



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Decision

Residential Accessory Structure

SP-27-19 & FP-08-19

January 10, 2020

Application Information

Proposal:	Site Plan Review with concurrent floodplain review to construct a cement fiber board residential accessory structure (48-foot by 40-foot with 18-foot wall height) on an undeveloped lot that does not have a primary dwelling.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Laura LaRoque, Project Planner
Property Owner/Applicant:	Kevin and Amber Manske; 508 North Nebergall Loop NE
Address/Location:	480 North Nebergall Loop NE, Albany, OR 97321
Map/Tax Lot:	Benton County Tax Assessor's Map No.: 10S-03W-31AC Tax Lot 502
Zoning:	Residential Reserve (RR) District

On January 10, 2020, the City of Albany Community Development Director granted an **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC). The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Project Planner Laura LaRoque** at 541-917-7640, or Planning Manager David Martineau at 541-917-7561.

The City's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) if a person with standing files a Notice of Intent to Appeal not later than 21 days after the director's Notice of Decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City. This approval expires in three years unless the final plat has been submitted to the City's Planning Division for review and approval.

Signature on file

Community Development Director

Appeal Deadline: January 31, 2020

Approval Expiration Date (if not appealed): January 10, 2023

Attachments: Location Map, Site Plan, and Building Elevations-

cd.cityofalbany.net



Condition of Approval

Condition 1 Prior to issuance of building permits, the applicant must submit plans to the Community Development Department for review and approval that show consistency with the floodplain building standards under ADC 6.120 and 6.121(1). This includes a requirement for a non-conversion agreement for the portion of the garage that is below the base flood elevation.

The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations, or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. For accessory structures located on property without a residence, the development code prohibits use of that structure for commercial purposes.

Building

Permits

4. Obtain building permits prior to any construction.
5. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.

Plan Review for Permits

6. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at ePlans@cityofalbany.net for details and instructions prior to submittal.

Fire Department

7. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the new created lot as measured by an approved route of travel around the exterior of the structure with dead-end lengths not exceeding 150 feet long unless an approved turnaround is provided. (OFC 503.1.1, OFC 503.2.5 and OFC, Appendix D 103.4).

If several lots share an Emergency Vehicle Access, before the City will approve issuance of a building permit for this parcel, the applicant must provide the building official with evidence that the following will occur before construction materials are brought on to the site (OFC 503):

An Emergency Vehicle Access Easement recorded on the affected parcels identifying that said easement shall be maintained by the owners and for purposes of ingress and egress to provide, without limitation, fire protection, ambulances and rescue services and other lawful governmental or private emergency services to the premises, owners, occupants and invitees thereof and said easement shall be made part of any submittal.

A “no-parking” restriction must be placed over the private access road and any additional areas on the property the Fire Marshal determines must be restricted for fire apparatus access.

8. Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus (OFC 503.2.5 and D103.4)

**If this project is a shop only, not residential living, then no turnaround will be required.

9. The fire apparatus roadways for this project accessing the site from the public way and serving two or more residential structures are required to be provided and maintained with a minimum 20 feet wide improved surface. (OFC 503.2.1) The width of the improved surface may be reduced to 12 feet for those portions serving only one residential structure.
10. The road surface for all private fire apparatus access roads shall be all weather and capable of supporting an imposed load from fire apparatus of at least 75,000 pounds as verified by a qualified State of Oregon licensed design professional. (OFC 503.2.3 & Appendix D, 102.1). The Designer of Record shall provide written certification to the Fire Department upon completion of all private access road construction.
11. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area will be required to be served by a public water system. The Fire Flow required for shall be as specified in Appendix B of the fire code. (OFC 507.3)
 - a. Existing hydrants are adequate.

12. INADEQUATE FIRE APPROACH & ACCESS TO WATER SUPPLY

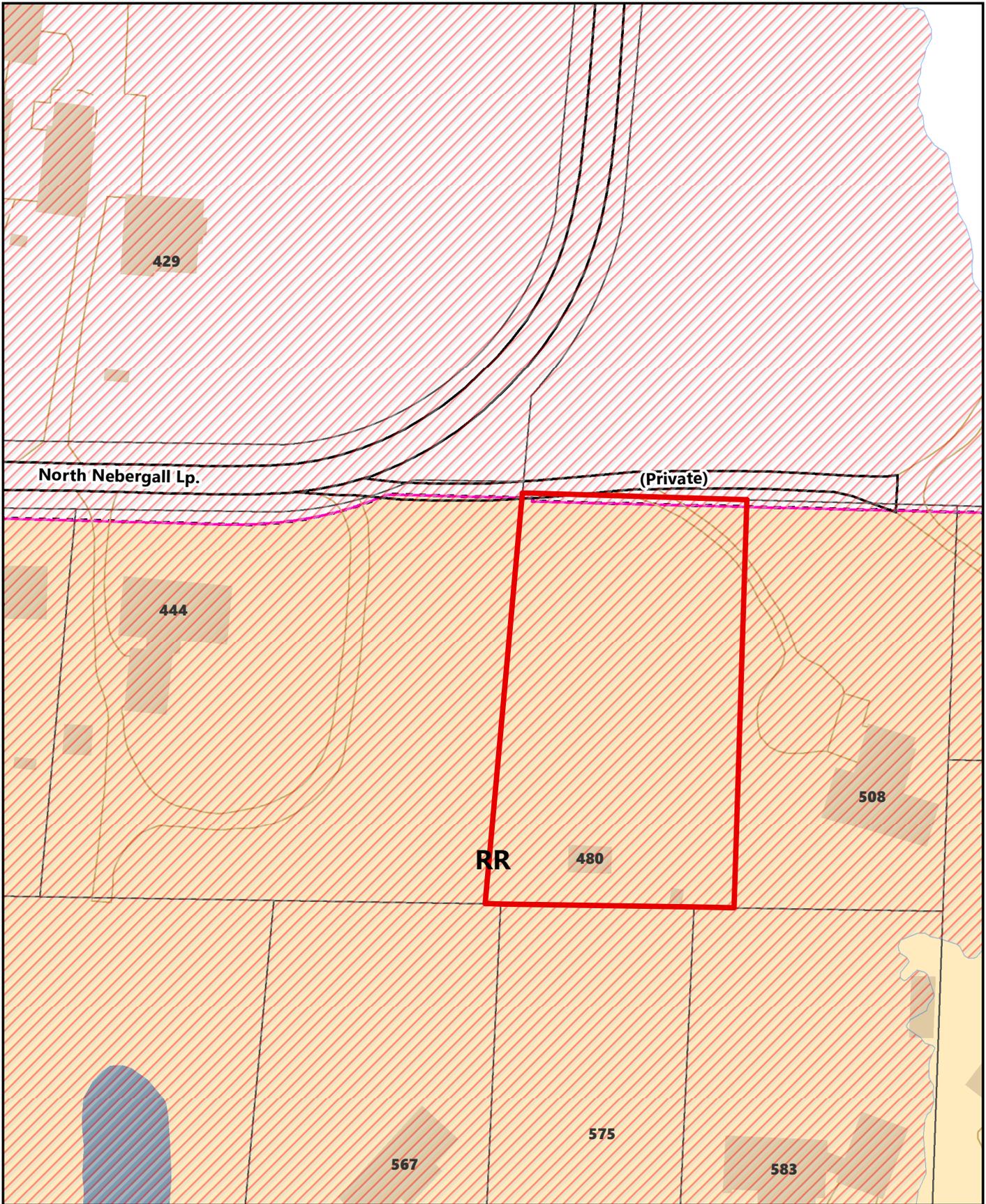
If the fire official determines that there is an inadequate fire apparatus access condition or an inadequate fire water supply for one or more parcels of the proposed division, in Lieu of providing adequate fire apparatus access or supply and acting in conformance to the standards set forth in OAR 918-480-0125, the Uniform Alternate Construction Standard for One and Two Family Dwellings, the building official, will select one or more of the following standard(s) to address the inadequacies pertaining to structures built on the affected parcels. The first choice is to have the buildings on the lots affected, protected by a NFPA 13D fire suppression system.

- b. Installation of an NFPA Standard 13D fire suppression system;
- c. Installation of a partial NFPA Standard 13D fire suppression system;
- d. Installation of additional layers of 5/8 inch, Type-X gypsum wallboard;
- e. Installation of fire-resistive compartmentalization of dwellings to limit the spread of fire by use of fire-resistant building elements, components or assemblies. Fire resistance ratings shall be determined in accordance with the Oregon Structural Specialty Code;
- f. Installation of fire-resistive exterior wall covering and roofing components; or

- g. Provide fire separation containment in accordance with the default standards as set forth in the Wildland-Urban Interface rules adopted by the Oregon Department of Forestry (See OAR 629-044-1060).

Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

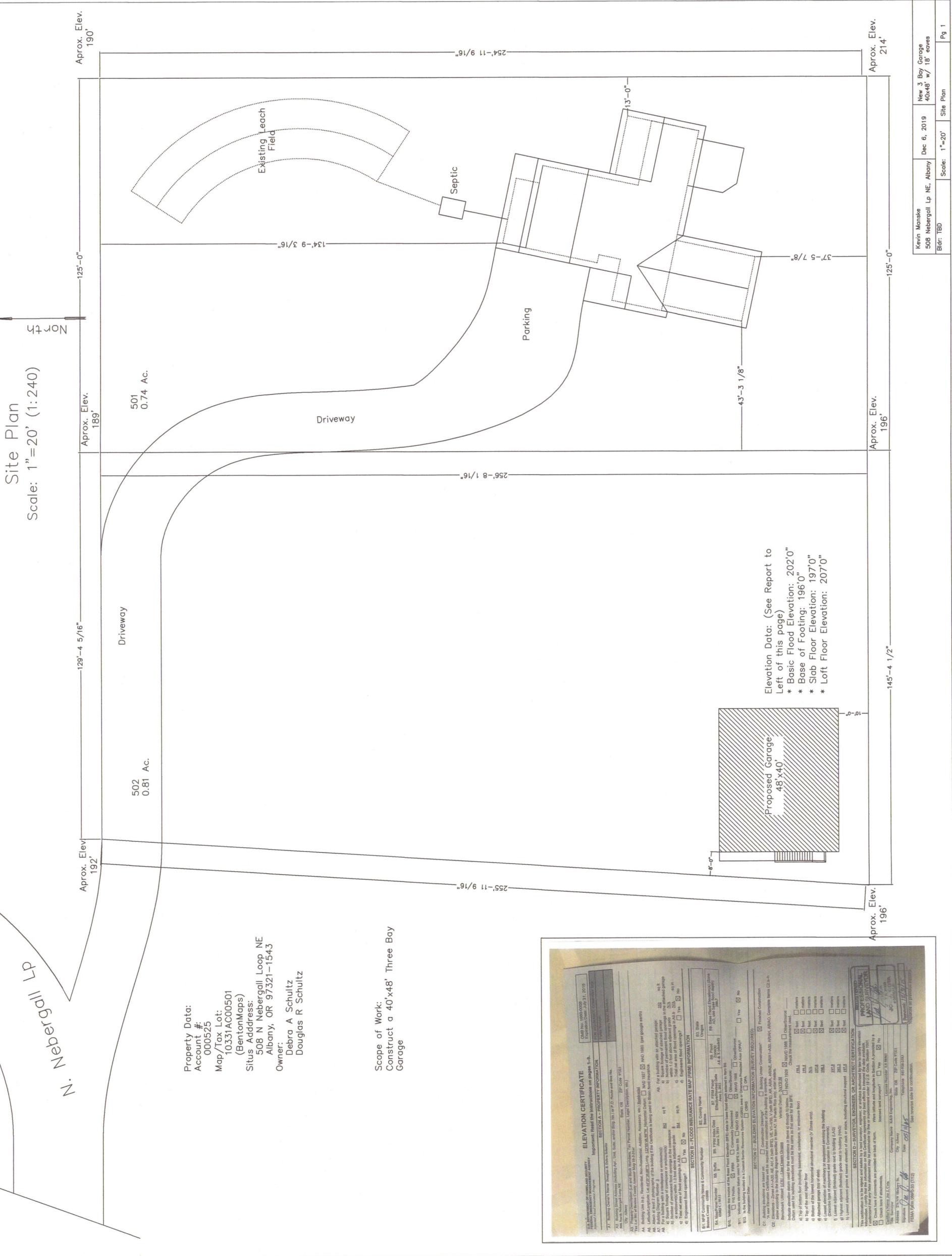


N
0 25 50 100
Feet

Date: 12/2/2019 Map Source: City of Albany

480 North Nebergall Loop NE

Location / Zoning Map



ELEVATION CERTIFICATE
 Oregon Department of Transportation
 1500 NE Oregon Street, Salem, OR 97331-3000
 (503) 325-3000

SECTION A - PROPERTY INFORMATION

1. Project Name: Garage
 2. Project Address: 508 N Nebergall Loop NE, Albany, OR 97321-1543
 3. Applicant Name: Debra A Schultz, Douglas R Schultz
 4. Applicant Address: 508 N Nebergall Loop NE, Albany, OR 97321-1543
 5. Project Description: Construct a 40'x48' Three Bay Garage

SECTION B - FLOOD INUNDATION DATA (FIRM INFORMATION)

6. Flood Hazard Zone: AE
 7. Flood Hazard Category: 1
 8. Flood Hazard Date: 1/1/19
 9. Flood Hazard Elevation: 202.0

SECTION C - BUILDING ELEVATION DATA (SURVEY REQUIRED)

10. Building Elevation: 197.0
 11. Foundation Elevation: 196.0
 12. Lowest Adjacent Grade: 197.0
 13. Highest Adjacent Grade: 197.0
 14. Lowest Elevation of any part of the building: 196.0
 15. Highest Elevation of any part of the building: 207.0

SECTION D - PROFESSIONAL LAND SURVEYOR CERTIFICATION

I, Kevin Monske, a duly licensed Professional Land Surveyor, do hereby certify that the information provided herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed Professional Land Surveyor in the State of Oregon.

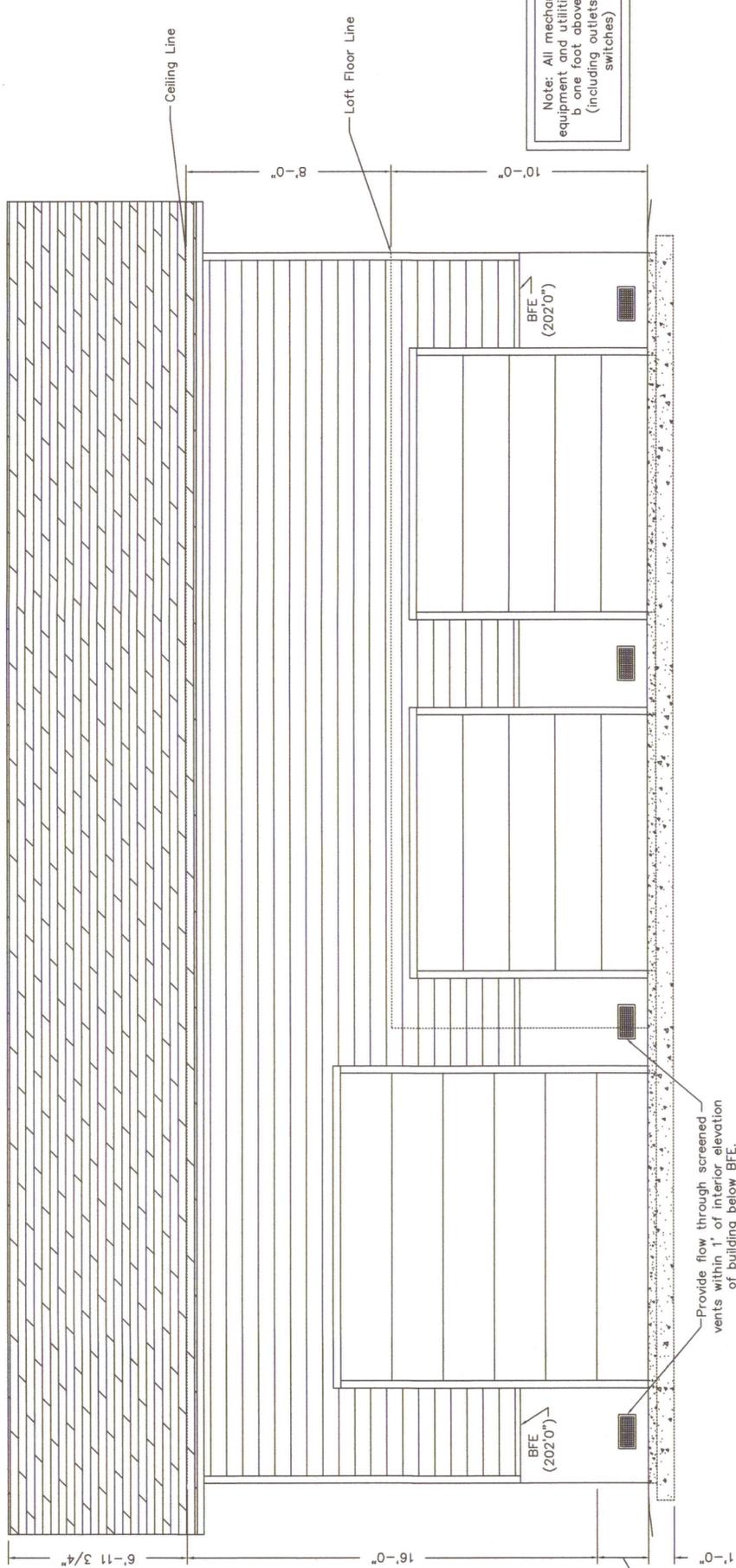
Signature: Kevin Monske
 Date: Dec 6, 2019
 License Number: 12113

North Elevation
Scale: 1/4" = 1' (1:48)

- Roof Truss Detail:**
- * Trusses designed & mfg. by a Certified Oregon Truss Manufacturer
 - * Type: Common
 - * Span: 40'0"
 - * Pitch: 4:12
 - * Overhang: 22 1/2"
 - * Spacing: 24" o.c.
 - * H2.5 ea. end ea. truss

- Framing Details:**
- * Double 2x6 Top Plate
 - * 2x6 studs 16" o.c.
 - * 1/2" CDX pwd. subsiding (Block all edges)
 - * Ribbed vapor barrier
 - * Hardi Plank siding, 7" exposure
 - * 2x6 p.t. mudsill
 - * 3/8" x 10" fnd bolts 48" o.c. w/ 3" sq. HDG washers & Nuts
 - * 1/4" x 6" sill sealer insulation
 - * 8" w/ 64" h concrete foundation w/ 4 ea. #4 horiz. rebar (@8", 24", 40", 56") & 1 ea. vert #4 rebar 16" o.c.
 - * 24" w x 8" d footing w/ 2 ea. #4 horiz. rebar

Note: All materials below Basic Flood Elevation (BFE) shall be water resistant materials.



West Elevation
Scale: 1/4" = 1' (1:48)

- Roof Truss Detail:**
- * Trusses designed & mfg. by a Certified Oregon Truss Manufacturer
 - * Type: Common
 - * Span: 40'0"
 - * Pitch: 4:12
 - * Overhang: 22 1/2"
 - * Spacing: 24" o.c.
 - * H2.5 ea. end ea. truss

- Framing Details:**
- * Double 2x6 Top Plate
 - * 2x6 studs 16" o.c.
 - * 1/2" CDX pwd. subsiding (Block all edges)
 - * Ribbed vapor barrier
 - * Hardi Plank siding, 7" exposure
 - * 2x6 p.t. mudsill
 - * 3/8" x 10" fnd bolts 48" o.c. w/ 3" sq. HDG washers & Nuts
 - * 1/4" x 6" sill sealer insulation
 - * 8" w x 64" h concrete foundation w/ 4 ea. #4 horiz. rebar (8", 24", 40", 56") & 1 ea. vert #4 rebar 16" o.c.
 - * 24" w x 8" d footing w/ 2 ea. #4 horiz. rebar

Note: All materials below Basic Flood Elevation (BFE) shall be water resistant materials.

