



## COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

# Notice of Decision

## Site Plan Review

SP-37-18

May 3, 2019

### Application Information

Proposal:	Construct an accessory structure with metal siding and roof. The structure is 42 feet x 24 feet with 12-foot walls with a total height of 14 feet.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Travis North, Planner II
Property Owner/Applicant:	Nick Gasperino; 503 13 <sup>th</sup> Avenue NE, Albany, OR 97321
Address/Location	503 13 <sup>th</sup> Avenue NE
Map/Tax Lot:	Benton County Assessor's Map No. 10S-03W-31DC; Tax Lot 200
Zoning:	Residential Reserve (RR)

On May 3, 2019, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Travis North, Project Planner**, at 541-791-0176, or David Martineau, Planning Manager, at 541-917-7561.

The City's decision may be appealed to the Oregon Land Use Board of Appeals (LUBA) if a person with standing files a Notice of Intent to Appeal not later than 21 days after the Director's notice of decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City. This approval expires in three years unless the final plat has been submitted to the City's Planning Division for review and approval.

*Signature on file*

Community Development Director

**Appeal Deadline: May 24, 2019**

**Approval Expiration Date (if not appealed): May 5, 2022**

Attachments: Location Map, Site Plan, and Building Elevations.

[cd.cityofalbany.net](http://cd.cityofalbany.net)



## Conditions of Approval

- Condition 1 Prior to issuance of a building permit, the applicant shall meet the floodplain building standards under ADC 6.120 “Building Standards” and ADC 6.121 “Flood Hazard Reduction Standards for Structures.”
- Condition 2 Development shall occur consistent with the plans and narrative submitted by the applicant, or as modified by conditions of approval and shall comply with all applicable state, federal and local laws.

**The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant’s responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.**

## Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Municipal Code (AMC) or Development Code (ADC) regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to assure compliance with all applicable regulations.

### Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved site plan review.

### Building

#### Permits

3. Obtain Building Permits prior to any construction.
4. An Erosion Prevention and Sediment Control Permit (EPSC) is required to be obtained from Public Works before commencing land disturbing activities affecting an area of 2,000 square feet or greater, cumulatively.

#### Plan Review for Permits


5. All plans submitted for review for building permits will need to be submitted electronically. Contact the Building Division front counter at [ePlans@cityofalbany.net](mailto:ePlans@cityofalbany.net) for details and instructions prior to submittal.

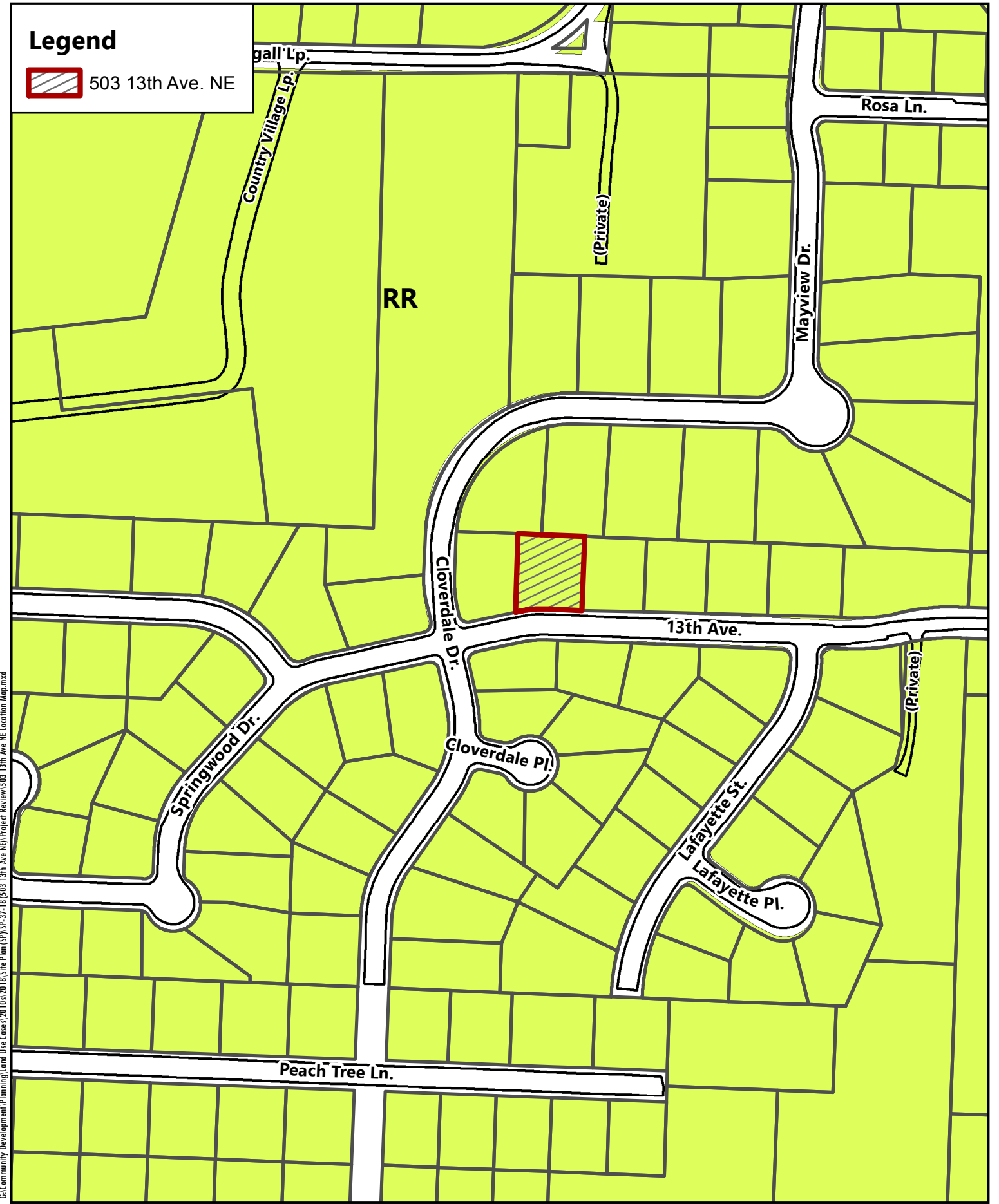
### Public Works - Engineering

The City of Albany’s infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we

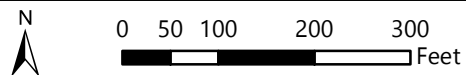
do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

# Legend

 503 13th Ave. NE



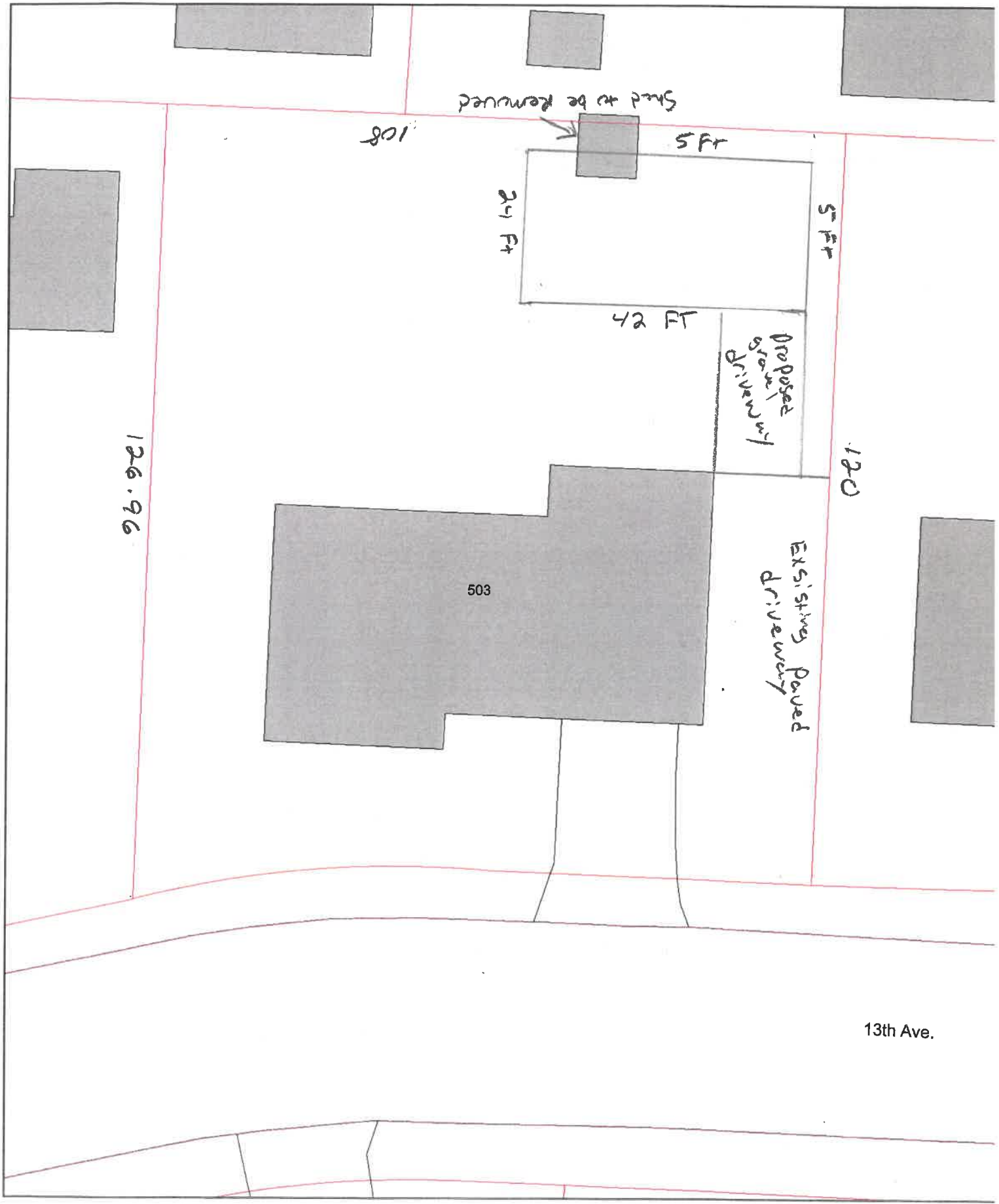
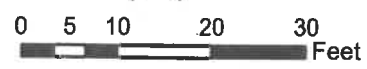
G:\Community Development\Planning\Land Use Cases\2010s\2018\Site Plan (SP), SP-37-18 (013, 13th Ave. NE) Project Review\503 13th Ave NE Location Map.mxd



Date: 10/12/2018 Map Source: City of Albany

## 503 13th Ave. NE

### Location / Zoning Map



Shed to be removed

108

5 Ft

21 Ft

42 FT

5 Ft

Proposed  
gravel  
driveway

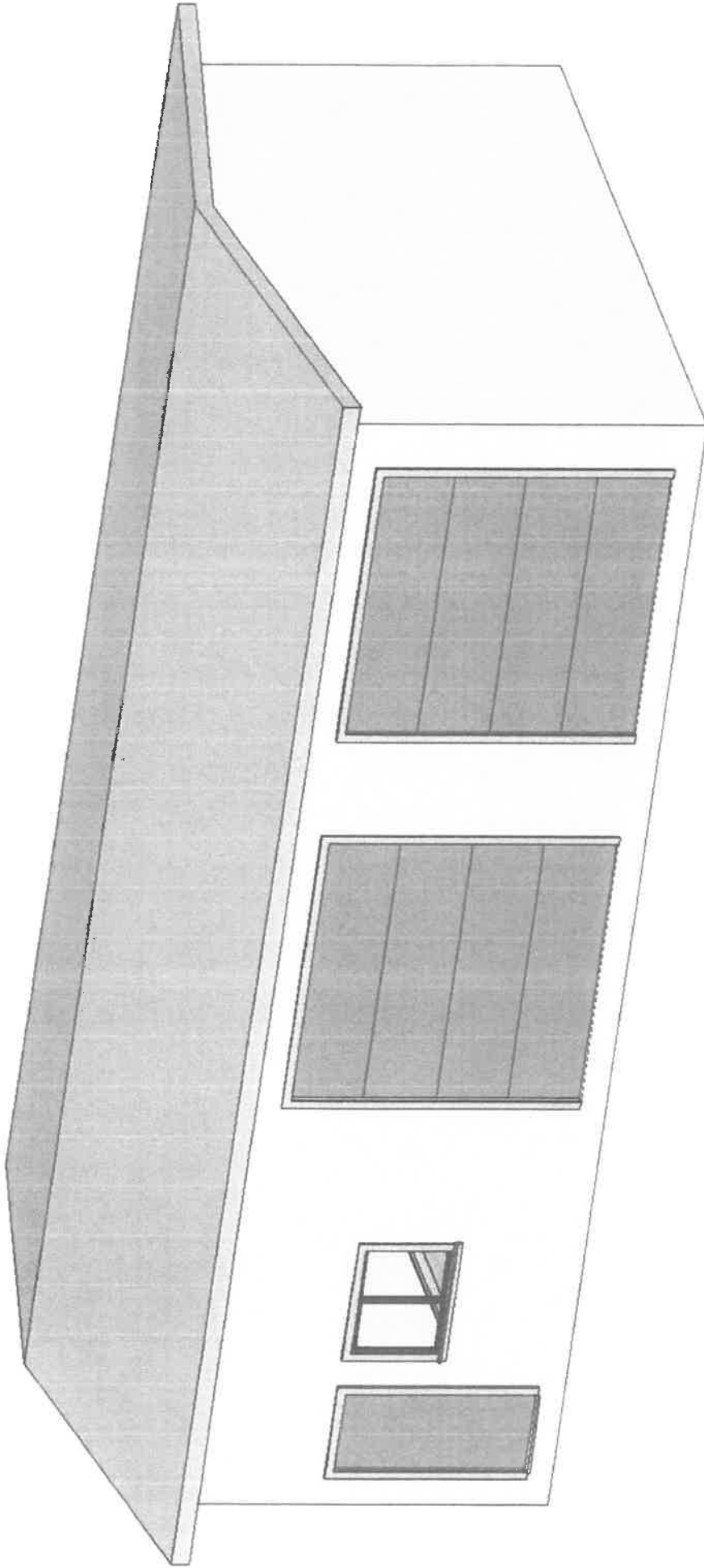
120

Existing Paved  
Driveway

503

126.96

13th Ave.



Proposed materials + color:

Siding: Metal, green

Roof: Metal, black

Size: 42' x 24'  
1,008 sqft