



COMMUNITY DEVELOPMENT DEPARTMENT

333 Broadalbin Street SW, P.O. Box 490
Albany, OR 97321

Ph: 541-917-7550 Fax: 541-917-7598
www.cityofalbany.net

NOTICE OF FILING

DATE OF NOTICE: June 11, 2018

FILE: SP-21-18

TYPE OF APPLICATION: Site Plan Review for new construction of a 14,000-square-foot industrial building with associated parking lot and other site improvements

REVIEW BODY: Staff (Type I-L review)

APPLICANT/
PROPERTY OWNER: Chris Hanson, Manager; Marion Industrial Park LLC; 1788 Cascade Heights Drive NW; Albany, OR 97321

APPLICANT'S ENGINEER: Troy L. Plum, P.E.; TKP Engineering LLC; PO Box 374; Corvallis, OR 97339

ADDRESS/LOCATION: 4386 Marion Street SE

MAP/TAX LOT: Linn County Assessor's Map No. 11S-03W-19A; Tax Lot 700

ZONING: Light Industrial (LI) District

The City of Albany has received the Site Plan Review application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application, to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **June 25, 2018**.

We have attached a location map and a site plan of the proposed development. All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or telephone **David Martineau, Lead Planner**, at 541-917-7561. Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321. Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code, the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the Review Criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code. These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

APPROVAL STANDARDS FOR THIS REQUEST:

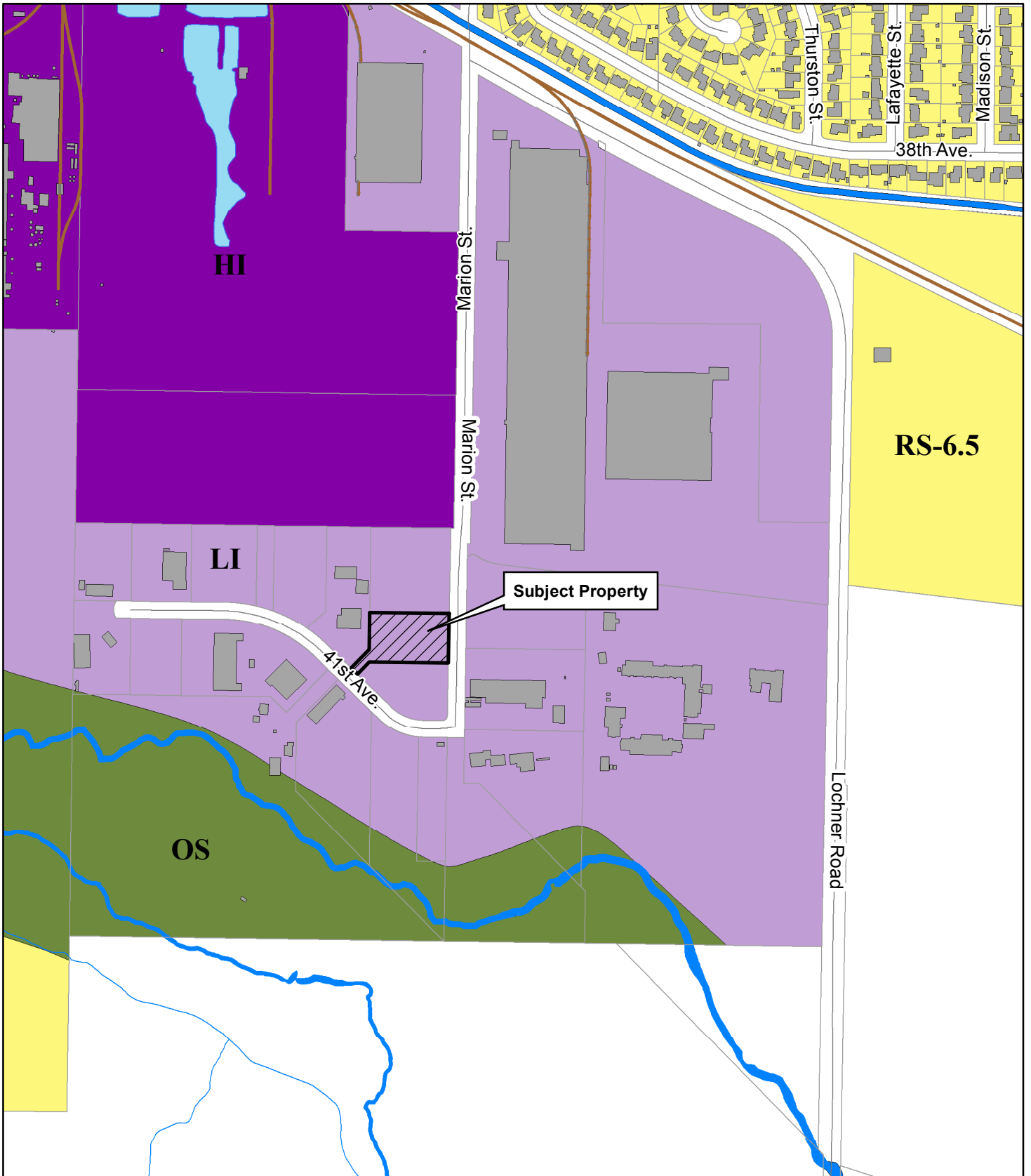
Albany Development Code

SITE PLAN REVIEW (ADC 2.450)


- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW ARE FOUND IN ALBANY DEVELOPMENT CODE ARTICLES 1, 2, 4, 9, 12, & 13

Attachments: Location Map, Applicant's Site Plan


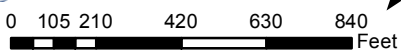


Location Map: 4386 Marion Street SE



The City of Albany's Infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All of the data provided represents current information in a readily available format. While the data provided is generally believed to be accurate, occasionally it proves to be incorrect; thus its accuracy is not warranted. Prior to making any property purchases or other investments based in full or in part upon the material provided, it is specifically advised that you independently field verify the

N

0 105 210 420 630 840 Feet

June 6, 2018

Planning Division

City of Albany - 333 Broadalbin St. SW, Albany, Oregon 97321 (541) 917- 7550

SITE DATA	
SITE ADDRESS	4386 MARION STREET
TAX MAP	LINN COUNTY 11S-03W-19A
TAX LOT	700
GROSS LAND AREA	±1.16 ACRES
ROW DEDICATION	±0.00 ACRES
NET LAND AREA	±1.16 ACRES
ZONE	LIGHT INDUSTRIAL (L)
PROPOSED USE	WAREHOUSE
CURRENT USE	VACANT

PARKING DATA	
STANDARD STALLS	42
ADA STALLS	2
TRUCK STALLS	4
TOTAL STALLS	48

OWNER
MARION INDUSTRIAL PARK LLC
1788 CASCADE HEIGHTS DRIVE NW
ALBANY, OR 97321

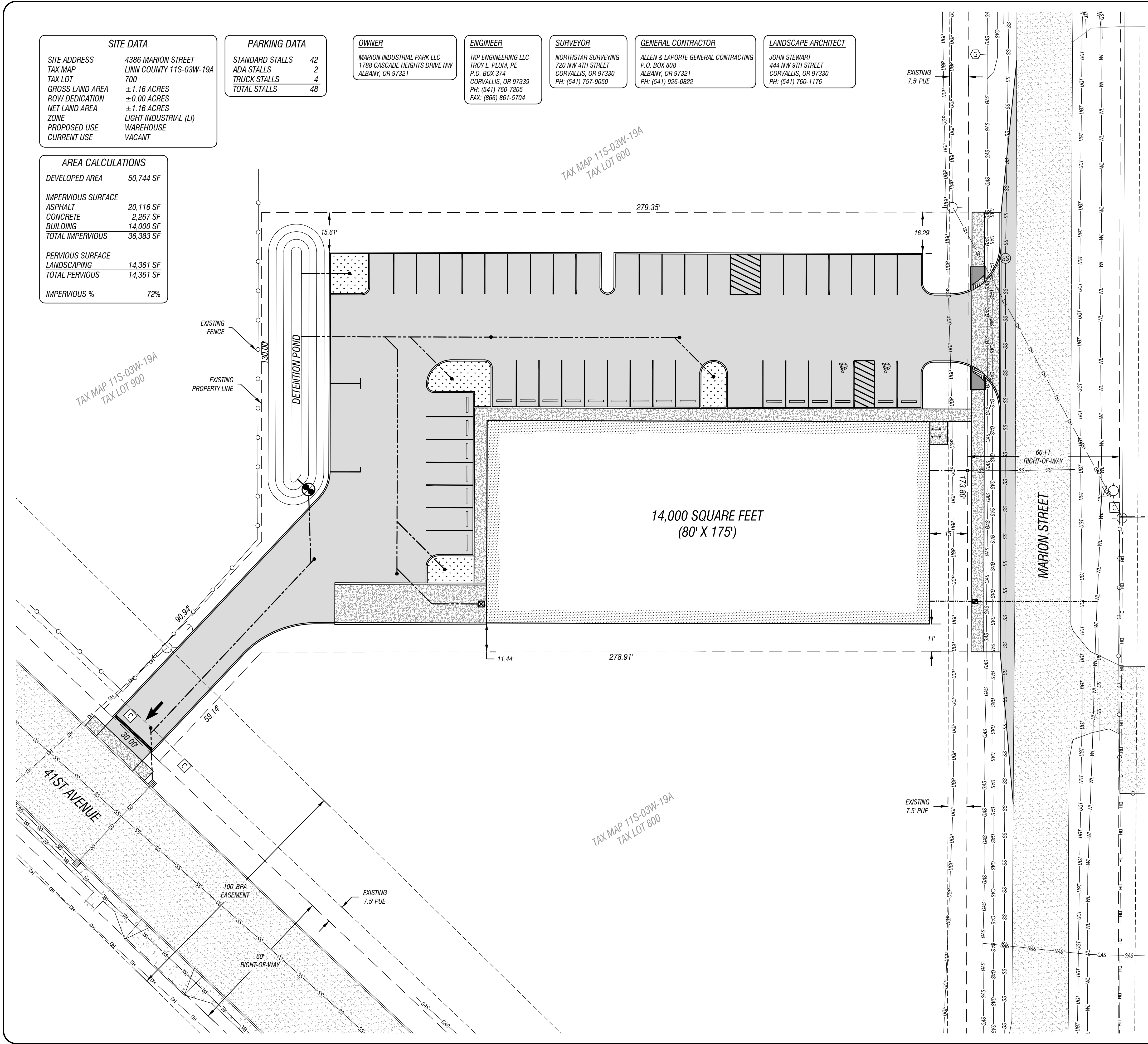
ENGINEER
TKP ENGINEERING LLC
TROY L. PLUM, PE
P.O. BOX 374
CORVALLIS, OR 97339
PH: (541) 760-7205
FAX: (866) 861-5704

SURVEYOR
NORTHSTAR SURVEYING
720 NW 4TH STREET
CORVALLIS, OR 97330
PH: (541) 757-9050

GENERAL CONTRACTOR
ALLEN & LAPORTE GENERAL CONTRACTING
P.O. BOX 808
ALBANY, OR 97321
PH: (541) 926-0822

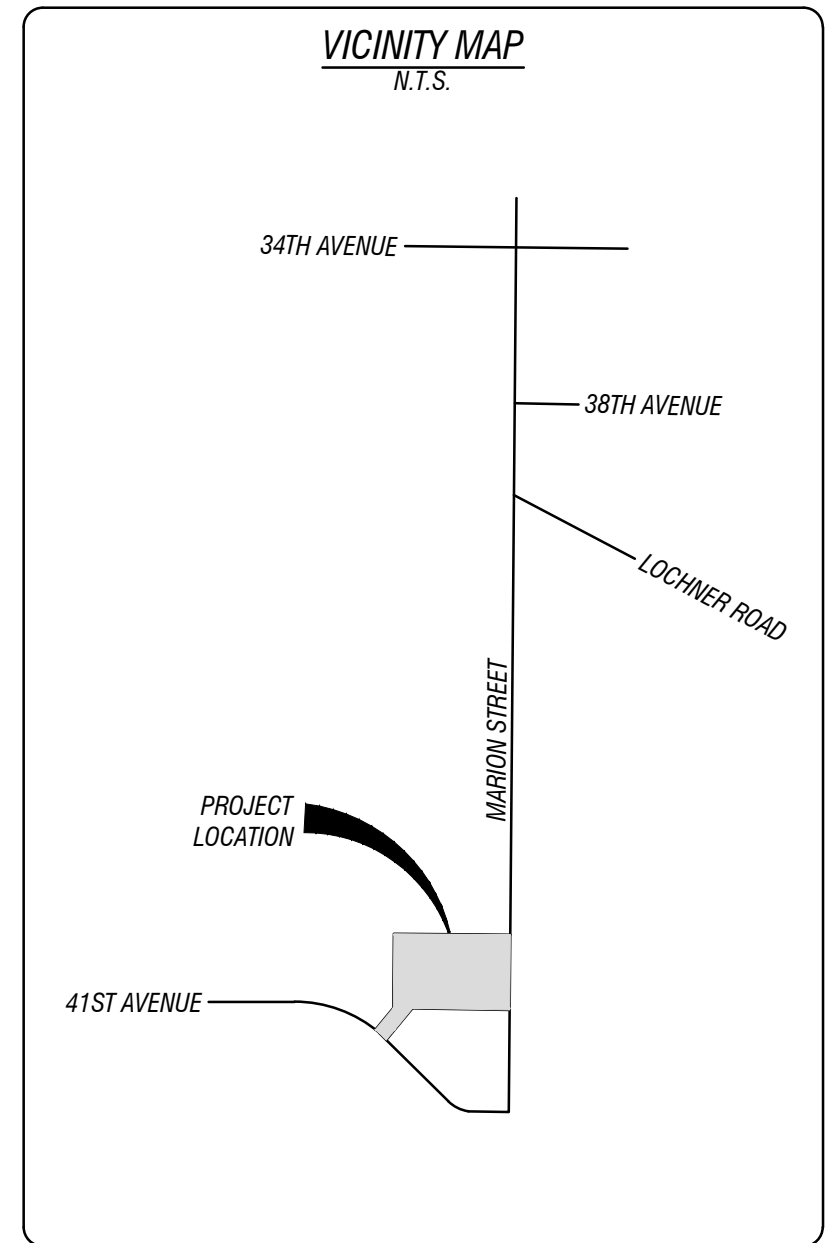
LANDSCAPE ARCHITECT
JOHN STEWART
444 NW 9TH STREET
CORVALLIS, OR 97330
PH: (541) 760-1176

AREA CALCULATIONS	
DEVELOPED AREA	50,744 SF
IMPERVIOUS SURFACE	
ASPHALT	20,116 SF
CONCRETE	2,267 SF
BUILDING	14,000 SF
TOTAL IMPERVIOUS	36,383 SF
PERVIOUS SURFACE	
LANDSCAPING	14,361 SF
TOTAL PERVIOUS	14,361 SF
IMPERVIOUS %	72%



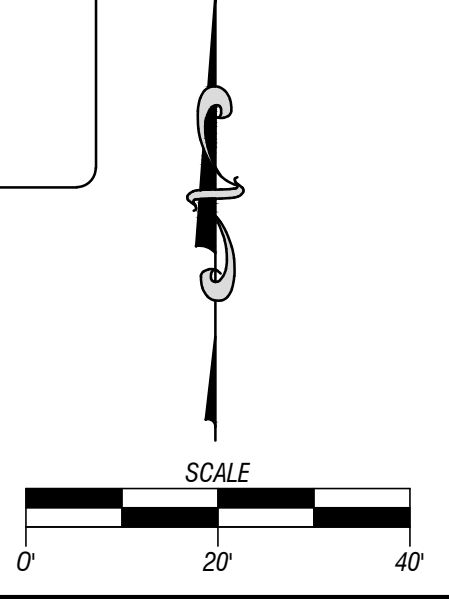
LEGEND

EXISTING	PROPOSED
SD — SD — Storm Drainage	--- STORM DRAINAGE
SS — SS — Sanitary Sewer	--- SANITARY SEWER
WL — WL — Waterline	--- WATERLINE
UGP — UGP — Underground Power	--- FENCE
OH — OH — Overhead Utilities	--- PROPERTY LINE
GAS — GAS — Natural Gas	--- EASEMENT LINE
UGT — UGT — Phone	● STORM SEWER MANHOLE
CTV — CTV — Cable	● DETENTION MANHOLE
○ Fence	■ CATCH BASIN
--- Property Line	■ STORM DRAIN CLEANOUT
--- Easement Line	○ SANITARY SEWER CLEANOUT
● Storm Sewer Manhole	■ WATER METER
■ Catch Basin	— BIKE RACK
● Sanitary Sewer Manhole	● STREET LIGHT
○ Fire Hydrant	● TREE
⊗ Waterline Valve	■ PROPOSED ASPHALT
⊕ Water Meter	■ PROPOSED CONCRETE SIDEWALK
○ Utility Pole	■ WATER QUALITY PLANTERS
↓ Down Guy	■ Existing Asphalt
□ Utility Vault	■ Existing Sidewalk
⊕ Power Pedestal	
⊕ Telephone Pedestal	
⊕ Cable TV Pedestal	
★ Deciduous Tree	
● Conifer Tree	



INDEX OF DRAWINGS

P. 100	COVER SHEET
P. 101	PRELIMINARY DEVELOPMENT PLAN
P. 102	EXISTING & PROPOSED TOPOGRAPHY



TKP ENGINEERING
P.O. BOX 374
Corvallis, OR 97339
Phone (541) 760-7205
Fax (866) 861-5704

TKP

COVER SHEET

MARION STREET INDUSTRIAL
PREPARED FOR:
MARION INDUSTRIAL PARK LLC

REGISTERED PROFESSIONAL ENGINEER
TROY L. PLUM
OREGON
SEPTEMBER 14, 2009
EXPIRES 12/31/2018

DATE	5/5/2018
PROJECT	18-001
DWG	18-001DWG
REVISION	DATE

SHEET P. 100

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