red metal siding with a white metal roof.

The property is zoned Residential Reserve (RR). Accessory buildings in residential districts that are 750 square feet or larger or have walls taller than 11 feet are allowed outright in the RR zone if they meet compatibility

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standards in Section 3.080(9) of the Albany Development Code (ADC). If the compatibility standards are not met, approval of a Site Plan permit is required.

Because the parcel is vacant and no primary structure is proposed, the proposed accessory structure cannot be compared with a primary structure and therefore cannot meet ADC 3.080(9)(e) regarding building material compatibility. Additionally, application materials indicate the proposal does not meet ADC 3.080(9)(b) regarding the size of the building footprint. Since these standards are not met, the proposed accessory structure is required to be evaluated for conformance with the applicable site plan review criteria in Section 2.450 of the ADC.

The analysis in this report finds that all applicable standards and criteria for a site plan review permit are satisfied as conditioned.

Notice Information

A Notice of Filing was mailed to property owners located within 100 feet of the subject property on July 31, 2020. No written comments were received during the 14-day comment period.

Analysis of Development Code Criteria

Section 2.450 of the Albany Development Code (ADC) includes the following review criteria that must be met for this application to be approved. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion 1

Public utilities can accommodate the proposed development.

Findings of Fact and Conclusions

Sanitary Sewer

- 1.1 City utility maps show no public sanitary sewer facilities in this area. The applicant's submittal indicates that no plumbing will be installed in the proposed accessory structure.

Water

- 1.2 City utility maps show a 6-inch public water main running through the subject property in a north-south direction just to the west of the proposed building location. This water line was installed in 1957 and city records show that there is no public utility easement over the main.
- 1.3 Public water facility easements are typically 15 feet in width, centered over the main. Permanent structures are not allowed to encroach on a public utility easement or be placed over a public water line. Therefore, the proposed structure must be constructed at least 7.5 feet away from the public water main.

Storm Drainage

- 1.4 City utility maps show no public storm drainage facilities in this area.
- 1.5 It is the property owner's responsibility to ensure that any proposed construction, grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. Private

drainage systems crossing multiple lots will require reciprocal use and maintenance easements and must be shown on the final plat. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.

Conclusions

- 1.1 The proposed accessory building will not be served by city utilities.
- 1.2 The proposed structure must be constructed at least 7.5 feet away from the existing public water main on the property.
- 1.3 This criterion is met without conditions.

Criterion 2

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact and Conclusions

- 2.1 Section 12.45.040 of the Albany Municipal Code (AMC) states that development may be exempted from a post-construction stormwater quality permit if the development creates and/or replaces less than 8,100 square feet of impervious surface, cumulatively.
- 2.2 Because the project will create and/or replace less than 8,100 square feet of impervious surfaces, no stormwater quality facilities will be required.

Conclusions

- 2.1 The proposed development is exempt from the city's storm water quality requirements.
- 2.2 This criterion is not applicable.

Criterion 3

The transportation system can safely and adequately accommodate the proposed development.

Findings of Fact and Conclusions

- 3.1 The proposed accessory building will be constructed on property that is located on the east side of Kouns Drive (Attachment A). The proposed site plan (Attachment B) shows that the structure will be located near the southwest side of the parcel and that the parcel is large enough to accommodate a future house.
- 3.2 Kouns Drive is not a public right-of-way and is not constructed to city standards.
- 3.3 Trip generation for single-family residential development is based on the number of dwelling units. This accessory building will not increase the number of dwelling units located on the site.
- 3.4 Albany's Transportation System Plan (TSP) does not identify any level of service or safety problems along the frontage of the site.

Conclusions

- 3.1 Because no additional dwelling units are proposed, an increase in vehicle trip generation is not anticipated.
- 3.2 This review criterion is met without conditions.

Criterion 4

Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

Findings of Fact and Conclusions

- 4.1 The subject property will be accessed via a new connection to Kouns Drive, a shared private driveway.
- 4.2 The Albany Development Code does not specify a parking requirement for residential accessory structures except for accessory dwelling units.
- 4.3 ADC 12.100(1) requires that approaches and driveways to city streets and alleys must comply with the city's Standard Construction Specifications, which require, in part, that driveways be paved at least 20 feet as measured from the right of way line. The applicant's written findings (Attachment D) indicate the accessory structure will be accessed via a "short gravel driveway" to Kouns Drive. Because Kouns Drive is a shared private driveway and not a public street, the 20-foot paving requirement in ADC 12.100(1) does not apply.
- 4.4 ADC 12.100(3) requires driveways to be located as far as practical from a street intersection and that in no instance shall the distance from the intersection of a local street be less than 10 feet. The proposed driveway is located over 500 feet from the closet intersection of Kouns Drive and Scenic Drive. This development standard is met.

Conclusions

- 4.1 There is no parking requirement for residential accessory structures.
- 4.2 Because the property is accessed via a shared private driveway, the applicant is not required to pave the proposed driveway connection to Kouns Drive.
- 4.3 The review criterion is met without conditions.

Criterion 5

The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Findings of Fact and Conclusions

- 5.1 Residential accessory structures not meeting compatibility standards require site plan review. Because the subject property does not contain a primary structure, the proposal does not meet compatibility standard ADC 3.080(9)(e) regarding building material compatibility and therefore requires site plan approval. Additionally, the applicant's Residential Compatibility Worksheet (Attachment E) also indicates the foundation of the proposed accessory building is larger than the foundation of the largest building on the adjacent property. Therefore, the proposal does not meet compatibility standard ADC 3.080(9)(b).

- 5.2 Properties within the immediate vicinity of the subject property are primarily two-story single-family residences with attached and detached garages on relatively large parcels. Most of the houses in the vicinity have lap siding in a variety of materials. Roofs in the area are mostly shingled.
- 5.3 The proposed accessory structure would utilize red metal siding with a white metal roof. The proposed accessory structure materials and colors are generally compatible with primary and accessory structures in the neighborhood. No comments were received during the 14-day public comment period regarding the proposed color or material of the accessory structure.
- 5.4 According to the applicant's elevation drawings, the proposed structure will have a wall height of 14 feet with an overall height of 22 feet at the peak of the roof. The structure is 60 feet long by 40 feet wide, for a total of 2,400 square feet. According to the applicant's Residential Accessory Structure Compatibility Worksheet (Attachment E), the height of the tallest building on the adjacent property is approximately 22 feet tall and is located at 139 Kouns Drive NW, the applicant's residence. The applicant also indicated that the foundation of the largest building on the abutting property is 1,800 square feet is also located at 139 Kouns Drive NW.
- 5.5 The proposed accessory structure is approximately the same height as the tallest adjacent building and has a foundation footprint that is approximately 600 square feet larger than the largest adjacent building footprint. No comments were received during the 14-day public comment period regarding the compatibility of the proposed structure with surrounding buildings or the character of the neighborhood.
- 5.6 Maximum lot coverage for parcels zoned RR is 50 percent. Lot coverage for single-family, detached development shall only include the area of the lot covered by buildings and structures. Benton County tax assessment records indicate the property is 1.24 acres (approximately 54,000 square feet). The proposed accessory structure is 2,400 square feet. Therefore, the proposal is well below the 50 percent lot coverage standard.
- 5.7 The RR zone has a minimum front setback of 20 feet and in an interior setback of 5 feet for one-story dwellings. Garages must be setback at least 20 feet from the front property line. Per ADC 3.230, Table 2, detached accessory structures with walls greater than 8 feet require an interior setback of 5 feet. The applicant's site plan does not indicate the distance the building and driveway will be set back from the property line. A condition of approval will require the applicant to submit an updated site plan that demonstrates the front and interior setback standards are met.
- 5.8 For accessory structures located on a property without a residence, ADC 3.080(9) second subsection (a) states that the building shall not preclude the use of the property for housing. The applicant's site plan (Attachment B) demonstrates that a future house can be placed on the parcel and meet all setback standards. Therefore, this standard is met.
- 5.9 For accessory structures located on a property without a residence, ADC 3.080(9)(f)(c) prohibits the use of that structure for commercial purposes. The applicant states in the compatibility worksheet (Attachment E) that the structure will be used as a "residential shop" and "storage."

Conclusions

- 5.1 Residential accessory structures not meeting compatibility standards require site plan review.
- 5.2 The proposal meets the development standards for the RR zone regarding maximum height and lot coverage. The applicant shall submit an updated site plan that demonstrates the front and interior setback standards are met.

- 5.3 Several nearby properties have detached accessory structures. As described in the findings of fact, the design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses.
- 5.4 The proposed accessory structure is shorter than the tallest building on adjacent property and has a foundation footprint that is larger than the largest building on adjacent property. No public comments were received regarding either standard.
- 5.5 This criterion is met with the following condition.

Condition

- Condition 1 Prior to issuance of a building permit, the applicant shall submit an updated site plan that demonstrates the front and interior setback standards are met.
- Condition 2 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

Criterion 6

Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact and Conclusions

- 6.1 *Article 4 Airport Approach district:* According to Figure 4-1 of the Albany Development Code, the subject property is not located within the Airport Approach District.
- 6.2 *Article 6 Steep Slopes, Comprehensive Plan Plate 7:* According to Plate 7 of the Comprehensive Plan, the subject property is located in the Hillside Development overlay district. The applicant provided a geotechnical report (Attachment F) that addresses the criteria listed in ADC 6.200 (1) – (5).
- 6.3 *Article 6 Floodplains, Comprehensive Plan Plate 5:* FEMA/FIRM Community Panel No. 41043C0195H, dated December 8, 2016, shows that the subject property is located in Zone X, an area determined to be outside the 100-year floodplain.
- 6.4 *Article 6 Wetlands, Comprehensive Plan Plate 6:* does not show any wetlands on the subject site. The National Wetland Inventory Map does not show wetlands on the property.
- 6.5 *Article 7 Historic Districts, Comprehensive Plan Plate 9:* shows the subject property is not in one of Albany's historic districts. There are no known archaeological sites on the property.

Conclusions

- 6.1 The proposed structure is located in the Hillside Development overlay district. The applicant submitted a geotechnical report that addresses the criteria listed in ADC 6.200.
- 6.2 Other than the Hillside District, the subject property is not located in a special purpose district.
- 6.3 This criterion is satisfied without conditions.

Criterion 7

The site is in compliance with prior land use approvals.

Findings of Fact and Conclusions

- 7.1 The subject property is not subject to a prior land use approval.
- 7.2 This criterion is not applicable.

Criterion 8

Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Findings of Fact and Conclusions

- 8.1 Single-family residential uses and accessory buildings are allowed uses in the RR zone. The site and uses are not considered nonconforming.
- 8.2 This criterion is not applicable.

Overall Conclusion

This report evaluates the applicant's site plan review permit application to construct a 2,400-square-foot (60-foot x 40-foot) residential accessory building with a wall height of 14 feet and an overall height of approximately 22 feet at the peak of the roof. The proposed development meets all applicable site plan review criteria when the following conditions are met.

Overall Conditions

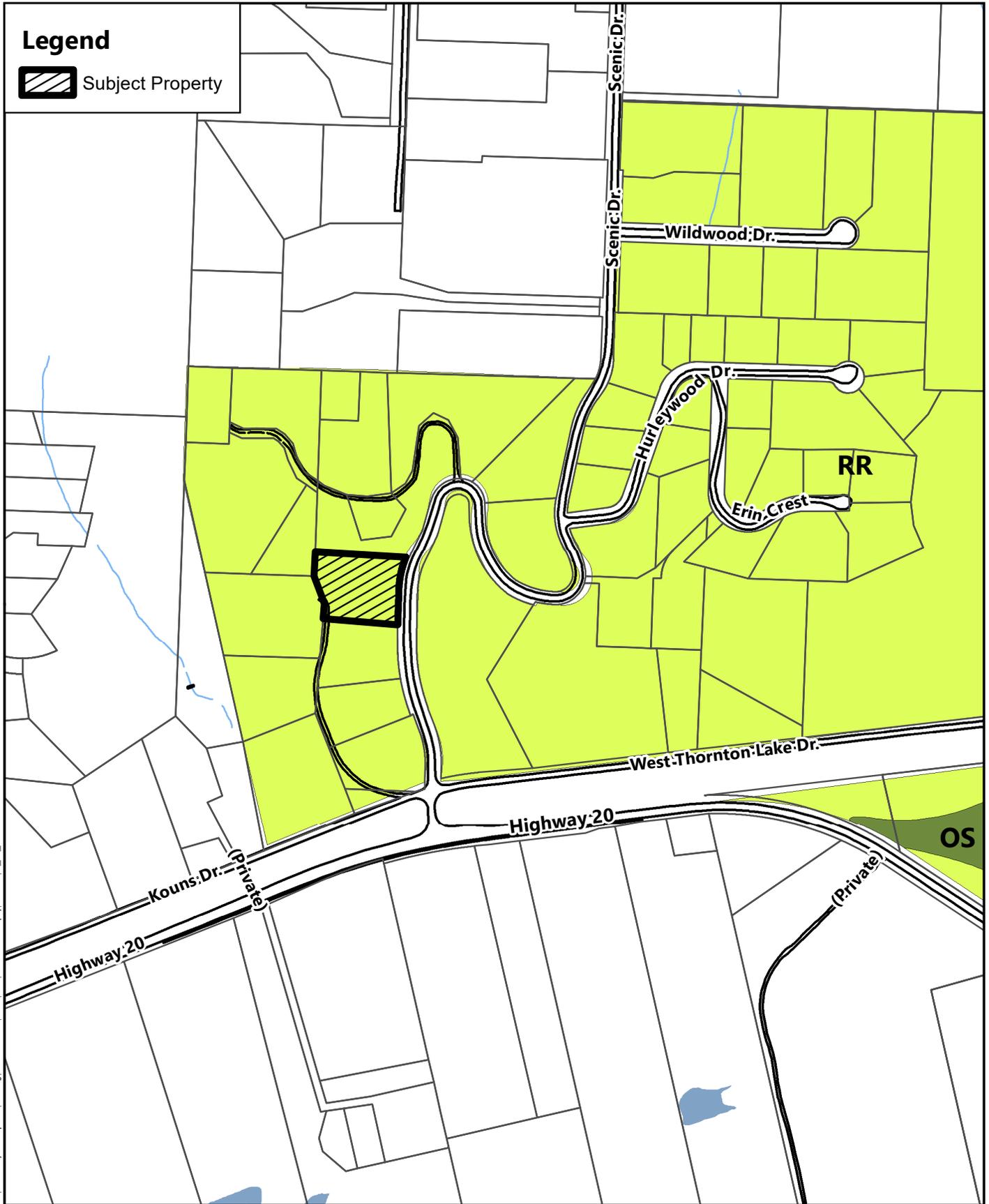
- Condition 1 Prior to issuance of a building permit, the applicant shall submit an updated site plan that demonstrates the front and interior setback standards are met.
- Condition 2 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

Attachments

- A Location Map
- B Site Plan
- C Elevation Drawing
- D Applicant's Written Findings
- E Accessory Structure Compatibility Worksheet
- F Geotechnical Report

Acronyms

ADC	Albany Development Code
AMC	Albany Municipal Code
FEMA	Federal Emergency Management Agency
FIRM	Flood Insurance Rate Map
RR	Residential Reserve Zoning District
SP	Site Plan Review (SP-11-20)
TSP	Albany's Transportation System Plan



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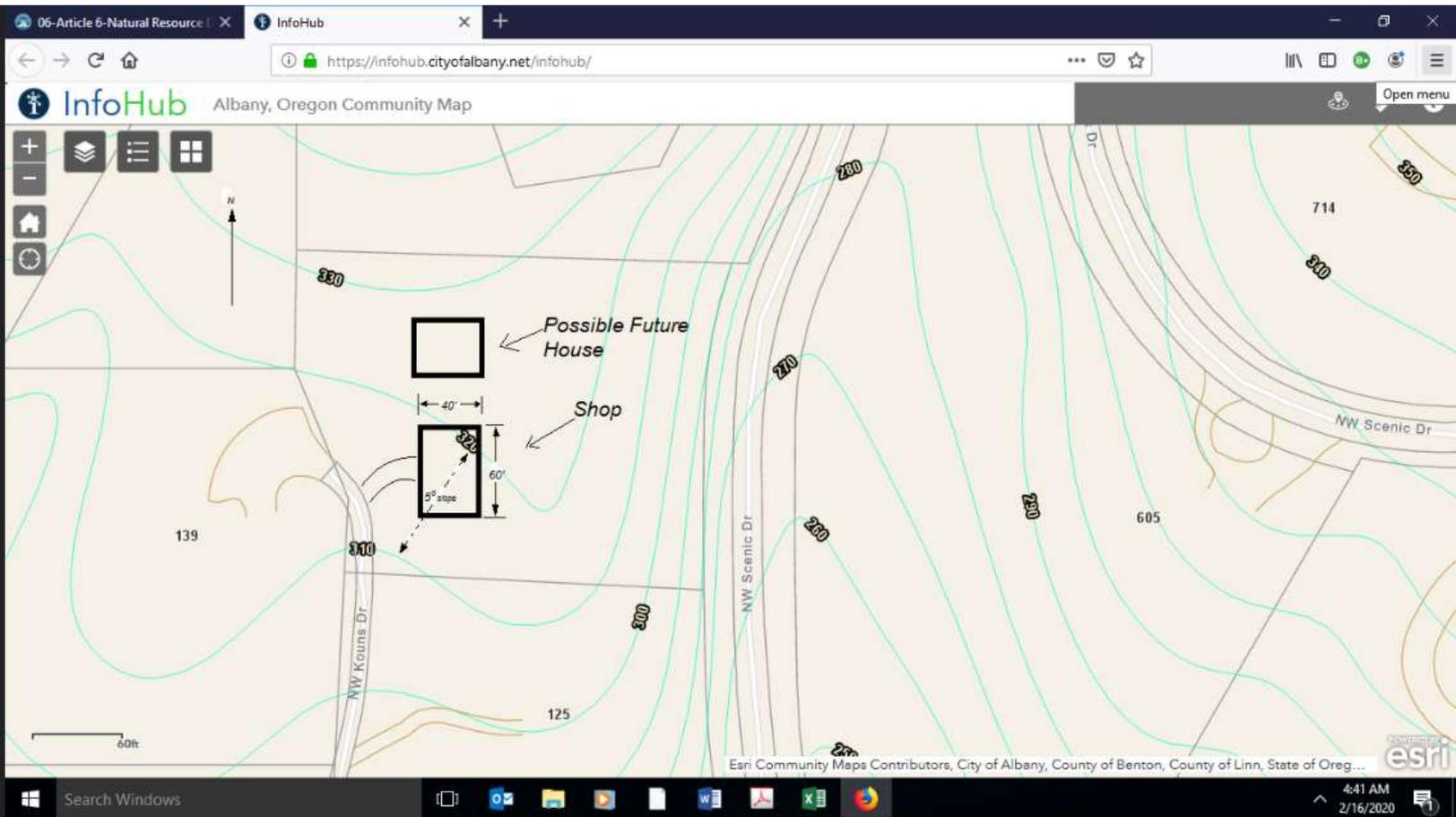


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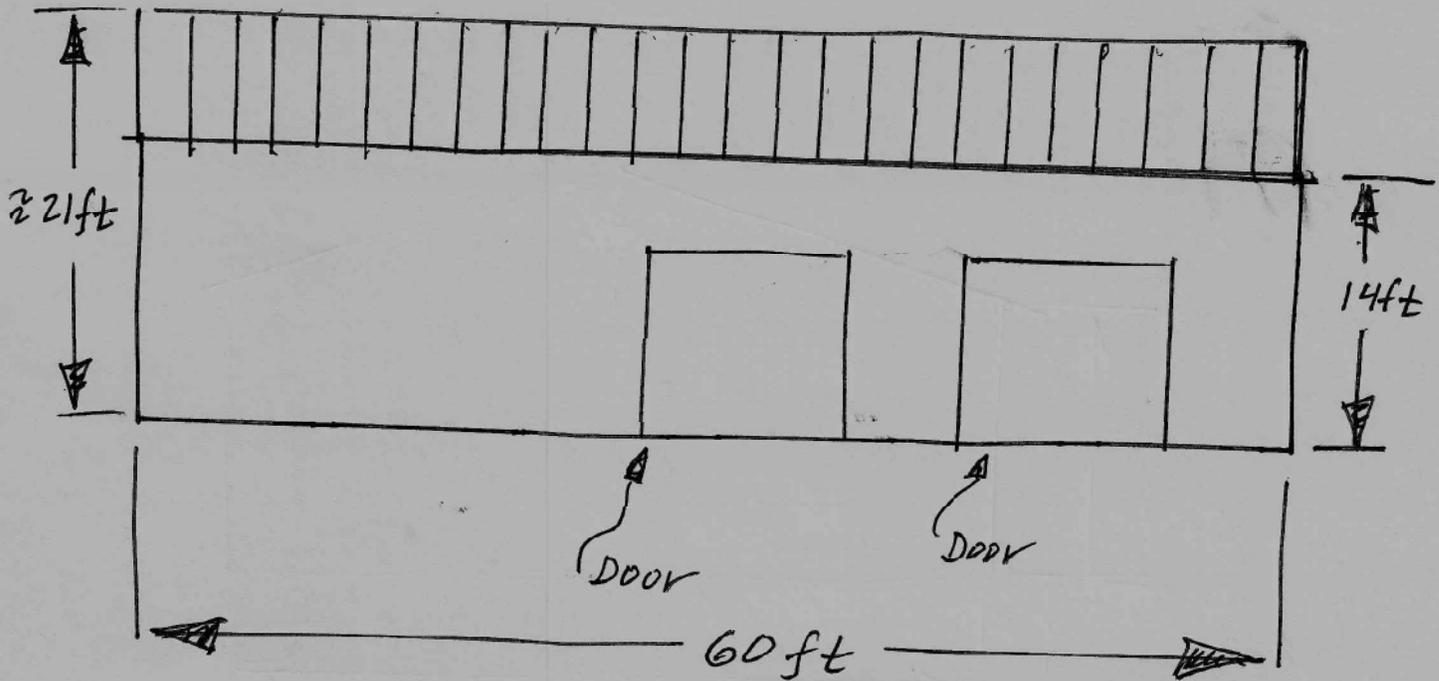
Unaddressed Parcel. Tax Lot 1300.

Date: 5/7/2020 Map Source: City of Albany

Location / Zoning Map



Elevation Drawing Front side view



Review Criteria and Development Standards

- (1) Public utilities can accommodate the proposed development.

The property utilities serving the proposed accessory structure will only be electrical. This will be from a 100 amp source from the home located at 139 Kouns Drive NW.

- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

The roof drainage from proposed structure will be achieved by gutters installed on the west and east sides of the structure and the downspouts will drain to the south of the proposed structure. No significant burden will be placed on the stormwater system in my opinion.

- (3) The transportation system can safely and adequately accommodate the proposed development.

The transportation system will accommodate the development of the structure, a short gravel drive way will connect the proposed structure to Kouns Dr. NW. The structure will be used for storage and a residential workshop and will have minimal vehicular traffic. The proposed driveway is shown on the site plan.

- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

The proposed structure will be accessed by a short driveway that will tie into Kouns Dr NW. The property is at the end of Kouns Dr NW, a "dead end" street with no side walks and minimal pedestrian traffic. Other than our property, there are only two other residences that use Kouns Dr NW to access their residence. So, Kouns Dr NW receives little automobile traffic as well.

- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

The proposal meets the development standards in terms of maximum height, lot coverage and setbacks. The proposed development is reasonably compatible with the surrounding structures. In fact, it will be very similar to a neighbor's pole barn structure.

- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

The subject site is not located within an Airport Approach or Historic district. The subject site is rated as having slopes in excess of 12 degrees. However, the steep slopes of this site are on the East side of the property. The proposed structure will

be on the Westside of the *property* where the slope is approximately 5 degrees (see exhibit). The distance between contour lines was approximated at 123 feet as indicated on the exhibit (5 degrees dashed grade arrow). The 5 degree value was determined as the arctangent of 10 feet of rise over the 123 feet of run shown on the exhibit.

(7) The site is in compliance with prior land use approvals.

This site does not have any prior land use approvals. This criterion is not applicable.

(8) Sites that have lost their nonconforming status must be brought into compliance, and may be brought into compliance incrementally in accordance with Section 2.370.

The site is not considered nonconforming. This criterion is not applicable.



COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division
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Residential Accessory Structure Compatibility Worksheet

For proposed detached structures 750 sq. ft. or larger and/or with walls taller than 11 feet.

This handout addresses land use planning issues. Building Permits are required for any residential accessory structure larger than 200 square feet.

Property Owner (print): Mark and Rhonda Hull
 Property Address: (unassigned) next to 139 Korns Dr NW, Albany, OR
 Assessor's Parcel Map No: 11402BD Tax Lot(s): 01300
 Zoning District: RR -- Residential Reserve
 Intended Use of the Structure: Residential Shop, Storage

The Albany Development Code allows attached additions to a residence without limiting size or wall height outright; subject to meeting the applicable development standards (see Table 1).

A detached accessory structure also is allowed outright if it can meet the applicable development standards (see Table 2) and the total square footage of the proposed structure is less than 750 square feet and the wall height does not exceed 11 feet. If the size would be larger or the walls taller, the structure may be allowed without a land use review, if it meets all of the established compatibility thresholds listed below. [Albany Development Code 3.080(9)]

Other considerations related to an accessory structure include the location of existing easements, septic tanks, drain fields, wells; access (existing and proposed); and whether trees would be removed (number and diameter of the trunks). You must include information about these items on a site plan drawing submitted with this worksheet.

Don't Forget! To support the information below, attach a scale drawing of your property showing and labeling the location of all existing and proposed buildings and a scale drawing of each elevation of the proposed building. Include distances (in feet) between all structures and between all structures and property lines.

Fill in the explanation area after each question below. If you answer "no" to Questions 1, 2, or 3, or "yes" to Questions 4 or 5, the structure will not be considered compatible. Question 6 calls your attention to special construction standards that will apply in all cases if the property is located in a Special Purpose District, such as the 100-year floodplain. In addition to answering the questions, you must attach a site plan of the property and elevation drawings of the proposed building to the worksheet.

If the structure cannot meet all of the compatibility standards, you may either alter the building to meet them or submit a Site Plan Review Accessory Building application to the Planning Division. This plan review typically takes 6 to 8 weeks to process, and requires additional paperwork and a non-refundable review fee. A Notice of Filing will be sent to property owners within 100 feet of your property giving them an opportunity to comment on the project. Filing an application does not guarantee approval.

Question #1: Will the roof and siding materials and colors on the proposed building be the same as those on the primary residential structure on the site? Yes ___ No ___

• Fill out (a) and (b) to demonstrate this standard would be met:

a) The building materials and colors of the proposed accessory building will be:

Materials: Siding: Metal Roof: Metal
Colors: Siding: Red Roof: White

b) The building materials and colors of the primary residential structure on the property are (or will be as part of this project):

Materials: Siding: N/A Roof: _____
Colors: Siding: _____ Roof: _____

Question #2: If the proposed accessory building were built, would the percentage of lot coverage be the same as or less than the percentage allowed in the applicable zoning district? (See Table 1) Yes No ___ (you may not exceed the lot coverage threshold by site plan review.)

• Fill out a) through d) to demonstrate this standard would be met:

a) The maximum lot coverage allowed in the RR zoning district is 20 percent.

b) Total land area of the property is 54,000 sq. ft.

c) The foundation (footprint) size of each building on the property is:

Primary residence: 0 sq. ft.

Proposed building: 2400 sq. ft.

Other structures: 0 sq. ft., 0 sq. ft., 0 sq. ft.

Total foundation area of all structures on the property: 2400 sq. ft.

d) Percentage of building coverage on this lot after construction of the proposed accessory building would be 4.4 percent. (To calculate this percentage, divide the total foundation area of all structures (c) by the total land area of the property (b). This number cannot be larger than (a).)

Question #3: Will the proposed accessory building meet the minimum setback requirements for the primary residential structure? (see Table 1) Yes No ___

• Fill out a) and b) to demonstrate this standard would be met:

a) The minimum setbacks from property lines for the primary structure in this zone are:

Front: 20 ft. Sides and rear, single-story: 5 ft., or two-story: 8 ft.

b) The setbacks from the property lines for the proposed accessory building are:

Front: 20+ ft. Sides and rear, single-story: 10+ ft., or two-story: 10+ ft.

Question #4: Will the proposed building be taller than the tallest building on adjacent property? Yes _____ No (X) (Height in this case is measured to the highest point on the structure. "Adjacent" means any property bordering the property on which the accessory structure would be built or across an adjacent street.)

- Fill out a) through c) and attach a drawing showing the location of the tallest building on adjacent property in relation to your property.

- a) The total height of the proposed accessory building is 21 ~~18~~ (Approx) feet.
- b) The wall height of the proposed accessory building is 14 feet.
- c) The height of the tallest building on adjacent property is 22 ~~20~~ + (Approx) feet, and it is located at (address) 139 Kouns Dr NW.

Question #5: Will the area of the proposed building's foundation be larger than the area of the foundation of the largest building on adjacent property? Yes (X) No _____

- Fill out (a) and (b) to demonstrate this standard would be met:

- a) The area of the proposed accessory building's foundation is 2400 sq. ft.
- b) The area of the foundation of the largest building on adjacent property is Approx 1800 sq. ft.
(include attached garages). The address of this building is 139 Kouns Dr NW, Albany, OR
currently occupied by Mr./Ms. Mark & Rhonda Hull, phone 503-505-6517.

Question #6: Is this property located in any of the following Special Purpose Districts listed in Articles 6 and 7 of the Development Code? Yes (X) No _____ (The text of the Albany Development Code is on the City's website: www.cityofalbany.net)

Check the district(s) that apply to this property.

- Airport Approach District (Near the Albany Municipal Airport located east of the I-5 freeway)
- Floodplain District (Property is located within a 100-year floodplain)
- Hillside Development District (Property has slopes greater than 12%)
- Historic District (Monteith, Hackleman, or Downtown districts)
- Willamette Greenway (Property is located near the Willamette River)

If the property is in one of the special districts, have you researched the construction regulations of the special district and determined that the proposed building can meet the standards of the district(s)? Yes (X) No _____ (Regardless of approval to allow an oversized accessory structure, you must be able to construct the proposed building in accordance with the regulations of the applicable special district.)

Mark Hull
Property Owner's Signature

4/24/2020
Date

Mark Hull
Print Property Owner's Name

503-505-6517
Daytime Phone

markhull@clackamas.edu
Fax No. or e-mail address

TABLE 1 [ADC Article 3]

RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS							
STANDARD	RR	RS-10	RS-6.5	HM	RS-5	RM	RMA
Minimum Property Size or Land Requirements by Unit Type(1)							
Single-family detached, (1)	5 acres (16)	10,000 sf	6,500 sf	5,000 sf	5,000 sf	3,500 sf	N/A
Single-family, attached (14)(1)	N/A	N/A	N/A	N/A	2,800 sf	2,400 sf	1,800 sf
Duplex (1)	N/A	14,000 sf Corner lot	8,000 sf Corner lot	N/A	7,000 sf Corner lot	4,800 sf	3,600 sf
Multi-family, Studio and 1-bedroom units	N/A	N/A	N/A	N/A	N/A	2,000 sf/ unit	1,500 sf/ unit
2-and 3 bedroom units	N/A	N/A	N/A	N/A	N/A	2,400 sf/ unit	1,800 sf/ unit
4+ bedroom units	N/A	N/A	N/A	N/A	N/A	3,000 sf/ unit	2,200 sf/ unit
Minimum Lot Widths: Detached S-F Attached Units	N/A N/A	65 ft N/A	50 ft N/A	35 ft N/A	40 ft 20 ft	30ft 20 ft	None None
Minimum Lot Depth	N/A	100 ft	80 ft	65 ft	70 ft	60 ft	None
Setbacks (4):							
Minimum Front (4)	20 ft	20 ft	15 ft	15 ft	15 ft	15 ft	12 ft
Maximum Front Setback	None	None	None	None	None	(14)	(14)
Minimum Interior: single- story (4)	5 ft	5 ft	5 ft	5 ft	5 ft	10 ft (5)	10 ft (5)
Minimum Interior: two or more stories (4)	8 ft	8 ft	8 ft	6 ft	6 ft	10 ft (5)(6)	10 ft (5)(6)
Minimum Building Separation	N/A	N/A	N/A	N/A	(12)	(12)	(12)
Min. Garage or carport vehicle entrance (10)	20 ft	20 ft	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)
Maximum Height (8)	30 ft	30 ft	30 ft	30 ft	30 ft	45 ft	60 ft (15)
Maximum Lot Coverage (9)	20%(11)	50%	60%	60%	60%	70%	70%
Minimum Open Space	N/A	N/A	N/A	N/A	N/A	(13)	(13)
Min. Landscaped Area	None	(2)	(2)	(2)	(2)	(3)	(3)

N/A means not applicable.

- (1) Section 3.220 bonus provisions may reduce minimum lot size and area, such as alley access.
- (2) All yards adjacent to streets.
- (3) All yards adjacent to streets plus required open space.
- (4) Additional setbacks may be required, see Sections 3.230-3.330 and the buffer matrix at 9.210; exceptions to Setbacks for Accessibility Retrofits are in Section 3.263; Zero-Lot Line standards are in Sections 2.365 and 2.370.
- (5) Except for single-family homes (attached and detached) or duplexes, which must have a minimum setback of 3 feet for one-story dwellings and 5 feet for two-story dwellings.
- (6) More than 3 stories = 10 feet plus 3 feet for each story over 3 per unit requirements. Multiple-family developments must also meet the setbacks in Section 8.270(1).
- (7) Garage front setback for non-vehicle-entrance = 15 feet, except in RR and RS-10 zoning districts where the setback shall be 20 feet.



Mark Hull
139 Kouns Drive NW
Albany, Oregon 97321

July 16, 2020

**Geotechnical Consulting
Proposed Pole Building
T11S, R4W, Section 2, Tax Lot 1300
Albany, Oregon**

Project No. 2205001-646

Dear Mr Hull:

At your request, we have visited the above referenced site to observe surface and shallow subsurface features at the location of a new structure proposed at the south end of the above referenced parcel in North Albany. The proposed structure will be constructed on a currently vacant parcel adjacent to your residence at 139 Kouns Drive. We understand that the City has requested a geotechnical evaluation be completed to confirm that the currently proposed development as well as a future residential structure is feasible at the parcel and identify any geotechnical restrictions. We understand that the currently proposed structure will consist of a $\pm 2,400$ SF pole supported structure that will include a slab on grade floor. FEI Testing and Inspection, Inc. (FEI) made a site visit and prepared this summary letter based on your verbal authorization.

SITE OBSERVATIONS

We visited the site to observe surface conditions at the parcel. The existing terrain at the site is moderately sloping (± 5 to 15%) down toward the southwest. The eastern third of the parcel includes steep slopes (up to 80%) down to the east. The parcel is grass covered with some scattered trees. The steep slopes to the east include trees and brush. During our site visit we did not observe any surface features suggesting that there are existing slope stability issues at the site.

We have prepared the following summary of our geotechnical reconnaissance of the site and provided geotechnical considerations and requirements for development. A

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summary of each of the requirements of Section 6.200 of the Albany Development Code (ADC) are provided.

(1) All geologic and soils hazard and certify that the site, and each individual lot, if land division is proposed, are suitable for the proposed development.

There are no existing geologic or soils hazards at the site that would preclude the proposed development. The currently vacant parcel is suitable for the proposed pole building and would include additional space to the north and northwest for a future residential structure. The proposed grading will include only minor cuts and fills with fill areas limited to the southwest portion of the parcel to assist with access.

(2) Area(s) suitable for building and describe how slopes will be stabilized.

All new development should be completed over the existing slight to moderately sloping terrain. The new structures should be set-back at least 20 feet west of the steep slopes on the eastern portion of the parcel. Relatively shallow cuts and fills (4 feet or less) are anticipated for the development. Shallow cuts and fills should be constructed using slope configurations no steeper than 2(horizontal):1(vertical). Future development may require construction of some retaining walls with deeper cuts into the existing slope.

We anticipate that shallow perched water may develop during wet weather months. Therefore, the proposed development will need to accommodate storm water. Surface water should be diverted around structures and roof drainage should be conveyed to storm features to the southwest. No drainage should be directed to the east slopes.

(3) Suitable building footprint(s) for development on the lot.

The west portion of the parcel with more modest slopes is suitable for development. The steep eastern slopes and recommended set-back from the steep slope is expected to exclude the eastern ± 90 feet of the parcel from potential development.

(4) Any requirements that must be met from the time construction begins to the time construction is completed.

All foundations should be constructed on full bench cuts constructed into the slope. Provisions for drainage of the slope should be made throughout the work. No temporary or permanent fill placement should be allowed on or adjacent to the steep slopes to the east. We recommend that fill depths no greater than 4 feet be allowed over the existing grades without further geotechnical evaluation.

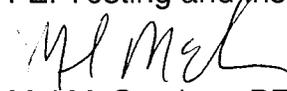
(5) Any requirements that must be met after construction is completed (e.g., maintenance requirements for continued slope stabilization).

The development is expected to include storm water drainage systems that will need to be maintained. In addition, we anticipate that the required excavation and backfilling will be mulched or vegetated at the time of construction to minimize surface erosion. Therefore, we do not believe that there are any unusual geotechnical requirements that must be met following the completion of construction.

We trust this information meets your current needs. Please feel free to contact us with any questions.

Sincerely,

FEI Testing and Inspection, Inc.



Mel McCracken, PE, GE
Geotechnical Engineer

