



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF DECISION

DATE OF NOTICE: November 16, 2016

FILES: SP-15-16 & SP-18-16

TYPE OF APPLICATION: Site Plan Review (Type I-L) for new construction of a 22,000-square foot, two story addition to an existing medical office and clinic, a parking lot expansion, and pharmacy drive-up window.

REVIEW BODY: Staff

PROPERTY OWNER/APPLICANT: Samaritan Albany General Hospital; David G. Triebes, CEO; 1046 6th Avenue SW; Albany, OR 97321; 541-812-4104; dtriebess@samhealth.org

APPLICANT REP.: Lyle E. Hutchens, Devco Engineering, Inc.; PO Box 1211; Corvallis, OR 97339-1211; 541-757-8991; lyle@devcoengineering.com

ADDRESS: 1700 Geary Street SE

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-08CB; Tax Lot 1207

ZONING: Office Professional (OP) District; Riparian Corridor Overlay (/RC)

On November 15, 2016, the City of Albany Community Development Director granted **APPROVAL with CONDITIONS** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact **David Martineau, Project Planner**, at 541-917-7561, or Bob Richardson, Planning Manager, at 541-917-7555.

The City's decision may be appealed to the State Land Use Board of Appeals (LUBA), if a person with standing files a completed Notice to Appeal application and the associated filing fee no later than 21 days from the date the City mails the Notice of Decision. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Albany Development Code Section 12.600, or if the development did not require public infrastructure, a valid building permit exists for new construction or improvements and work has commenced.

Signature on file

Community Development Director

Attachments: Location Map, Site Plan, Conditions of Approval, Information for the Applicant

Appeal Deadline: December 6, 2016
Approval Expiration Date (If not appealed): November 15, 2019

CONDITIONS OF APPROVAL

General

- Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal, and local laws.

Stormwater

- 2.1 Before the City will issue a Certificate of Occupancy for the proposed development, the applicant must obtain a storm water quality permit from the City's Public Works Department and construct all required storm water quality facilities to serve the site.

Transportation

- 3.1 Prior to issuance of an occupancy permit, the applicant shall dedicate a ten-foot public sidewalk and access easement along the site's frontage on Queen Avenue.

Parking

- 4.1 The applicant shall stripe and maintain the site's north driveway to Geary Street with lane lines and directional arrows.
- 4.2 The applicant shall install and maintain a "do not enter" sign at the site's south driveway on Geary Street.
- 4.3 Prior to issuance of a final occupancy permit, a minimum of 190 vehicle parking spaces shall be provided.
- 4.4 A revised detail drawing showing the final location of the bicycle parking spaces, at least half covered, all meeting required clearance standards, shall be submitted to the Planning Division for review and approval prior to issuance of a building permit. All required bicycle parking shall be installed prior to occupancy.

Site Compatibility

- 5.1 A revised landscape plan that demonstrates compliance with the minimum front yard landscape requirement shall be submitted to the Planning Division for review and approval prior to issuance of a building permit. The landscape plan shall include placement of all required shrubs or accent plants from the 1997 conditional use approval (25 five-gallon shrubs or 30 one-gallon shrubs), new shrubs or accent plants associated with the present site expansion, and one additional tree at least six feet tall along the Geary Street frontage, for a total of 15 trees. The plan shall also confirm the location of required shrubs or access plants along the Queen Avenue frontage.
- 5.2 Sight-obscuring landscaping shall not be placed within the clear vision area. For Commercial district driveways, the measurement for the clear vision area is 20 feet along each lot line and drive edge.
- 5.3 The applicant shall submit a landscape irrigation plan to the Planning Division for review and approval prior to installing landscaping, unless a licensed landscape architect or certified nurseryman submits written verification that the proposed plant materials do not require irrigation.
- 5.4 All required landscaping and irrigation shall be installed prior to occupancy. ADC 9.190 allows occupancy of a development prior to the complete installation of all required landscaping and irrigation only if occupancy is requested between December 1 and March 1 and all other requirements are met.
- 5.5 The applicant shall ensure that lighting used to illuminate the parking area is arranged to reflect light away from any abutting or adjacent residential district. All exterior light fixtures shall be of a shielded, full-cut off design.

Design Standards

- DS 1. Prior to issuance of a Certificate of Occupancy, the applicant shall differentiate the proposed north-south walkway from parking and driving areas by color, texture, or elevation.
- DS 2. If outdoor benches are used to satisfy one or two pedestrian amenities of the three amenities required, they must be sufficiently sized to accommodate four people each.

INFORMATION FOR THE APPLICANT

Please read through the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Albany Development Code (ADC) regulations or administrative policies of the Planning, Public Works, Fire, or Building Departments that you must meet as part of the development process.

You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

PLANNING

1. The use must substantially conform to the site plan that was submitted for review. Planning staff must approve any changes to the plans.
2. Land use approval does not constitute Building or Public Works permit approvals.

BUILDING DIVISION

Building Division comments are provided by Gary Stutzman, Building Official, 541-917-7626.

PERMITS

1. Obtain Building Permits prior to any construction or remodel. Separate permits are required for underground fire lines, fire sprinklers, fire alarms, electrical work, parking lots, and exterior signs.

PLAN REVIEW FOR PERMITS

2. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.
3. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively. More information about the EPSC permit can be found on the City Of Albany web page.

CODES

4. The current building codes are:
 - a. The 2014 Oregon Structural Specialty Code (OSSC) based on the 2012 International Building Code (IBC)
 - b. ICC A117.1-2009 used for accessibility details. Scoping is per OSSC Chapter 11.
 - c. The 2014 Oregon Energy Efficiency Specialty Code (OEESC),
 - d. The 2014 Oregon Mechanical Specialty Code (OMSC) based on the 2012 International Mechanical Code (IMC) and 2012 International Fuel Gas Code
 - e. The 2014 Oregon Plumbing Specialty Code (OPSC) based on the 2011 Uniform Plumbing Code
 - f. The 2014 Oregon Fire Code (OFC) based on the 2012 International Fire Code (IFC)
 - g. The 2014 National Electrical Code (NEC) with Oregon amendments.
 - h. 2013 NFPA 13 for fire sprinklers
 - i. 2013 NFPA 72 for fire alarms.

ENGINEERING

5. All new commercial buildings are required to have all construction documents and engineering calculations prepared, signed and sealed by an Oregon registered engineer or architect.

6. Fire sprinklers are required to be designed by an Oregon registered engineer qualified for fire sprinkler design.
7. Provide a geotechnical report from a soils engineer that shows the soil conditions will support the proposed structures.
8. Buildings are to be designed for wind loads determined per **Chapters 26 to 30 of ASCE 7 (2010)** and **2014 OSSC 1609** using **Figures 1609A, B, or C** for the **Ultimate Design Wind Speeds** for the appropriate **Risk Category** determined from **OSSC Table 1604.5**. Snow loads shall be determined by **Chapter 7** of the **ASCE 7 (2010)** and the **December 2007 Snow Load Analysis for Oregon**. Design roof snow to be not less than 20 psf. It usually works out to 25# with rain on snow and higher with drifting. Seismic loads are calculated per **OSSC 1613 and ASCE 07-10 except for Chapter 14 and Appendix 11A** which were not adopted. Seismic Design Categories are determined by **OSSC 1603 or ASCE 7**.

ENERGY

9. The building shall meet the requirements of the **2014 Oregon Energy Efficiency Specialty Code (OEESC)**, for exterior envelope, lighting and mechanical and ventilation systems.
10. COMcheck work sheets will be required at plan review. Than COMcheck program can be downloaded at <http://energycode.pnl.gov/COMcheckWeb>

VENTILATION

11. The building shall be provided with either natural ventilation per **2014 OSSC 1203.4** or mechanical ventilation per **2014 OMSC Chapter 4**. Using **OMSC** and the **2014 OEESC**, provide ventilation calculations to determine outside air requirements as per **OMSC 403** and **Equations 4-1 through 4-8**. COMcheck forms will be required.

OCCUPANCY

12. Group B allowing office medical offices.
13. Group B Ambulatory care facilities? **OSSC 304**

OCCUPANT LOAD

14. The occupant load of an office space is found by dividing the gross floor area by 100. Storage and area is divided by 300 and assembly areas using unconcentrated loading use 15 square feet per person. **OSSC Table 1004.1.2**

DRAFT STOPPING

15. **OSSC 718.4.3** requires draft stopping to be installed in attics and concealed roof spaces of combustible construction, such that any horizontal area does not exceed 3,000 square feet. Exception: Not required in fire sprinkled buildings using NFPA 13 systems.

ALLOWABLE AREA/TYPE OF CONSTRUCTION

16. The size and height of the building and the floor level allowed for the various occupancies is determined by **OSSC Table 503** and building modifications allowed by **OSSC 506.1** for building area increases due to fire sprinklers and yards. (Basic allowable area without any modifications for Group B Type VB construction is 9,000 square feet per story.) Use Equations 5-1, 5-2, 5-3, and the automatic fire sprinkler increase from **OSSC 506.3** to determine maximum square footage allowed for a single office building.

$Aa=(At + (At \times If) + (At \times Is)) \ 9000 + 6750 + 27,000= 42,750$ square feet.

$If = (F/P-0.25)W/30 \ (100/100-0.25)30/30=.75$ $Is= 2$ for a two story or $Is=3$ for a single story.

- Without adding fire walls it appears the proposal exceeds the maximum allowable area for a Type VB construction with 4 yards and fully fire sprinkled. An allowable area analysis will be required to show the proposed structure meets code compliance.

17. Fire resistance rating of exterior walls of commercial buildings shall be as per **OSSC Tables 601 and 602** with opening protection as per **OSSC 705.8.1 through 705.8.6** and **OSSC Table 705.8** If the building maintains 10' or more set-back to the property line or an assumed property line between two buildings, rated exterior walls and parapets would not be required unless required by the type of construction.

18. Parapet walls are required as per **OSSC 705.11**. See the 6 exceptions. Fire separations in the building will depend on the use of incidental use, accessory use, separated or non-separated use provisions of **OSSC 508**.

ACCESSIBILITY

19. All commercial facilities will be required to be fully accessible to the disabled. Provide at least one accessible route to the public way.

20. Where there is more than one building on the site, an accessible route is to be provided between the accessible buildings and the accessible site facilities. **OSSC 1104.2**

21. Provide accessible parking **ORS 447.233 number (1) through (7)** and **OSSC Chapter 11** which also references **ICC A117.1-2009**.

- a. **OSSC Figures 1-10** limit the slope of the parking space and aisle to 2% in any direction.

22. Where drinking fountains are provided, no fewer than two are required. One for a standup person and one for people who use wheelchairs. A Single unit meeting all of the requirements is also allowed. (**OSSC 1109.5**) Refer to **ICC/ANSI 602** for specific details.

23. At least one of each type of fixture, element, control or dispenser in each accessible toilet room and bathing room shall be accessible. See **OSSC 1109.2 Exceptions 1-5**.

24. Where lockers are provided, at least 5% but not less than one of each type shall be accessible. **OSSC 1109.9**

25. Sales and service counters shall comply with **ICC 904.3.1** (parallel) or **ICC 904.3.2** (forward) approach.

26. Elevators are required in all multistory offices of health care offices of either Group B or I per **ORS 447.247 (1)** unless meeting one of the exceptions listed in **OSSC 1104.5 and 1104.4 #4**

RESTROOMS

27. The number of restrooms is found by using the occupant load of the building. Fractional numbers are rounded up. When there are over 15, both male and female are required. **OSSC Table 2902.1**

DRAINAGE

28. Provide a complete drainage plan for all hard surface drainage areas. Shape lot to facilitate surface, gutter, and under-floor drainage to the street or an approved system or area.

FIRE SPRINKLERS

29. Fire sprinklers are not required in Group B occupancies. They are required in Ambulatory care facilities and where fire sprinklers are used for allowable area increases. **OSSC 903.2.2**

30. Fire sprinklers may be required in areas of High Piled Combustible storage.

31. All fire sprinklers and fire hydrant calculations are required to use the latest City of Albany Water Model Data information for designs. Contact the Building Division for current numbers prior to design and submittal of application for permits.

HIGH PILED COMBUSTIBLE STORAGE-2014 OFC Section 202

32. **OFC 202** defines high piled combustible storage as storage of combustible materials in closely packed piles or combustible materials on pallets, in racks or on shelves where the top of storage is greater than 12' in height. It also includes certain high-hazard commodities, such as rubber tires; **Group A plastics**, flammable liquids, idle pallets, and similar commodities, where the top of storage is greater than 6' in height.

FIRE ALARMS

33. A manual fire alarm system shall be installed in Group B when there are 100 or more occupants above or below the level of exit discharge. **OSSC 907.2.2**
34. Fire Areas containing Ambulatory Care Facilities are required to be provided with electronically supervised automatic smoke detection system. **OSSC 9097.2.2.1 See exception.**

FIRE ACCESS

35. Fire access to a building shall be per **OFC Section 503** providing fire access within 150' of all portions of the building. The Fire Department may modify this requirement when the building is fully protected with fire sprinklers **OFC 503.1.1 Exception 1.**

PUBLIC WORKS - ENGINEERING

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

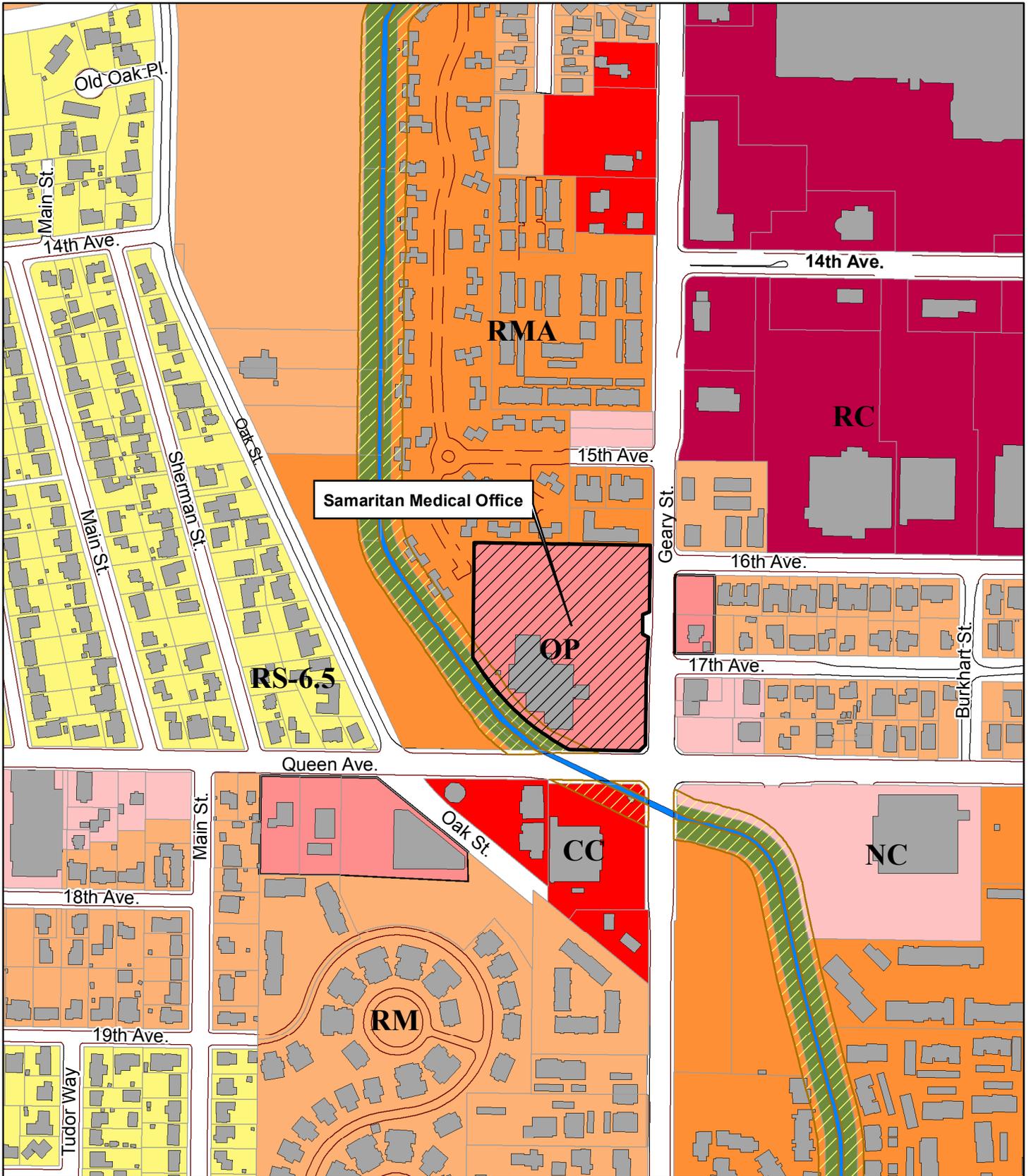
It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. Private drainage systems crossing multiple lots will require reciprocal use and maintenance easements and must be shown on the final plat. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.

FIRE SERVICES

Fire Services comments are provided by Lora Ratcliff, Deputy Fire Marshal, 541-917-7728. The fire department has reviewed the above project for conformance to the 2014 Oregon Fire Code (OFC) per your request and has the following comments:

1. All newly constructed buildings 50,000 square feet in size or larger shall have *approved* radio coverage for emergency responders within the building based upon the existing coverage levels of the Albany Police and Fire Department communication systems the exterior of the building [see OFC Appendix J and Attachment]. (OFC 510; OSSC 915)
2. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an *approved* route of travel around the exterior of the structure. (OFC 503.1.1)
3. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required for shall be as specified in Appendix B of the fire code. (OFC 507.3)

If additional hydrants are required, they shall be capable of supplying a minimum of 1,500 gpm at a minimum of 20 psi as a single point flow.



Location Map: 1700 Geary Street SE



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N



0 75 150 300 450 600 Feet

July 29, 2016

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

PROPERTY OWNER: SAMARITAN ALBANY GENERAL HOSPITAL
 David Triebes, CEO
 OWNER ADDRESS: 1048 SIXTH AVE. SW, ALBANY, OR 97321
 APPLICANT: SAME AS ABOVE
 APPLICANT ADDRESS: SAME AS ABOVE
 DEVELOPER: SAME AS ABOVE
 DEVELOPER ADDRESS: SAME AS ABOVE
 ARCHITECT: ROBERT YOUNG
 ARCHITECT ADDRESS: 330 BUSH ST. SE, SALEM, OR 97302-4128
 SURVEYOR: COLE SURVEYING, LLC
 SURVEYOR ADDRESS: PO BOX 1211, CORVALLIS, OR 97339
 ENGINEER: DEVCO ENGINEERING, INC.
 ENGINEER ADDRESS: PO BOX 1211, CORVALLIS, OR 97339
 GROSS LAND AREA: 4.75 AC. (BY SURVEY)
 4.74 AC. (BY TAX MAP)

PERCENTAGE OF SITE COVERAGE (IMPERVIOUS): 68.7% OF GROSS AREA

BUILDINGS: 39,858 SQ.FT.
 PARKING LOT (INCLUDING TRASH ENCLOSURE): 93,624 SQ.FT.
 SITE SIDEWALKS: 8749 SQ.FT.
 TOTAL: 142,231 SQ.FT.

PERCENTAGE OF SITE COVERAGE (PERVIOUS): 31.4% OF GROSS AREA

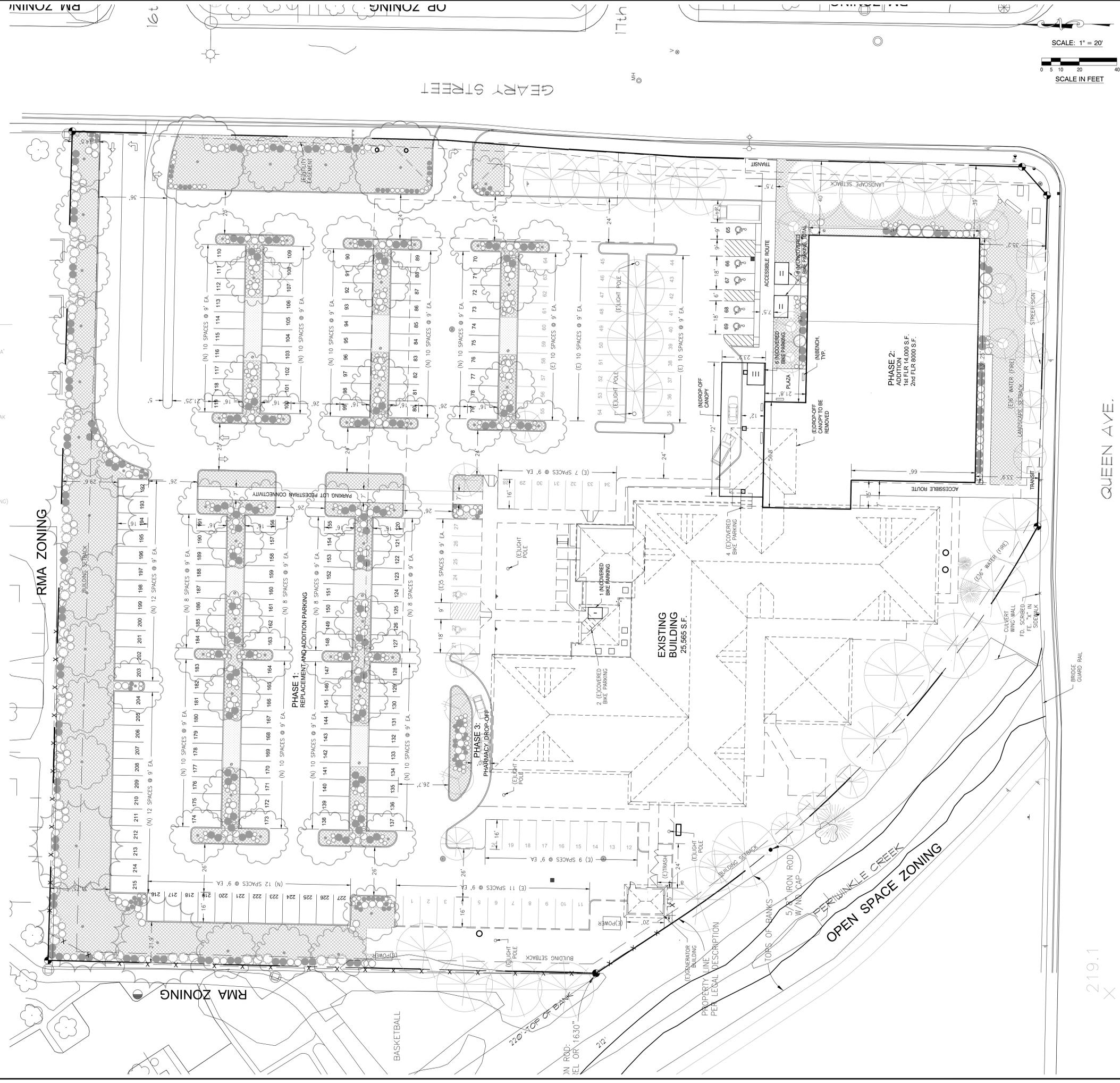
LANDSCAPE AREAS: 64,931 SQ.FT.

PARKING REQUIREMENTS (ADC TABLE 9-1)

EXISTING BUILDING: 25,565 S.F. / 250 S.F./SPACE = 102 SPACES
 NEW ADDITION: 22,000 S.F. / 250 S.F./SPACE = 88 SPACES
 TOTAL SPACES REQUIRED: = 190 SPACES
 EXISTING PARKING (TO REMAIN): = 64 SPACES
 NEW PARKING: = 163 SPACES
 TOTAL SPACES PROVIDED: = 227 SPACES

**LEGEND
 CONCEPTUAL LANDSCAPE PLAN**

- LARGE 50' CANOPY, DECIDUOUS TREE, I.E. PLATANUS X ACERIFOLIA 'COLUMBIA' COLUMBIA PLANETREE (XX" CALIPER)
- LARGE 50' CANOPY, DECIDUOUS TREE, I.E. QUERCUS COCCINEA, SCARLET OAK (XX" CALIPER)
- MEDIUM 35' CANOPY, DECIDUOUS STREET TREE
ULMUS WILSONIANA 'PROSPECTOR' PROSPECTOR ELM (MIN. 6" TALL)
- SMALL 15' CANOPY, DECIDUOUS ORNAMENTAL TREE (MIN. 6" TALL AT PLANTING)
- LARGE SHRUB, DECIDUOUS, 8' TO 10' TALL (>5 GAL.)
- LARGE SHRUB, EVERGREEN, 8' TO 10' TALL (>5 GAL.)
- MEDIUM SHRUB, EVERGREEN, 4' TO 5' TALL (5 GAL.)
- MEDIUM SHRUB, DECIDUOUS, 4' TO 6' TALL (5 GAL.)
- SMALL SHRUB OR SHRUBLET, EVERGREEN, 1.5' TO 2.5' TALL (1 GAL.)
- SMALL SHRUB OR SHRUBLET, DECIDUOUS, 1.5' TO 2.5' TALL (1 GAL.)
- EVERGREEN GROUND COVER
- PLANTING PER CITY OF ALBANY STORMWATER FACILITY PLANT LIST: PLANTERS



SCALE: 1" = 20'
 SCALE IN FEET

FOR LAND USE PURPOSES ONLY

DRAWING STATUS:	DATE:	NO. REVISION:
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> SUBMITTED	07/15/16	
<input type="checkbox"/> BID SET		
<input type="checkbox"/> PERMIT SET		
<input type="checkbox"/> CONST. SET		

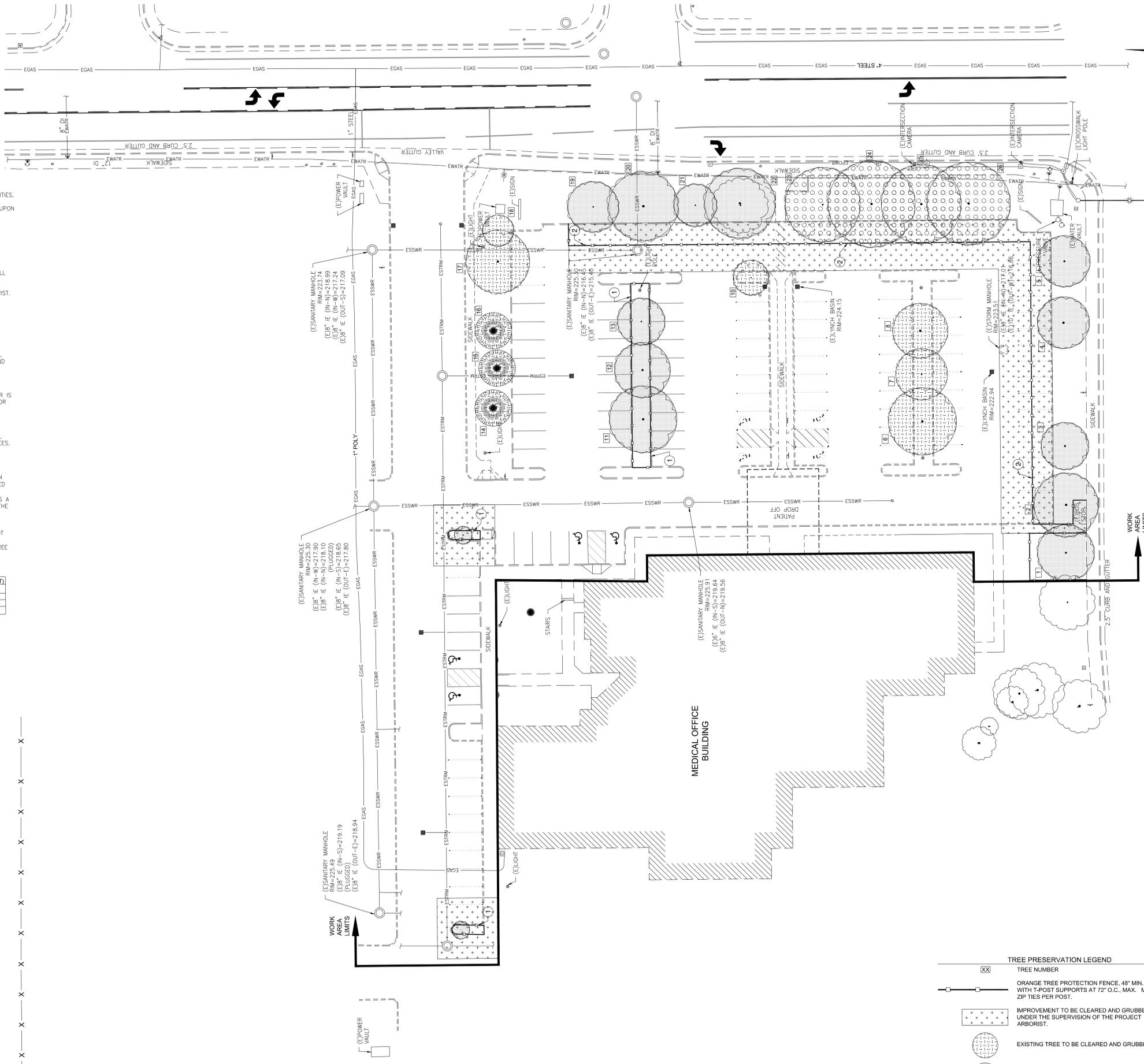
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 engineering inc.
 245 NE CONNER, P.O. BOX 1201
 CORVALLIS, OR 97339
 WWW.DEVCOENGINEERING.COM
 (503) 757-8881

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PROJECT: GEARY STREET CLINICS
 22,000 SQ.FT. MAX. ADDITION
 PROJECT LOCATION: 1700 GEARY STREET SE
 ALBANY, OREGON
 CLIENT: SAMARITAN ALBANY GENERAL HOSPITAL

SHEET TITLE: SITE PLAN
 JOB NO. 16418
 DRAWN BY: DEVCO
 DRAWING: C201

FILE: \\N:\3D - Projects\16418\Production Drawings\16418-04\1641801PLAN_C201.dwg [200] 7/15/2016 12:31 PM - Linde



TREE PRESERVATION CONSTRUCTION NOTES:

1. TREE PROTECTION FENCE TO BE INSTALLED AS SHOWN PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. TREE PROTECTION FENCE TO BE INSTALLED AT LOCATION DIRECTED BY PROJECT ARBORIST UPON COMPLETION OF REMOVAL OF EXISTING IMPROVEMENTS.

TREE PRESERVATION GENERAL NOTES:

1. ALL VEGETATION OUTSIDE THE WORK ZONE CREATED BY THE TREE PROTECTION FENCING SHALL BE PRESERVED.
2. TREE PROTECTION FENCE LOCATION MAY BE ADJUSTED AS DIRECTED BY THE PROJECT ARBORIST.

CITY OF ALBANY GENERAL TREE PROTECTION NOTES:

1. WITHIN THE DRIP LINE OF ANY PROTECTED EXISTING TREE, THERE SHALL BE NO CUT OR FILL OVER A FOUR-INCH DEPTH UNLESS A QUALIFIED ARBORIST OR FORESTER HAS EVALUATED AND APPROVED THE DISTURBANCE.
2. PRIOR TO AND DURING CONSTRUCTION, AN ORANGE FENCE SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES THAT S A MINIMUM OF 4 FEET TALL, SECURED WITH METAL T-POSTS, NO CLOSER THAN 6 FEET FROM THE TRUNK OR WITHIN THE DRIP LINE, WHICHEVER IS GREATER. THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE. [ORD. 5764, 12/1/11]
3. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER HARMFUL OF THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY PROTECTED TREE OR GROUP OF TREES.
4. NO DAMAGING ATTACHMENT, WIRE, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
5. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF", RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE AS REQUIRED IN SUBSECTION (5)(b) ABOVE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF 50 FEET APART AND TYPING RIBBON OR ROPE FROM STAKE TO STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
6. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE REQUIRING EXCAVATION DEEPER THAN 6 INCHES SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF 24 INCHES. THE AUGER DISTANCE IS ESTABLISHED FROM FACE OF THE TREE (OUTER BARK) AND IS SCALED FROM TREE DIAMETER AT BREAST HEIGHT AS DESCRIBED IN THE TABLE BELOW.

TREE DIAMETER AT BREAST HEIGHT (INCHES)	AUGER DISTANCE FROM FACE OF TREE (FEET)
8-9	5
10-14	10
15-19	12
OVER 19	15

TREE PRESERVATION LEGEND

- XX TREE NUMBER
- ORANGE TREE PROTECTION FENCE, 48" MIN. HEIGHT WITH T-POST SUPPORTS AT 72" O.C., MAX. MINIMUM 6 ZIP TIES PER POST.
- IMPROVEMENT TO BE CLEARED AND GRUBBED "ONLY" UNDER THE SUPERVISION OF THE PROJECT ARBORIST.
- EXISTING TREE TO BE CLEARED AND GRUBBED.
- EXISTING TREE TO BE PRESERVED.
- EXISTING TREE TO BE PRESERVED, TREE MAY REQUIRE PRUNING UNDER ARBORISTS SUPERVISION.

FOR LAND USE PURPOSES ONLY

DRAWING STATUS:	DATE:	No. REVISION:	DATE:
<input type="checkbox"/> PRELIMINARY			
<input checked="" type="checkbox"/> SUBMITTED	10/06/16		
<input type="checkbox"/> BID SET			
<input type="checkbox"/> PERMIT SET			
<input type="checkbox"/> CONST. SET			

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 CLIENT: SAMARITAN ALBANY GENERAL HOSPITAL

SHEET TITLE:
TREE PRESERVATION PLAN

JOB NO. 16418
 DRAWN BY: DEVCO
 DRAWING:
L202

