



PUBLIC WORKS - COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Decision

Site Plan Review & Floodplain Development Review

Sunset Village Apartments

SP-15-18/FP-03-18

September 6, 2018

Application Information

Proposal:	Site Plan Review and Floodplain Development Permit to construct two new multi-family residential apartment buildings (40-units total) with associated site improvements.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Laura LaRoque, Project Planner
Property Owner:	Sunset Village Apartments, LLC; 9 Sheboygan Street, Fond du Lac, WI 54935
Applicant:	Louie Lange; Commonwealth Company; 306 Fourth Street Way, Fond du Lac, WI 54937
Applicant's Engineer:	Ronald Derrick; Branch Engineering; 310 5 th Street, Springfield, OR 97477
Applicant's Architect:	Scott Wahtola; M + A Design; 306 Fourth Street Way, Fond du Lac, WI 54937
Applicant's Representative:	Tana Wahtola; Commonwealth Company; 306 Fourth Street Way, Fond du Lac, WI 54937
Address/Location	321 & 333 Hickory Street NW, Albany, OR 97321
Map/Tax Lot:	Benton County Assessor's Map No. 11S-03W-06BC; Tax Lots 600
Zoning:	Mixed Use Commercial (MUC) with Floodplain Overlay District (/FP)

On September 6, 2018, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Laura LaRoque, Project Planner**, at 541-917-7640, or Bob Richardson, Planning Manager, at 541-917-7555.

The City's decision may be appealed to the Planning Commission when a person with standing files a Notice of Appeal application and associated filing fee with the City not later than ten days from the date the City mails the Notice of Decision. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

cd.cityofalbany.net



This approval shall expire three years from the date of approval unless the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Albany Development Code Section 12.600, or if the development did not require public infrastructure, a valid building permit exists for new construction or improvements and work has commenced.

Signature on file

Community Development Director

Appeal Deadline: September 16, 2018

Approval Expiration Date (if not appealed): September 6, 2021

Attachments: Location Map, Site Plan

Conditions of Approval

- Condition 1 Storm Water Quality Permit.** Prior to the issuance of a certificate of occupancy, the applicant must obtain a storm water quality permit from the Public Works Department and construct the proposed stormwater quality and detention facility. Design details for the facility will be reviewed as part of the storm water quality permit.
- Condition 2 Petition for Improvement/Waiver of Remonstrance.** Prior to issuance of a building permit, the applicant shall provide the City with a Petition for Improvement/Waiver of Remonstrance for participation in the construction of a traffic signal at the Hickory Street/Springhill Drive intersection.
- Condition 3 Wheel Bumper/Sidewalk Width.** Prior to issuance of a building permit, the applicant shall submit a revised site plan to the Community Development Department for review and approval of the wheel bumper or sidewalk width requirement of ADC 9.120(6) and parking stall design standards of ADC 9.130. Table 9-2. Prior to issuance of a Certificate of Occupancy, all required secured wheel bumpers or 7.5' wide sidewalks shall be installed in compliance with the standards in ADC 9.120(6) and parking stall design standards of ADC 9.130. Table 9-2.
- Condition 4 Exterior Lighting.** Prior to issuance of a certificate of occupancy, all exterior lighting fixtures, including pole mounted lights, shall be of a shielded, full cut-off design.
- Condition 5 Bicycle Parking.** Prior to issuance of a building permit, the applicant shall submit detailed plans to the Community Development Department for review and approval of the bicycle parking demonstrating how it meets the minimum parking space requirements of ADC 9.120(13)(a) and design standards of ADC 9.120(13)(e-h). Prior to issuance of a Certificate of Occupancy, all required bicycle parking spaces shall be installed in compliance with the standards in ADC 9.120(13)(e-h).
- Condition 6 Final Landscape and Irrigation Plan.** Prior to issuance of a building permit, the applicant shall submit for review and approval by the Community Development Department: Final landscape and irrigation plan to show the standards of ADC 9.140, 9.150, 9.160 and 9.240 are met. Prior to issuance of a certificate of occupancy, all proposed and required site improvements, including the installation of required landscaping and irrigation, shall be constructed and completed in accordance with approved plans.
- Condition 7 Refuse Container Screening.** Prior to issuance of a certificate of occupancy, all required screening for refuse containers or disposal areas shall be installed in accordance with ADC 5.370.
- Condition 8 Recreation and Open Space Areas.** Prior to issuance of a certificate of occupancy, all proposed and required site improvements, including the installation of required common space and children's play area amenities, shall be constructed and completed in accordance with approved plans.
- Condition 9 At-Grade Patio Dimensions.** Prior to issuance of a building permit, the applicant shall submit revised first floor plans to the Community Development Department for review and approval that show at-grade patios meeting both the minimum size and dimensions standards of ADC 8.230(1).

Condition 10 Patio Screening. Prior to issuance of a building permit, the applicant shall submit a revised landscaping plan to the Community Development Department for review and approval that shows details of the screening from Hickory Street for the at-grade patios.

Condition 11 Elevation Certificates. Prior to the issuance of a building permit, the applicant shall submit a pre-construction Elevation Certificate to the Community Development Department for review and approval. At the time of footing inspection, the top of the bottom floor shall be a minimum of one foot above the BFE or higher. Prior to the issuance of a certificate of occupancy, the applicant shall submit a finished construction Elevation Certificate to the Community Development Department for review and approval.

Condition 12 As-Builts. At the conclusion of grading and filling the project area and prior to issuance of the final certificate of occupancy, the following documentation shall be submitted to the Community Development Department:

- a) As-built drawings with elevations provided; and
- b) A letter from the Engineer of Record who is licensed in the state of Oregon, stating that the fill was placed in accordance with the signed plans

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.

Building Division

PERMITS

1. Building Permits will not be issued on property within the wetlands unless approvals have been provided by the wetlands regulating authority.
2. Obtain Building Permits prior to any construction.
3. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.

PLAN REVIEW FOR PERMITS

3. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.

Engineering

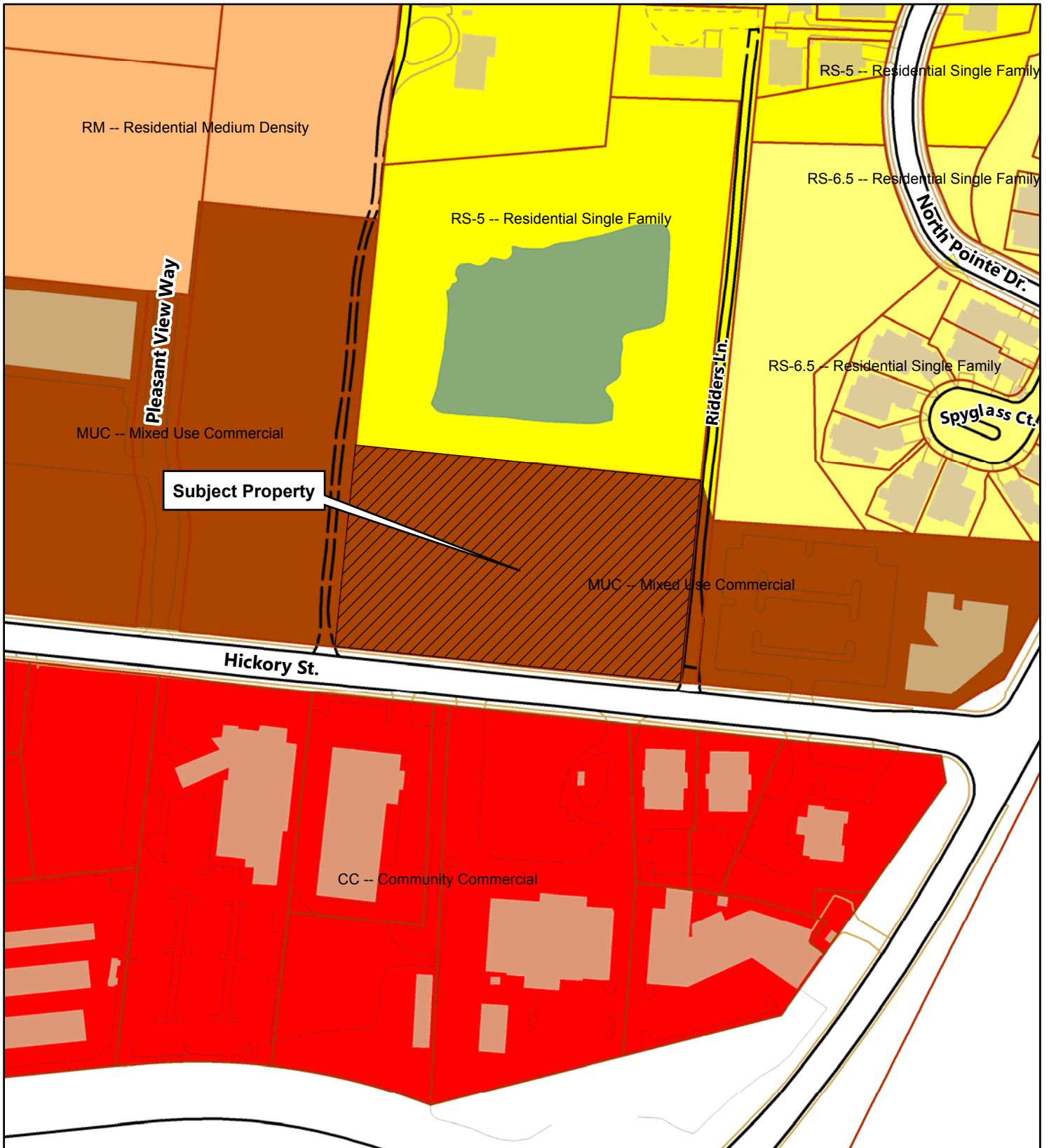
General Engineering Processes: The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

Fire Department

The fire department has reviewed the above project for conformance to the 2014 Oregon Fire Code (OFC) and has the following comments:

1. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an *approved* route of travel around the exterior of the structure. (OFC 503.1.1)

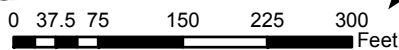
2. Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (OFC 503.2.5 and D103.4)
3. Fire apparatus access roads (driveways) serving this project shall have a gradient that shall not exceed 12%, and for every 1,000 feet of incline thereafter, the grade shall be reduced by 3% or as approved by the Fire Chief. (OFC 503.2.7 – Albany requirements)
4. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required for shall be as specified in Appendix B of the fire code. (OFC 507.3).
5. The location and spacing requirements for fire hydrants are based on four project-specific criteria:
 - The distance from the most remote exterior point of the building(s) to the closest available fire hydrant.
 - The calculated “fire flow” of the proposed building(s)
 - The spacing of the existing fire hydrants along the public and private fire apparatus roads serving the property.
 - The location of new required public or private fire apparatus access roads located adjacent to the proposed building(s) to be constructed.



Location Map: 321 & 333 NW Hickory Street, Albany, OR 97321
Benton County Tax Assessor's Map No. 11S-03W-06BC Tax Lot 600



The City of Albany's Infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the



July 27, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

SUNSET VILLAGE FAMILY HOUSING SITE PLAN ALBANY, OREGON

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987.)

CONSTRUCTION NOTES

- 1 CONSTRUCT STANDARD PARKING STALL PER DETAIL 4, SHEET C5.
- 2 CONSTRUCT ADA PARKING STALL PER DETAIL 5, SHEET C5.
- 20 CONSTRUCT VAN ACCESSIBLE ADA PARKING STALL PER DETAIL 5, SHEET C5.
- 3 CONSTRUCT PLAYGROUND. SEE ARCHITECT PLANS.
- 4 CONSTRUCT CROSSWALK STRIPING PER DETAIL 3, SHEET C5.
- 5 INSTALL LIGHT POLE.
- 6 INSTALL 5 CAPACITY BIKE RACK ON 6' X 12' CONCRETE SLAB.
- 7 INSTALL CLUSTER MAILBOXES ON 6' X 7.5' CONCRETE SLAB.
- 8 TRASH ENCLOSURE, SEE ARCHITECT PLANS.
- 9 COMMUNITY GARDEN WITH PLANTERS, SEE ARCHITECT PLANS.
- 10 INSTALL DECORATIVE BENCH ON 3.5' X 7' CONCRETE SLAB.
- 11 INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL 7, SHEET C5.
- 12 INSTALL YELLOW PAINT ALONG CURB.

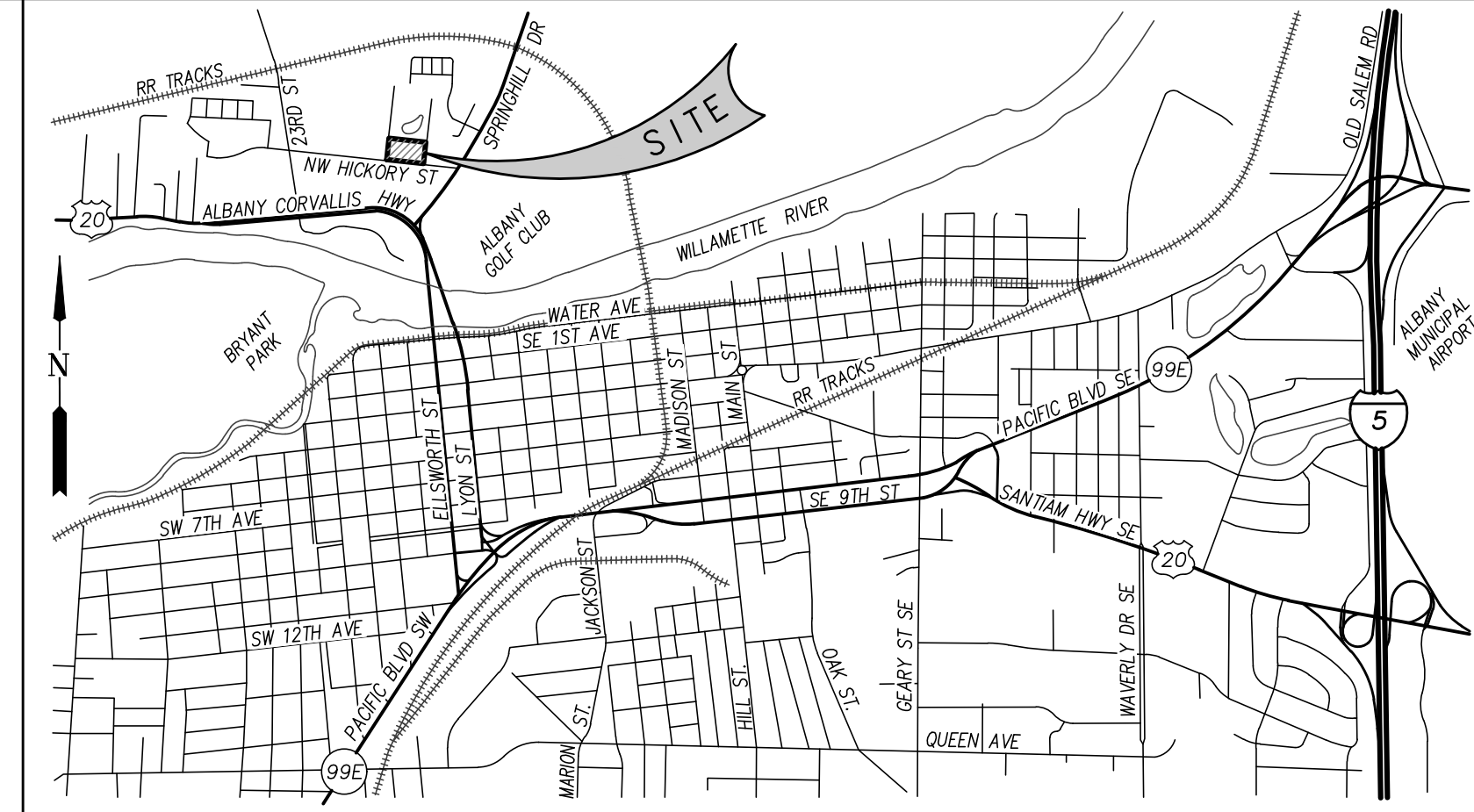
SITE DATA

OWNER: KAISER CALLISON FAMILY, LLC
1904 EAGLES RIDGE LN NW
ALBANY, OR 97321-1469

BENTON COUNTY TAX MAP 11306BC TAX LOT 600

SITE AREA: 112,083 SF (2.57 AC)
PROPOSED PERVIOUS AREA: 59,158 SF 53%
PROPOSED IMPERVIOUS AREA: 52,925 SF 47%
COMMON AREA: 96,786 SF

STANDARD PARKING: 65 SPACES
ADA PARKING: 3 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING: 68 SPACES



VICINITY MAP

SCALE: 1"=200'

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EXPIRES: DECEMBER 31, 2019

project title:

SHEET INDEX

- SHEET C1 TITLE SHEET AND SITE PLAN
SHEET C2 UTILITY PLAN
SHEET C3 GRADING AND PAVING PLAN
SHEET C3.1 OPEN SPACE PLAN
SHEET C4 DETAIL SHEET
SHEET C5 DETAIL SHEET
SHEET C6 DETAIL SHEET

LEGEND

EXISTING IMPROVEMENTS

- PROPERTY LINE
- EASEMENT LINE
- CURB
- EDGE OF ASPHALT
- CONTOUR LINE
- TOP OF DITCH
- BOTTOM OF DITCH
- LIGHT POLE
- ELECTRICAL BOX
- COMMUNICATION BOX
- TELEPHONE RISER
- TELEPHONE VAULT
- CURB INLET
- WASTEWATER MANHOLE
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- MAIL BOX
- SIGN
- POWER POLE
- CUY WIRE
- CONCRETE
- GRAVEL AREA
- DECIDUOUS TREE

PROPOSED IMPROVEMENTS

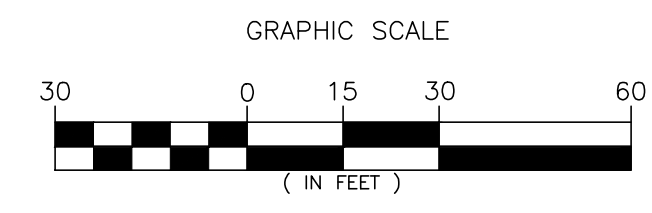
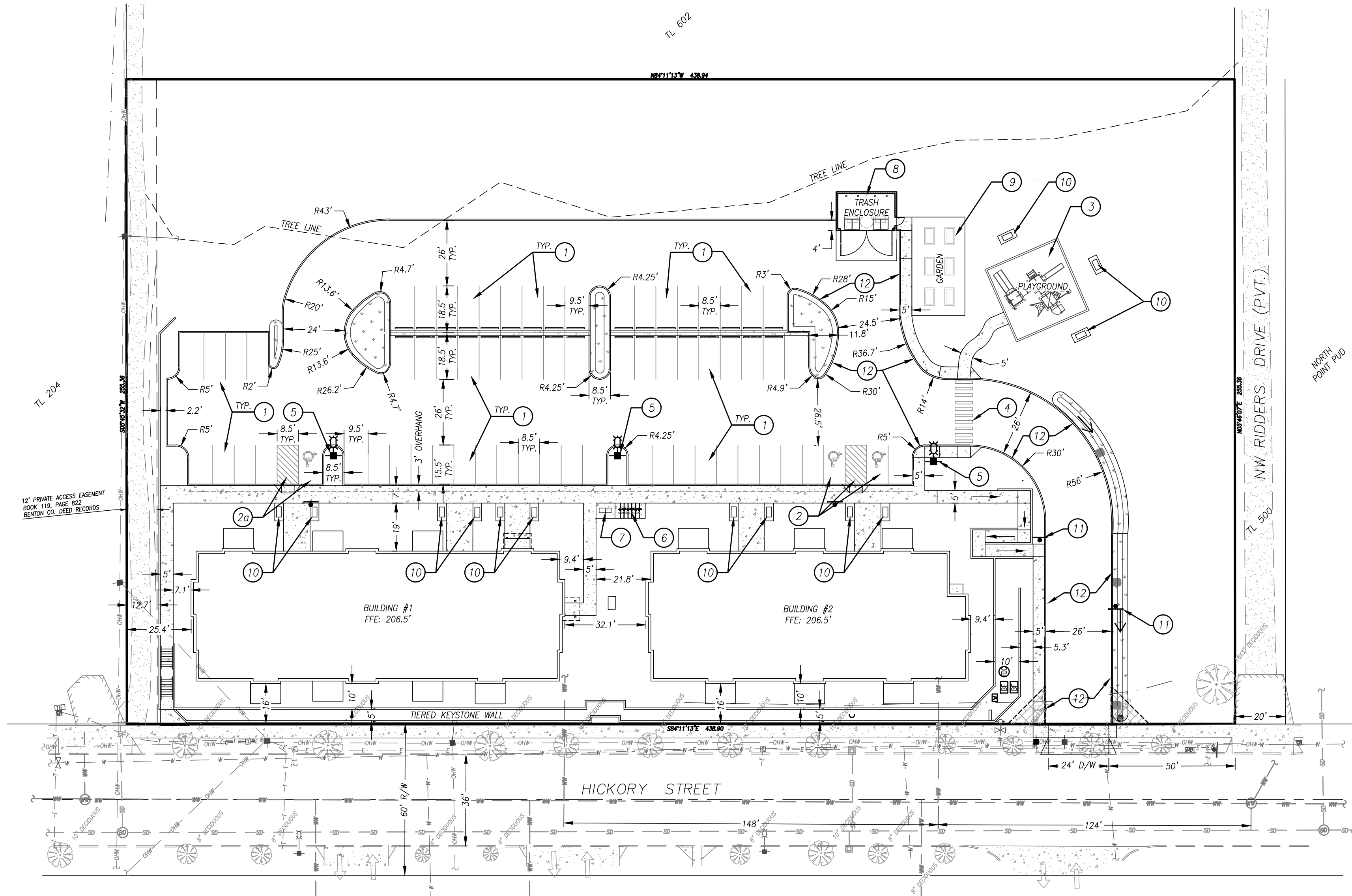
- CURB
- CONCRETE
- VEGETATED SWALE
- LIGHT POLE
- CLEAR VISION AREA PER CITY OF ALBANY DEVELOPMENT CODE SEC. 12.180

GENERAL NOTES

1. ALL WORK IN THE PUBLIC PORTION SHALL CONFORM WITH ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE LOCATION AND DESCRIPTIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE CONSTRUCTION DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS, FIELD SURVEYS OF ONE CALL UTILITY LOCATE, AND/OR ABOVE GROUND FEATURES. THE SURVEYOR OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATION WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATION OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.

POST CONSTRUCTION STORMWATER QUALITY FACILITIES GENERAL NOTES

1. MAINTAIN PERIMETER PROTECTION BEFORE, DURING, AND AFTER CONSTRUCTION OF FACILITY TO KEEP ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC OUT OF EXCAVATED TREATMENT AREA.
2. NO STANDING WATER ALLOWED IN FACILITY TREATMENT AREA AT TIME OF CONSTRUCTION OR AT ANY POINT DURING CONSTRUCTION.
3. GROWING MEDIUM SHALL BE COVERED AND PROTECTED FROM PRECIPITATION PRIOR TO PLACEMENT IN FACILITY.
4. BOTTOM OF EXCAVATED TREATMENT FACILITY SHALL BE SCARIFIED PRIOR TO PLACING DRAIN ROCK.



**SUNSET VILLAGE
FAMILY HOUSING SITE PLAN**
NW HICKORY STREET
ALBANY, OREGON

revisions:

△ PLAN REVISION 07.05.2018

date: JUNE 5, 2018

drawn by: ARS

designer: RD

project no: 17-437

**TITLE SHEET
AND SITE PLAN**

sheet:

C1

Z:\2017\17-437 Hickory Street\Drawings\Site\17-437 SITE 062618.dwg 7/9/2018 5:00 PM JLL