

## COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

# Notice of Filing

## Site Plan Review

### Residential Accessory Structure

SP-27-19 & FP-08-19

December 20, 2019

Proposal:	Site plan review with concurrent floodplain review to construct a cement fiber board residential accessory structure (48-foot by 40-foot with 18-foot wall height)
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Kevin Manske; 508 North Nebergall Loop NE
Address/Location:	480 North Nebergall Loop NE, Albany, OR 97321
Map/Tax Lot:	Benton County Tax Assessor's Map No(s):10S-03W-31AC; Tax Lot 502

The City of Albany has received the site plan review and floodplain review applications referenced above. We are mailing notice of the application to property owners within 100 feet of the proposed development. We invite your written comments on this application, to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **January 3, 2020**.

We have attached a location map and a site plan of the proposed development. All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or call **Laura LaRoque, project planner**, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490; Albany, OR 97321 or by email to [laura.laroque@cityofalbany.net](mailto:laura.laroque@cityofalbany.net). Any person submitting written comments will receive a copy of the Notice of Decision on the application.

According to the Albany Development Code (ADC or code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable city development standards found in the code. These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

### Approval Standards for This Request

#### Site Plan Review Criteria, Albany Development Code, ADC 2.450:

- 1) Public utilities can accommodate the proposed development.

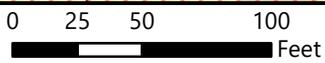
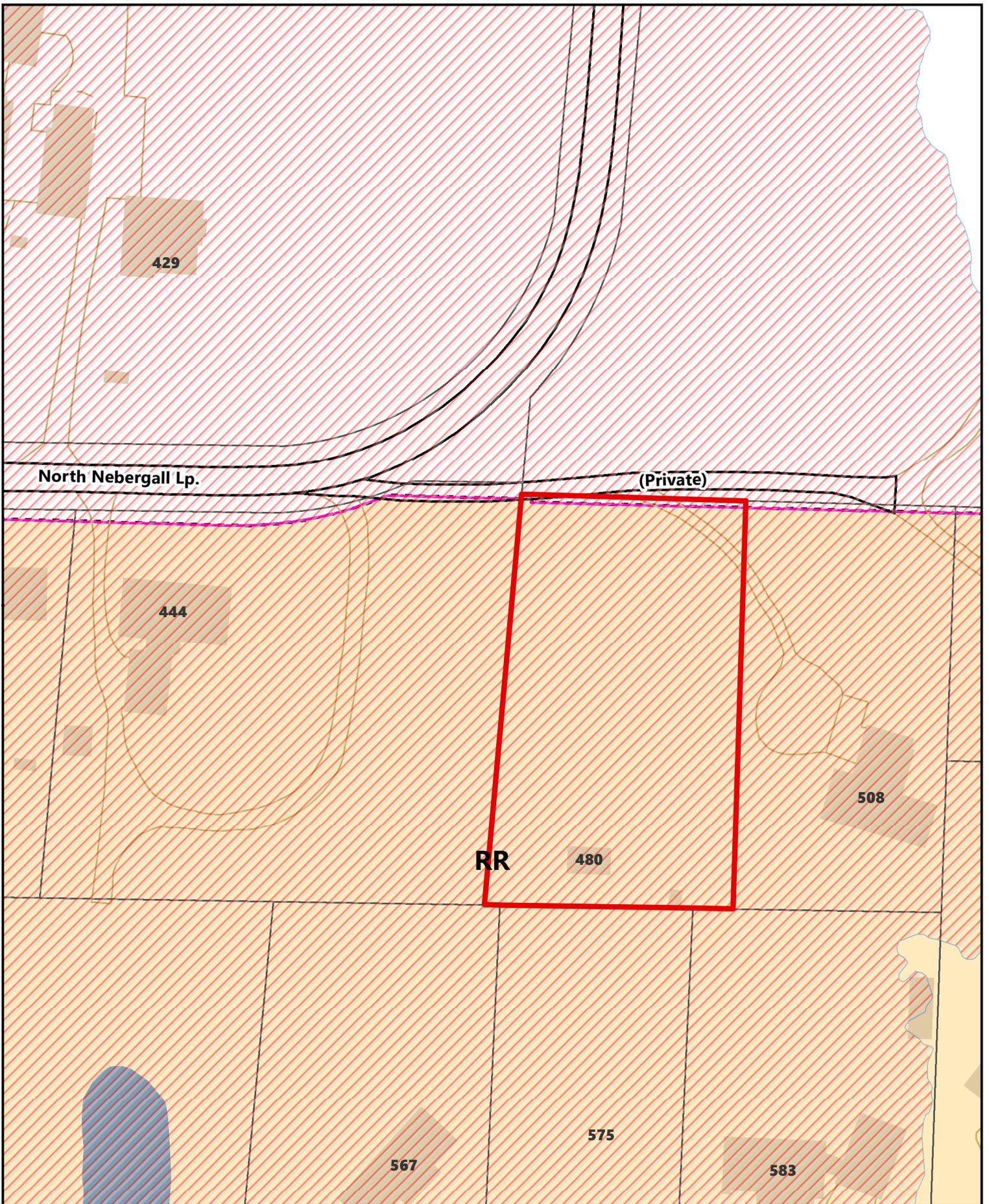
- 2) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- 3) The transportation system can safely and adequately accommodate the proposed development.
- 4) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- 5) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
- 6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- 7) The site is in compliance with prior land use approvals.
- 8) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

**Site Improvement, Land Division and Manufactured Home Park Standards, ADC 6.110:**

- 1) All proposed new development and land divisions shall be consistent with the need to minimize flood damage and ensure that building sites will be reasonably safe from flooding.
- 2) All new development and land division proposals shall have utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- 3) On-site waste disposal systems shall be located and constructed to avoid functional impairment, or contamination from them, during flooding.
- 4) All development proposals shall have adequate drainage provided to reduce exposure to flood damage.
- 5) Any lot created for development purposes must have adequate area created outside of the floodway to maintain a buildable site area meeting the minimum requirements of this Article.
- 6) Any new public or private street providing access to a residential development shall have a roadway crown elevation not lower than one foot below the 100-year flood elevation.
- 7) All development proposals shall show the location of the 100-year flood contour line followed by the date the flood elevation was established. When elevation data is not available, either through the Flood Insurance Study or from another authoritative source, and the development is four or more acres or results in four or more lots or structures, the elevation shall be determined and certified by a registered engineer. In addition, a statement located on or attached to the recorded map or plat shall read as follows: "Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City."
- 8) In addition to the general review criteria applicable to manufactured home parks in Article 10, applications that propose actual development within a Special Flood Hazard Area shall include an evacuation plan indicating alternate vehicular access and escape routes.

**Additional review standards for this Site Plan Review application are found in ADC Articles 1, 2, 3, 6 & 12**

Attachments: Location Map, Applicant's Site Plan



Date: 12/2/2019 Map Source: City of Albany

**480 North Nebergall Loop NE**

Location / Zoning Map

