



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

REVISED NOTICE OF FILING

DATE OF NOTICE: July 25, 2018

FILES: SP-15-18 and FP-03-18

TYPE OF APPLICATION: Site Plan Review and Floodplain Development Permit to construct two new apartment buildings (40-units total) with associated parking and common open space.

REVIEW BODY: Staff (Type I-L process)

PROPERTY OWNER: Sunset Village Apartments, LLC; 9 Sheboygan Street, Fond du Lac, WI 54935

APPLICANT: Louie Lange; Commonwealth Company; 306 Fourth Street Way, Fond du Lac, WI 54937; 920-922-8170; l.lange@commonwealthco.net

REPRESENTATIVE: Ron Derrick; Branch Engineering; 310 5th Street, Springfield, OR 97477; 541-746-0637; rond@branchengineering.com

ARCHITECT: Scott Wahtola; M + A Design; 306 Fourth Street Way, Fond du Lac, WI 54937; 920-922-8170; s.wahtola@madesigninc.net

OTHER REPRESENTATIVE: Tana Wahtola; Commonwealth Company; 306 Fourth Street Way, Fond du Lac, WI 54937; 920-922-8170; t.wahtola@commonwealthco.net

ADDRESS: 321 & 333 Hickory Street NW, Albany, OR 97321

MAP/TAX LOT: Linn Tax Assessor's Map No(s): 11S-03W-06BC Tax Lot 600

ZONING: Mixed Use Commercial (MUC)

OVERLAY: Floodplain Overlay District (/FP)

The City of Albany has received the application referenced above. A similar public notice regarding this application was mailed on May 1, 2018. This **REVISED NOTICE** of the application is being mailed to property owners within 1,000 feet of the proposed development because the original noticed stated incorrectly that there would be two new 40-unit apartment buildings when the proposal is actually for two new apartment buildings with a combined total of 40-units. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is **5:00 p.m. on August 8, 2018**.

A location map and a site plan of the proposed development are attached to this notice. All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit the Planning Division office in City Hall, 333 Broadalbin Street, or call **Laura LaRoque, Project Planner**, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code (ADC), the proposed use is allowed on this property subject to approval of a Site Plan Review and Floodplain Development permit. The proposed application will be evaluated for consistency with the review criteria contained in ADC 2.450, ADC 6.110, and ADC 6.111. The use must also meet applicable City

development standards found in the ADC. The City may apply conditions of approval to the application to ensure that the proposal will conform to the applicable development standards and review criteria.

APPROVAL CRITERIA AND STANDARDS FOR THIS REQUEST:

SITE PLAN REVIEW (ADC 2.450)

- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

PROVISIONS FOR FLOOD HAZARD REDUCTION (ADC 6.110)

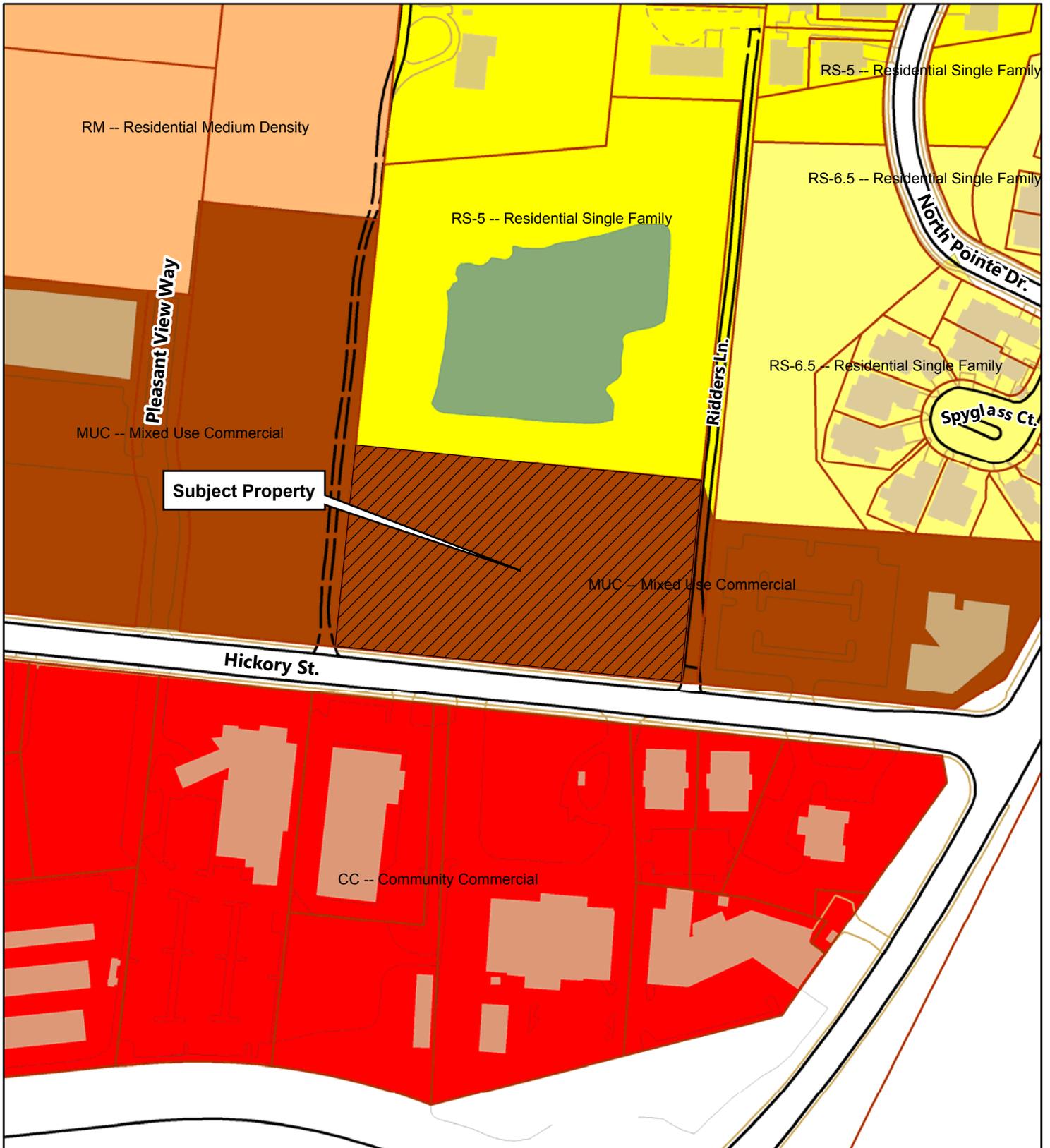
- (1) All proposed new development and land divisions shall be consistent with the need to minimize flood damage and ensure that building sites will be reasonably safe from flooding.
- (2) All new development and land division proposals shall have utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- (3) On-site waste disposal systems shall be located and constructed to avoid functional impairment, or contamination from them, during flooding.
- (4) All development proposals shall have adequate drainage provided to reduce exposure to flood damage.
- (5) Any lot created for development purposes must have adequate area created outside of the floodway to maintain a buildable site area meeting the minimum requirements of this Article.
- (6) Any new public or private street providing access to a residential development shall have a roadway crown elevation not lower than one foot below the 100-year flood elevation.
- (7) All development proposals shall show the location of the 100-year flood contour line followed by the date the flood elevation was established. When elevation data is not available, either through the Flood Insurance Study or from another authoritative source, and the development is four or more acres or results in four or more lots or structures, the elevation shall be determined and certified by a registered engineer. In addition, a statement located on or attached to the recorded map or plat shall read as follows: "Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City."
- (8) In addition to the general review criteria applicable to manufactured home parks in Article 10, applications that propose actual development within a Special Flood Hazard Area shall include an evacuation plan indicating alternate vehicular access and escape routes.

GRADING, FILL, EXCAVATION, AND PAVING (ADC 6.111)

- (1) Provisions have been made to maintain adequate flood-carrying capacity of existing watercourses, including future maintenance of that capacity.
- (2) The proposal will be approved only where adequate provisions for stormwater runoff have been made that are consistent with the Public Works Engineering standards, or as otherwise approved by the City Engineer.
- (3) The proposal will not increase the existing velocity of flood flows so as to exceed the erosive velocity limits of soils in the flood area.
- (4) No grading, fill, excavation, or paving will be permitted over an existing public storm drain, sanitary sewer, or water line unless it can be demonstrated to the satisfaction of the City Engineer that the proposed grading, fill, excavation, or paving will not be detrimental to the anticipated service life, operation and maintenance of the existing utility.
- (5) In areas where no floodway has been designated on the applicable FIRM, grading will not be permitted unless it is demonstrated by the applicant that the cumulative effect of the proposed grading, fill, excavation, or paving when combined with all other existing and planned development, will not increase the water surface elevation of the base flood more than a maximum of one foot (cumulative) at any point within the community.
- (6) The applicant shall notify the City of Albany, any adjacent community, and the Natural Hazards Mitigation Office of the Oregon Department of Land Conservation and Development of any proposed grading, fill, excavation, or paving activity that will result in alteration or relocation of a watercourse (See Section 6.101).
- (7) All drainage facilities shall be designed to carry waters to the nearest practicable watercourse approved by the designee as a safe place to deposit such waters. Erosion of ground in the area of discharge shall be prevented by installation of non-erosive down spouts and diffusers or other devices.
- (8) Building pads shall have a drainage gradient of two percent toward approved drainage facilities, unless waived by the Building Official or designee.

ADDITIONAL REVIEW STANDARDS FOR THIS APPLICATION ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 5, 6, 8, 9, AND 12

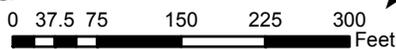
Attachments: Location Map, Site Plan



Location Map: 321 & 333 NW Hickory Street, Albany, OR 97321
Benton County Tax Assessor's Map No. 11S-03W-06BC Tax Lot 600



The City of Albany's Infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect, thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the



July 27, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

SUNSET VILLAGE FAMILY HOUSING SITE PLAN ALBANY, OREGON

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987.)

CONSTRUCTION NOTES

- 1 CONSTRUCT STANDARD PARKING STALL PER DETAIL 4, SHEET C5.
- 2 CONSTRUCT ADA PARKING STALL PER DETAIL 5, SHEET C5.
- 20 CONSTRUCT VAN ACCESSIBLE ADA PARKING STALL PER DETAIL 5, SHEET C5.
- 3 CONSTRUCT PLAYGROUND. SEE ARCHITECT PLANS.
- 4 CONSTRUCT CROSSWALK STRIPING PER DETAIL 3, SHEET C5.
- 5 INSTALL LIGHT POLE.
- 6 INSTALL 5 CAPACITY BIKE RACK ON 6' X 12' CONCRETE SLAB.
- 7 INSTALL CLUSTER MAILBOXES ON 6' X 7.5' CONCRETE SLAB.
- 8 TRASH ENCLOSURE, SEE ARCHITECT PLANS.
- 9 COMMUNITY GARDEN WITH PLANTERS, SEE ARCHITECT PLANS.
- 10 INSTALL DECORATIVE BENCH ON 3.5' X 7' CONCRETE SLAB.
- 11 INSTALL "NO PARKING FIRE LANE" SIGN PER DETAIL 7, SHEET C5.
- 12 INSTALL YELLOW PAINT ALONG CURB.

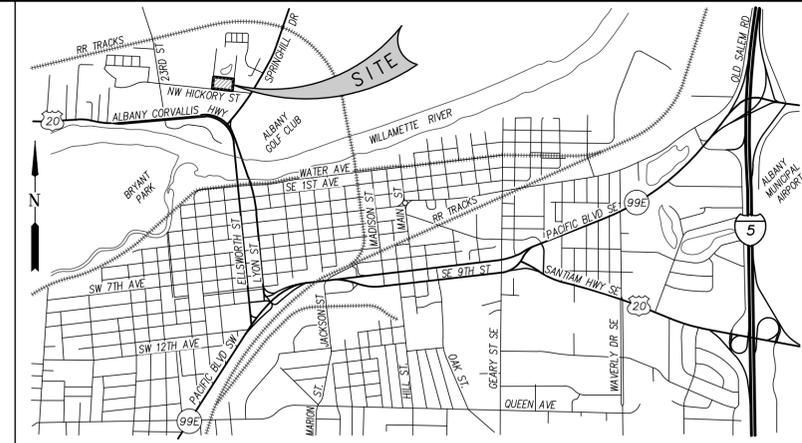
SITE DATA

OWNER: KAISER CALLISON FAMILY, LLC
1904 EAGLES RIDGE LN NW
ALBANY, OR 97321-1469

BENTON COUNTY TAX MAP 11306BC TAX LOT 600

SITE AREA: 112,083 SF (2.57 AC)
PROPOSED PERVIOUS AREA: 59,158 SF 53%
PROPOSED IMPERVIOUS AREA: 52,925 SF 47%
COMMON AREA: 96,786 SF

STANDARD PARKING: 65 SPACES
ADA PARKING: 3 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING: 68 SPACES



VICINITY MAP

SCALE: 1"=200'

civil • transportation
structural • geotechnical
SURVEYING

310 5th Street
Springfield, OR 97477
p: 541.746.0637

www.BranchEngineering.com
Springfield OR | Albany OR



EXPIRES: DECEMBER 31, 2019

project title:

SHEET INDEX

- SHEET C1 TITLE SHEET AND SITE PLAN
SHEET C2 UTILITY PLAN
SHEET C3 GRADING AND PAVING PLAN
SHEET C3.1 OPEN SPACE PLAN
SHEET C4 DETAIL SHEET
SHEET C5 DETAIL SHEET
SHEET C6 DETAIL SHEET

LEGEND

EXISTING IMPROVEMENTS

- PROPERTY LINE
- EASEMENT LINE
- CURB
- EDGE OF ASPHALT
- CONTOUR LINE
- TOP OF DITCH
- BOTTOM OF DITCH
- LIGHT POLE
- ELECTRICAL BOX
- COMMUNICATION BOX
- TELEPHONE RISER
- TELEPHONE VAULT
- CURB INLET
- WASTEWATER MANHOLE
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- MAIL BOX
- SIGN
- POWER POLE
- CUY WIRE
- CONCRETE
- GRAVEL AREA
- DECIDUOUS TREE

PROPOSED IMPROVEMENTS

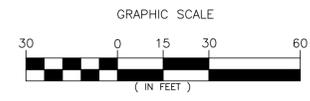
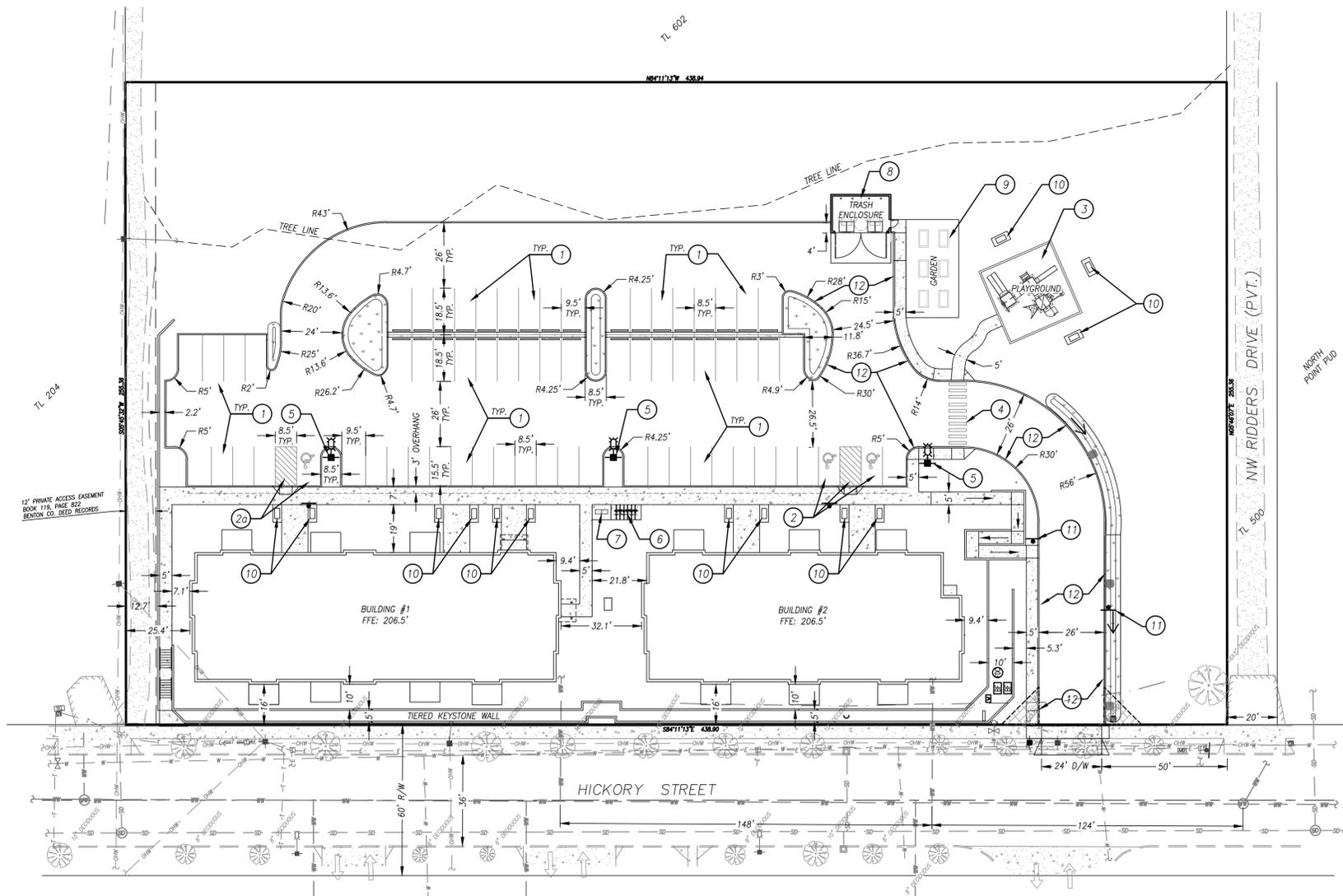
- CURB
- CONCRETE
- VEGETATED SWALE
- LIGHT POLE
- CLEAR VISION AREA PER CITY OF ALBANY DEVELOPMENT CODE SEC. 12.180

GENERAL NOTES

1. ALL WORK IN THE PUBLIC PORTION SHALL CONFORM WITH ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE LOCATION AND DESCRIPTIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE CONSTRUCTION DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS, FIELD SURVEYS OF ONE CALL UTILITY LOCATE, AND/OR ABOVE GROUND FEATURES. THE SURVEYOR OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES WHERE NEW FACILITIES CROSS. CONTRACTOR SHALL BE RESPONSIBLE FOR EXPOSING POTENTIAL CONFLICTS FAR ENOUGH AHEAD OF CONSTRUCTION TO MAKE NECESSARY GRADE MODIFICATION WITHOUT DELAYING THE WORK. IF GRADE MODIFICATION IS NECESSARY, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, AND THE DESIGN ENGINEER SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITY CROSSINGS SHALL BE POTHOLED AS NECESSARY PRIOR TO EXCAVATION OR BORING TO ALLOW THE CONTRACTOR TO PREVENT GRADE OR ALIGNMENT CONFLICTS.

POST CONSTRUCTION STORMWATER QUALITY FACILITIES GENERAL NOTES

1. MAINTAIN PERIMETER PROTECTION BEFORE, DURING, AND AFTER CONSTRUCTION OF FACILITY TO KEEP ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC OUT OF EXCAVATED TREATMENT AREA.
2. NO STANDING WATER ALLOWED IN FACILITY TREATMENT AREA AT TIME OF CONSTRUCTION OR AT ANY POINT DURING CONSTRUCTION.
3. GROWING MEDIUM SHALL BE COVERED AND PROTECTED FROM PRECIPITATION PRIOR TO PLACEMENT IN FACILITY.
4. BOTTOM OF EXCAVATED TREATMENT FACILITY SHALL BE SCARIFIED PRIOR TO PLACING DRAIN ROCK.



**SUNSET VILLAGE
FAMILY HOUSING SITE PLAN**
NW HICKORY STREET
ALBANY, OREGON

revisions:
PLAN REVISION 07.05.2018

date: JUNE 5, 2018
drawn by: ARS
designer: RD
project no: 17-437

**TITLE SHEET
AND SITE PLAN**

sheet: **C1**