



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF FILING

DATE OF NOTICE: May 2, 2018

FILE: SP-12-18

TYPE OF APPLICATION: Site Plan Review to construct new single-story, commercial building (retail or office use) and associated site improvements.

REVIEW BODY: Staff (Type I-L process)

PROPERTY OWNER / APPLICANT: Bob G. Mitchell, Mitchell Homes; 1120 Linnwood Drive NE; Albany, OR 97322

ARCHITECT: Don Johnson, DJ Architecture; 2806 45th Court SE, Albany, OR 97322

REPRESENTATIVE: Jennifer Goodman, Mitchell Homes; 110 Opal Street NE, Albany, OR 97322

ADDRESS/LOCATION: 416 Pacific Boulevard SW, Albany, OR 97322

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-07CB; Tax Lot 4000

ZONING: Pacific Boulevard (PB)

The City of Albany has received the application referenced above. We are mailing notice of the application to property owners within 300 feet of the development. We invite your written comments on this application to be considered when staff decides on this application. Comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond. The deadline for submission of written comments is 5:00 p.m. on **May 16, 2018**, 14 days from the date the City mails the Notice of Filing.

All application materials are available at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or call **Melissa Anderson, Project Planner**, at 541-704-2319 (melissa.anderson@cityofalbany.net). Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision.

REVIEW CRITERIA FOR THIS REQUEST:

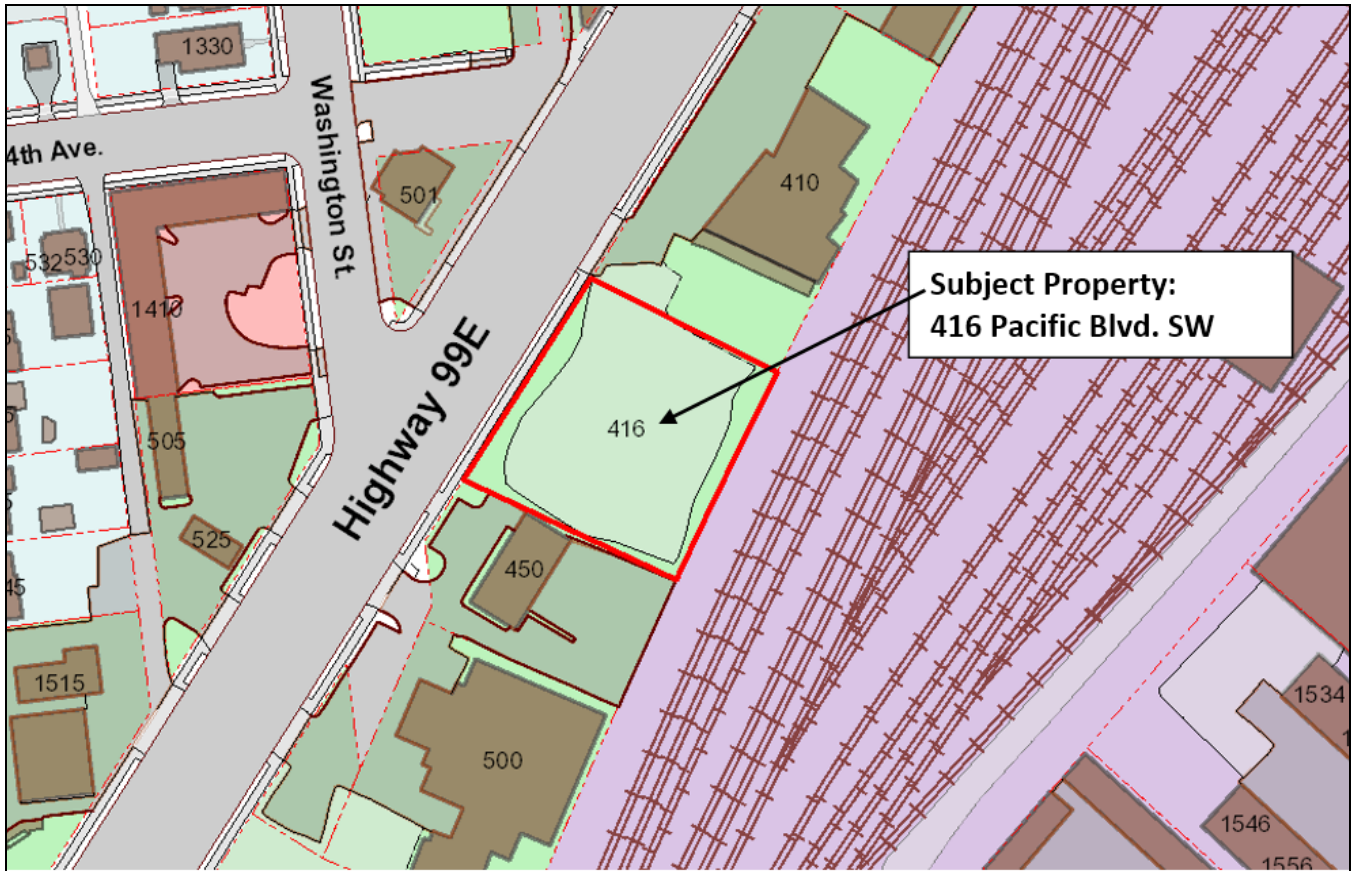
SITE PLAN REVIEW (Albany Development Code (ADC) 2.450)

- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

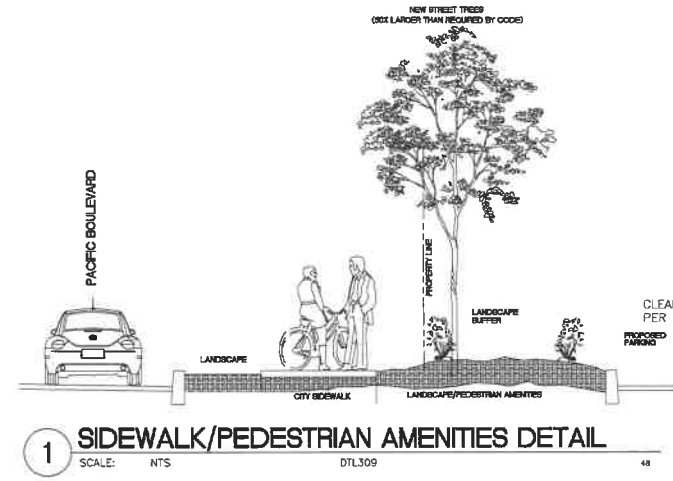
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS APPLICATION ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 5, 8, 9 AND 12

LOCATION MAP

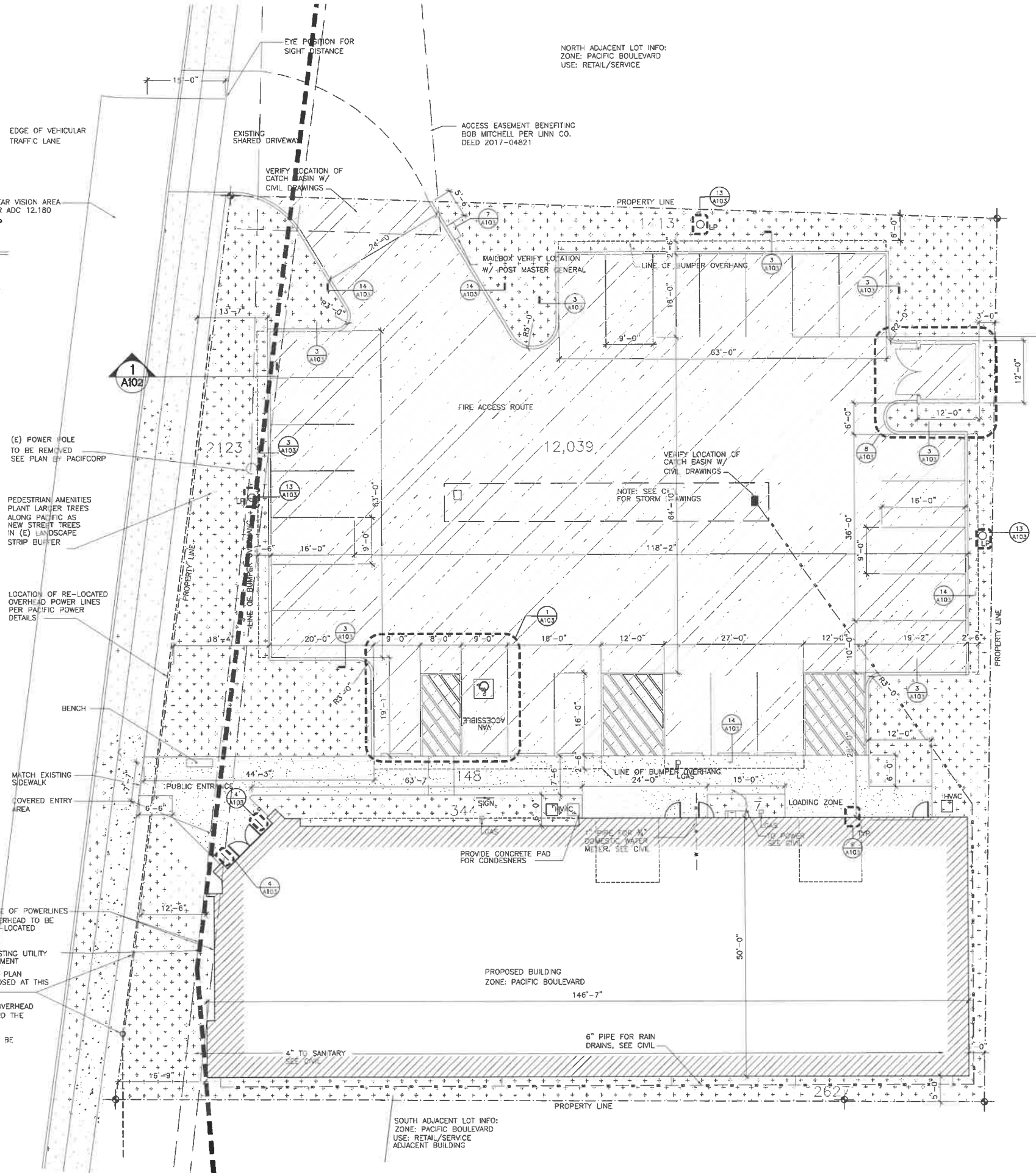


Attachment: Site Plan



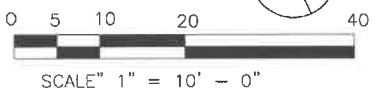
WEST ADJACENT LOT INFO:
ZONE: PACIFIC BOULEVARD
USE: RETAIL

PACIFIC BOULEVARD



NOTE:
For additional information on trees, shrubs and irrigation see landscape plans

NOTE: PER PACIFICORP PLAN A NEW POLE IS PROPOSED AT THIS LOCATION
THIS WILL MOVE THE OVERHEAD POWER LINES 3' BEHIND THE EXISTING SIDEWALK
A NEW EASEMENT WILL BE PROVIDED



LEGEND

- LANDSCAPING
- NEW SIDEWALK
4" THICK CONCRETE OVER 6" COMPACTED GRAVEL FILL WITH TOoled EDGES AND LIGHT BROOM FINISH
- ASPHALT PAVING
3" THICK OVER 12" COMPACTED GRAVEL FILL
- EXISTING SIDEWALK

TOTAL SITE AREA: 27,193 SF
LOT COVERAGE AREAS:
BUILDING FOOTPRINT: 7,072 SF (26%)
ASPHALT AREA: 12,039 SF (44%)
SIDEWALK AREA: 1,451 SF (5%)
LANDSCAPE AREA: 6,601 SF (24%)
TOTAL ALLOWED LOT COVERAGE: 21,754 SF (80%)
(BUILDING+ASPHALT+SIDEWALK) = 20,592 SF
ACTUAL LOT COVERAGE: 20,592 / 27,193 = 76%

NOTES:

1. FOR STORMWATER RETENTION SEE CIVIL PLAN
2. (E) POWER POLE AND OVERHEAD POWER LINES WILL BE RELOCATED PER PACIFICORP
3. PARKING REQUIRED 26 = 24
PARKING PROVIDED 26 + 2 LOADING ZONES

REVISION NO.	DATE/DESCRIPTION
1	NOVEMBER 01, 2017: Removed second floor and divided the building into two tenant spaces

SITE PLAN
NEW COMMERCIAL BUILDING
416 PACIFIC BLVD., SW
ALBANY, OR 97322



These documents were prepared by:
Don Johnson, Architect
License No. 3160, Expiration 12/31/2017
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Email: donjohnson@dmr.com
DATE PREPARED: NOVEMBER 1, 2017
PROJECT NUMBER: 16029

A102