



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Filing

Site Plan Review

File: SP-21-19

August 2, 2019

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Laura LaRoque** (541-917-7640, laura.laroque@cityofalbany.net). The deadline for submission of written comments is 5:00 p.m. on **August 16, 2019**.

Application Information

Proposal:	Site Plan Review for construction of a single-sided coffee drive-through with separate walk/bike-up window on partially developed site.
Review Body:	Staff (Type I-L review)
Applicant:	Jay Reab; Blueberry Junction, LLC; 1120 NW Dixon Street, Corvallis, OR 97330; 541-760-9865; jreab@comcast.net
Property Owner:	Dennis Ropp; Waverly Land Management; 4055 SE Spicer Drive, Albany, OR 97321
Representative:	Greg Goins, WinCo Foods, LLC; 650 N. Armstrong Place, Boise, ID 83704; 208-672-2072; greg.goins@wincofoods.com
Address/Location	3100 Pacific Boulevard SE, Albany, OR 97321
Map/Tax Lot:	Linn County Assessor's Map No. 11S-03W-04CB Tax Lot 107
Zoning:	Regional Commercial (RC)

The City of Albany has received the Site Plan Review application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on August 16, 2019, 14 days from the date the City mails the Notice of Filing.

All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or telephone Laura LaRoque, Project Planner, at 541-917-7640. Submit any written comments to the Planning Division; P.O. Box

cd.cityofalbany.net



490; Albany, OR 97321 or by email to laura.laroque@cityofalbany.net. Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code. These standards address such features as off-street parking, landscaping, setbacks, and lighting. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

Site Plan Review Criteria, Albany Development Code, ADC 2.450:

- (1) Public utilities can accommodate the proposed development.
- (2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (3) The transportation system can safely and adequately accommodate the proposed development.
- (4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (7) The site is in compliance with prior land use approvals.
- (8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Design Standards, Commercial Development, ADC 8.310-8.390

Additional review standards for these applications are found in ADC Articles 1, 2, 4, 8, 9, & 12.

Attachments: Location Map, Applicant's Site Plan

Subject Property

RM

LI

RS-6.5

Waverly Lake

Airport Rd.

Interstate-5

Highway 99E

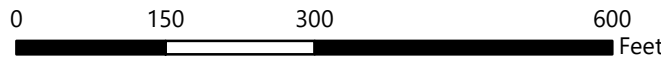
RC

Killdeer Ave.

McDonald's Rd.

McDonald's Rd.

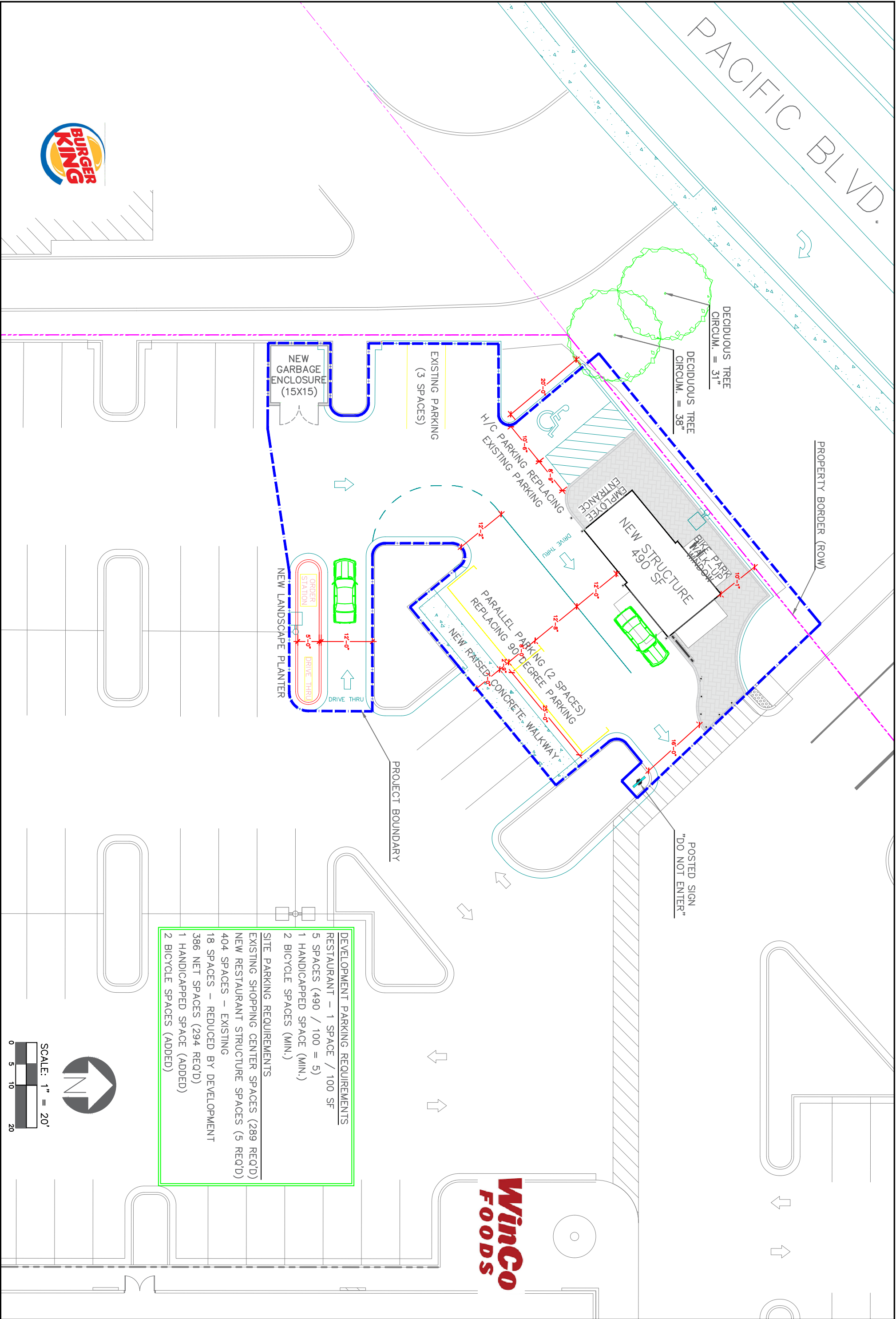
G:\Community Development\Planning\Land Use Cases\2010s\2019\Reglar (R)\RL-01-19\2409 SE Practic) - See SP-03-19\Location Map.mxd



3100 Pacific Blvd. SE

Date: 7/17/2019 Map Source: City of Albany

Location / Zoning Map



DEVELOPMENT PARKING REQUIREMENTS

RESTAURANT - 1 SPACE / 100 SF
 5 SPACES (490 / 100 = 5)
 1 HANDICAPPED SPACE (MIN.)
 2 BICYCLE SPACES (MIN.)

SITE PARKING REQUIREMENTS

EXISTING SHOPPING CENTER SPACES (289 REQ'D)
 NEW RESTAURANT STRUCTURE SPACES (5 REQ'D)
 404 SPACES - EXISTING
 18 SPACES - REDUCED BY DEVELOPMENT
 386 NET SPACES (294 REQ'D)
 1 HANDICAPPED SPACE (ADDED)
 2 BICYCLE SPACES (ADDED)



SCALE: 1" = 20'
 0 5 10 20

REVISIONS				BY	DATE	APPR	DRAWN	JR
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THE HUMAN BEAN AT WINCO ALBANY
 BLUEBERRY JUNCTION, LLC
 3100 PACIFIC BLVD SE, ALBANY, OREGON 97321
 PRELIMINARY SITE PLAN

SCALE: 1" = 20'
 DRAWING NUMBER: SITE PLAN
 SHEET 1 OF 1

**BLUEBERRY JUNCTION
 CONSTRUCTION
 CCB# 217360**

APPENDIX
 C-1