



## COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

# Notice of Decision

## Site Plan Review

SP-35-18

January 22, 2019

### Application Information

Proposal:	Site Plan Review to construct a 1,440 square foot (36 foot x 40 foot) accessory building on a lot with an existing single-family home
Review Body:	Staff (Type I-L review)
Report Prepared By:	Melissa Anderson, Senior Planner
Property Owner / Applicant:	Mr. Jim Suing, 150 Marilyn Street NE, Albany, OR 97322
Address/Location	150 Marilyn Street NE
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-03W-03A; Tax Lot 2200
Zoning District:	Residential Single Family (RS-6.5)

On January 22, 2019, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Melissa Anderson, Project Planner**, at 541-704-2319, or David Martineau, Acting Planning Manager, at 541-917-7561.

The City's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) if a person with standing files a Notice of Intent to Appeal not later than 21 days after the Director's notice of decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the city, or the applicant has provided financial assurance for all required public infrastructure per Albany Development Code Section 12.600, or if the development did not require public infrastructure, a valid building permit exists for new construction or improvements and work has commenced.

*Signature on file*

Public Works / Community Development Director

[cd.cityofalbany.net](http://cd.cityofalbany.net)



**Appeal Deadline: February 12, 2019**

**Approval Expiration Date (if not appealed): January 22, 2022**

## Condition of Approval

Condition #1 Prior to issuance of a building permit for the accessory structure, the applicant shall obtain an encroachment permit for the new driveway. The driveway shall be built to City standards, which includes at least 20 feet of paved driveway with the drive-aisle setback five feet or more from the interior lot, and a culvert to maintain the existing stormwater drainage in Marilyn Street.

**The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.**

## Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

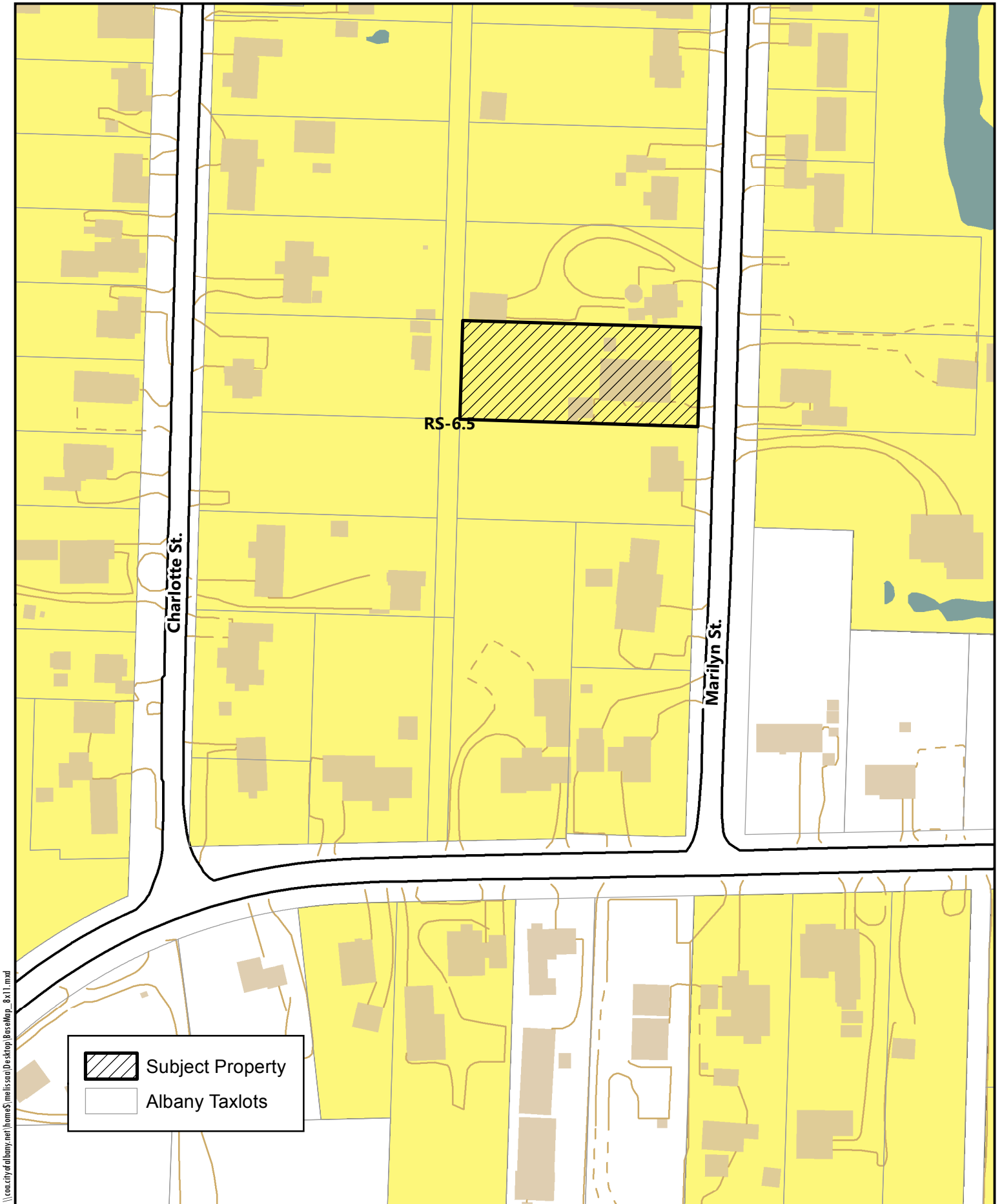
### Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved site plan review.

### Engineering

**General Engineering Processes:** The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

**Attachments:** Information for the Applicant, Location Map, Site Plan and Elevations



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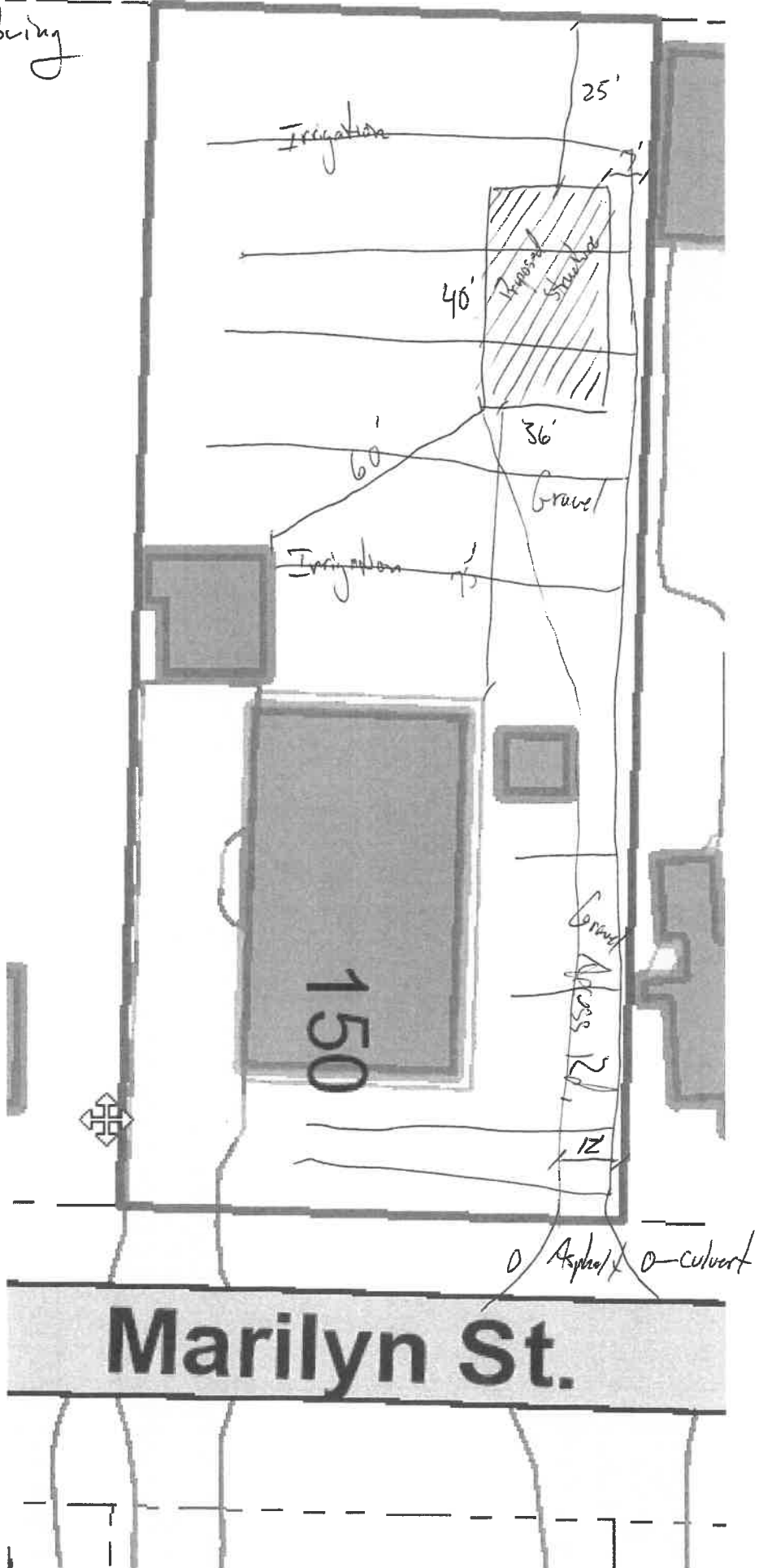
Feet

Date: 9/14/2018 Map Source: City of Albany

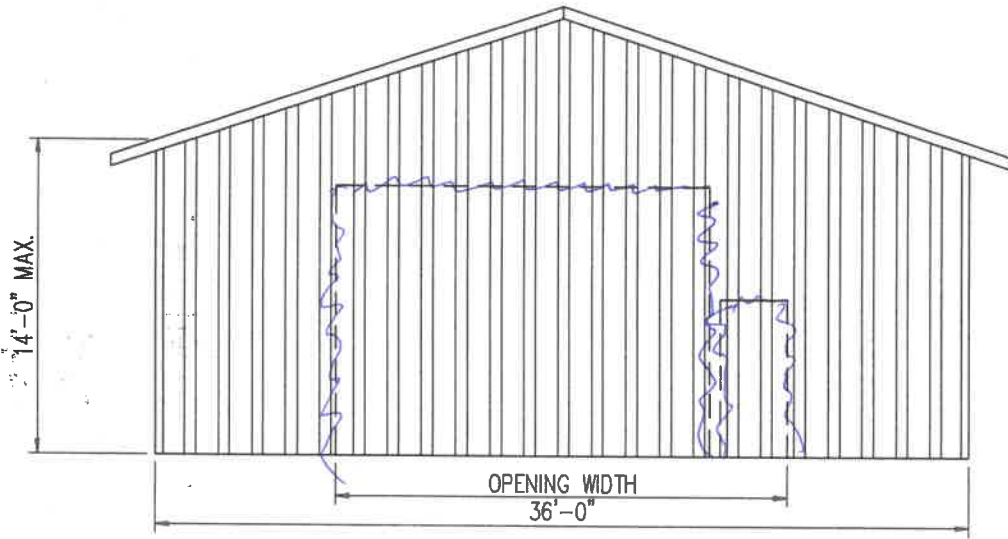
**150 Marilyn Street NE**

**Location / Zoning Map**

Jim & Diane Spring  
150 Marilyn St.



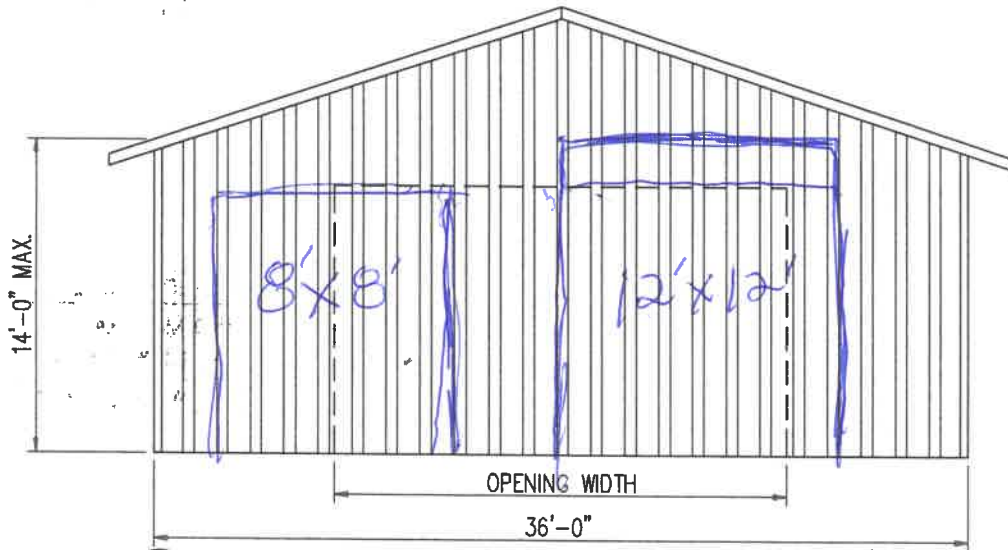
Drawn 9/5/18  
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**1**  
512 GABLE ELEVATION

**PLAN NOTES:**

- 1. MAXIMUM OPENING WIDTH IS 20'-0"
- 2. SEE 1/511 FOR TRUSS BOTTOM CHORD BRACING FOR OPENING GREATER THAN 14'-0"
- 3. STITCH WALL PER S10 WHEN OPENING IS EQUAL OR GREATER THAN 16'-0"



**2**  
512 GABLE ELEVATION

**BUILDING CODES DIVISION**

1535 EDGEWATER STREET NW  
SALEM OR 97306  
P.O. BOX 14470  
TEL: (503) 378-4133 FAX: (503) 378-2322

**READY BUILD PLAN #2014-01**  
**PRESCRIPTIVE POST FRAME BUILDING**  
36'-0" X 48'-0" X 14'-0"

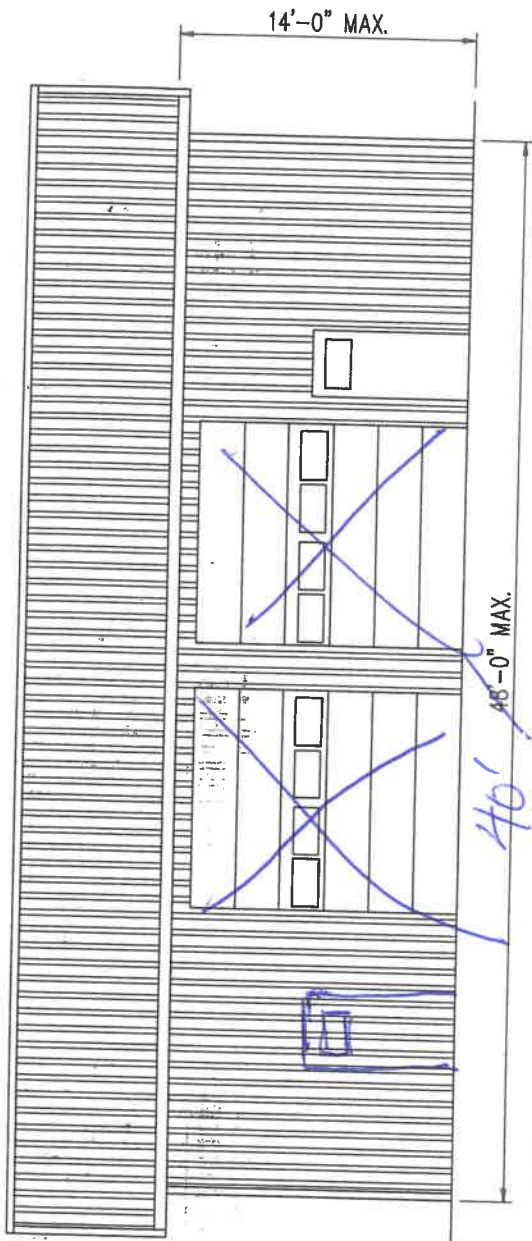
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SNOW: 30 PSF

BUILDING CODE:

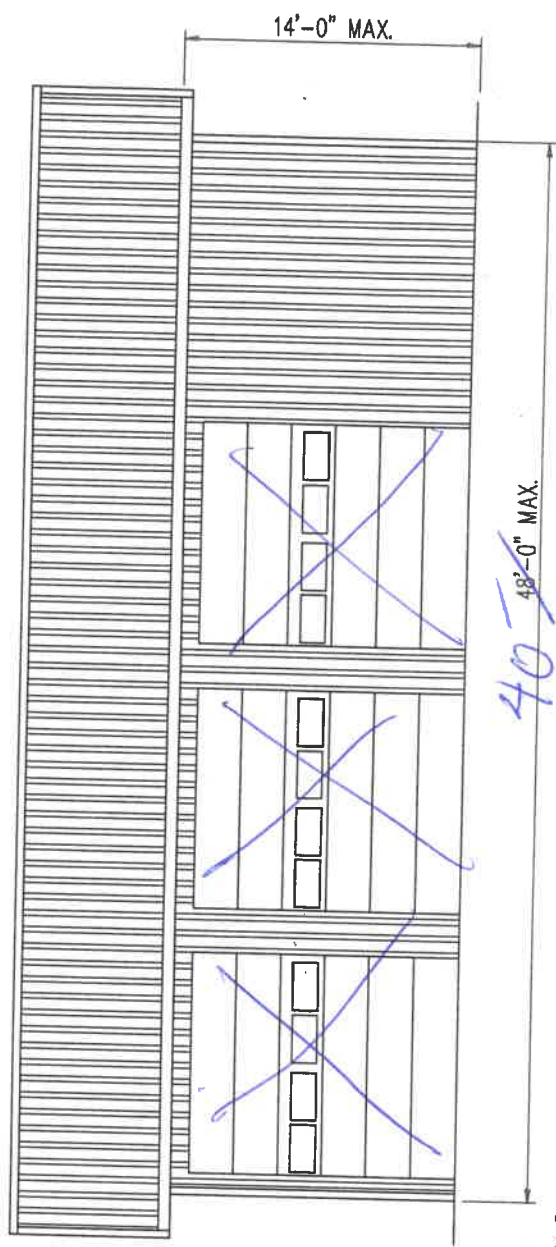
Sheet:

OSSC: 2010

S12



1 SIDE/EAVE ELEVATION  
S13



2 SIDE/EAVE ELEVATION  
S13

**PLAN NOTES:**

1. MINIMUM 12'-0" SOLID WALL
2. (3) 10'-0" WIDE OVERHEAD DOORS OR (2) 10'-0" WIDE OVERHEAD DOORS AND 1 MAN DOOR CAN BE PLACED IN THE EAVE WALL
3. STITCH WALL PER S10 WHEN THE SOLID WALL IS 12'-0"

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