



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING 541-917-7553 | PLANNING 541-917-7550

Notice of Filing

Site Plan Review – Accessory Structure

SP-37-18

April 9, 2019

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Travis North** (541-791-0176, travis.north@cityofalbany.net). The deadline for submission of written comments is 5:00 p.m. on **April 23, 2019**.

Application Information

Proposal:	Site Plan Review for a metal accessory structure (42-foot by 24-foot with 12 foot walls)
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Nick Gasperino; 503 13 th Avenue NE, Albany, OR 97321
Address/Location	503 13 th Avenue NE
Map/Tax Lot:	Benton County Assessor's Map No. 10S-03W-31DC; Tax Lot 200
Zoning:	Residential Reserve (RR)
Overlay Districts:	Floodplain
Total Land Area:	.31 acres
Existing Land Use:	Residential Single Family

The City of Albany has received the Site Plan Review application referenced above. We are mailing notice of the application to property owners within 100 feet of the proposed development. We invite your written comments on this application, to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Land Use Board of Appeals must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **April 23, 2019**, 14 days from the date the City mails the Notice of Filing.

All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please visit our office or call **Travis North, Project Planner**, at 541-791-0176. Submit any written comments to the Planning Division; P.O. Box 490; Albany, OR 97321 or by email to travis.north@cityofalbany.net. Any person submitting written comments will receive a copy of the Notice of Decision.

cd.cityofalbany.net



According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the Review Criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

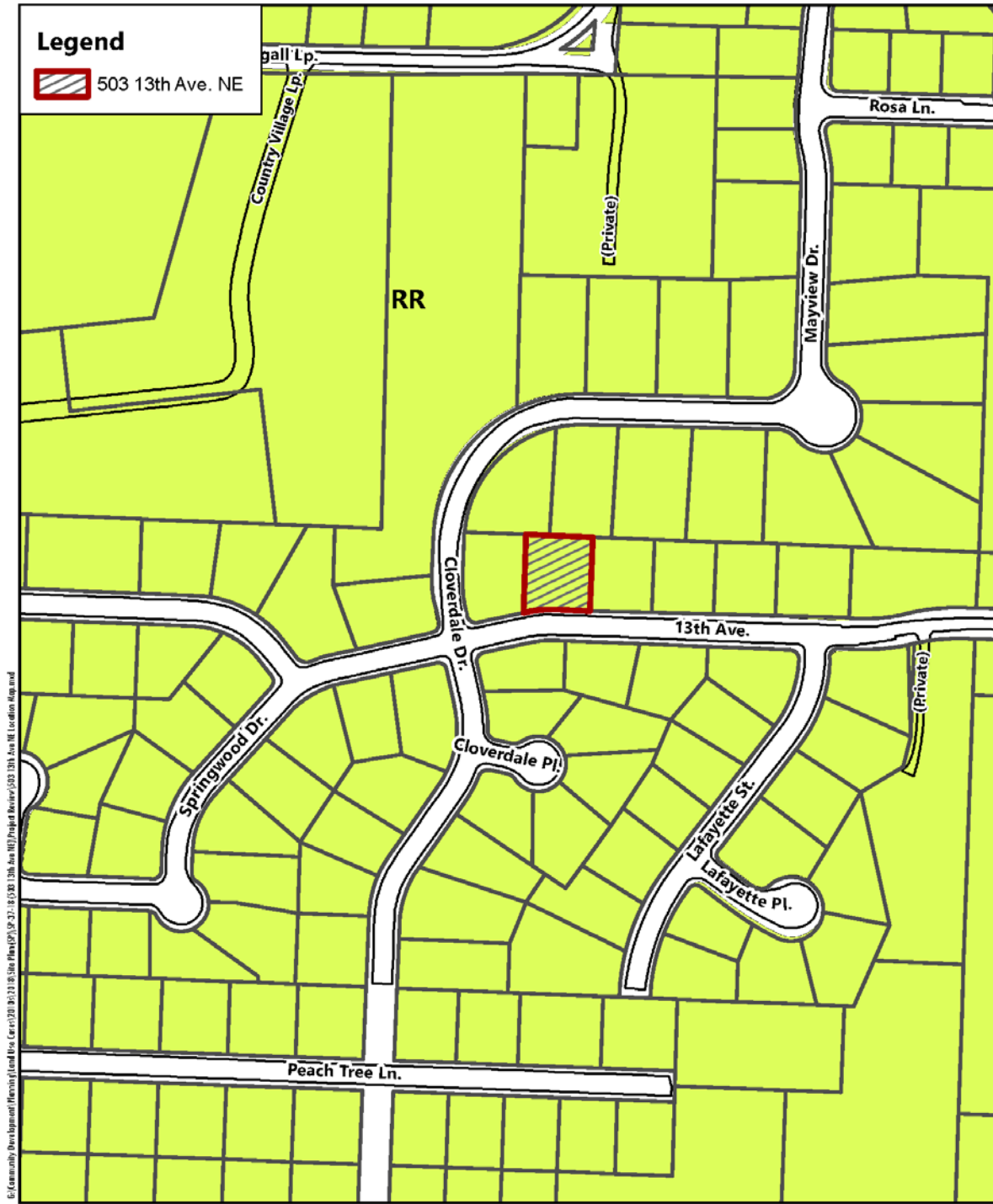
Section 2.450 of the Albany Development Code includes the following review criteria that must be met for this application to be approved.

1. Public utilities can accommodate the proposed development.
2. The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
3. The transportation system can safely and adequately accommodate the proposed development.
4. Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
5. The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.
6. Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
7. The site is in compliance with prior land use approvals.
8. Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

ADDITIONAL REVIEW STANDARDS FOR THIS SITE PLAN REVIEW APPLICATION ARE FOUND IN ADC ARTICLES 1, 2, 3, & 6.

Attachments: Location Map, Applicant's Site Plan, Elevation Drawings.

LOCATION MAP



City of Albany Community Development Services | Local Use Cases | 2018-12-12 10:54:38 AM | Project Review | 2018-12-12 10:54:38 AM | Location Map.mxd



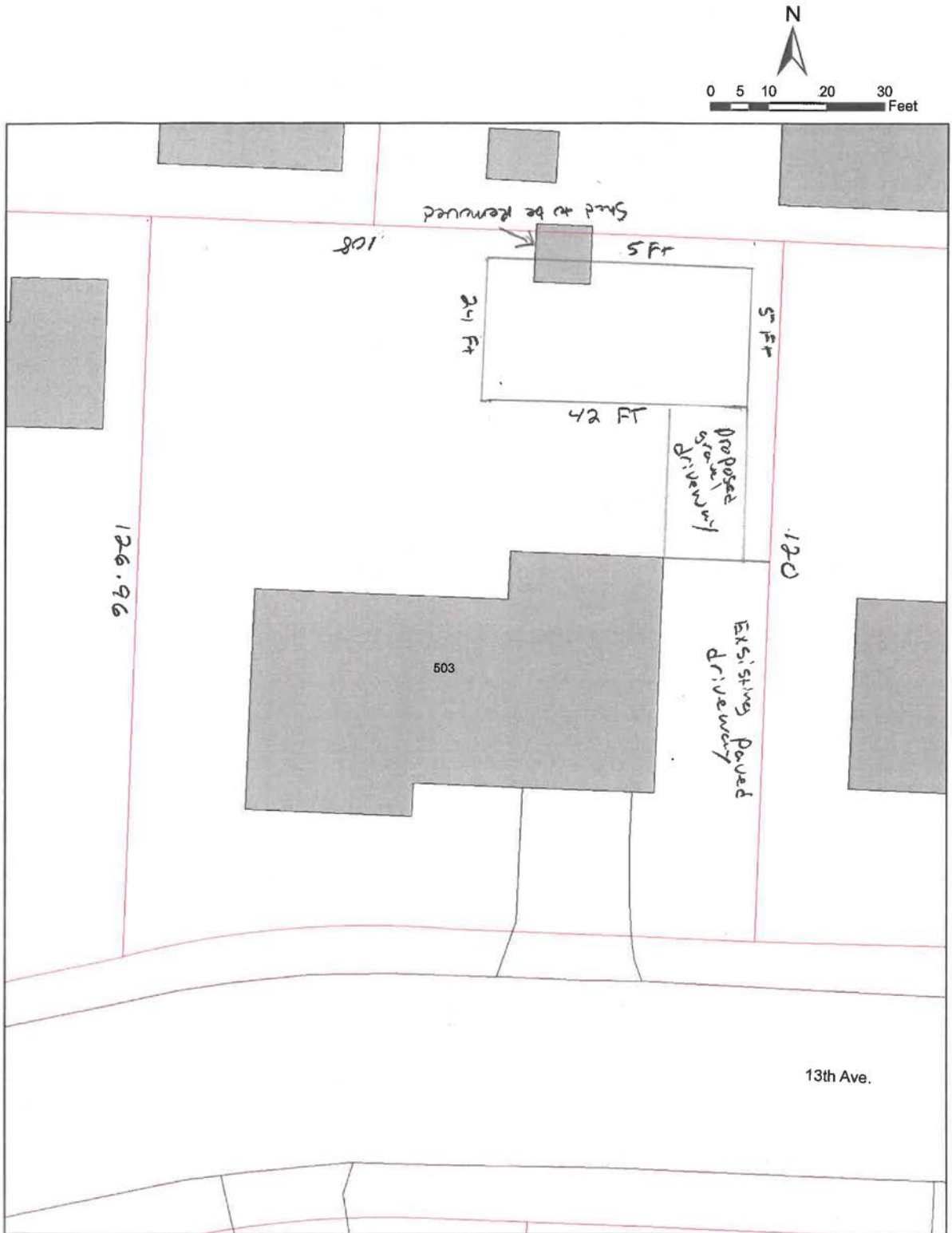
0 50 100 200 300 Feet

Date: 10/12/2018 Map Source: City of Albany

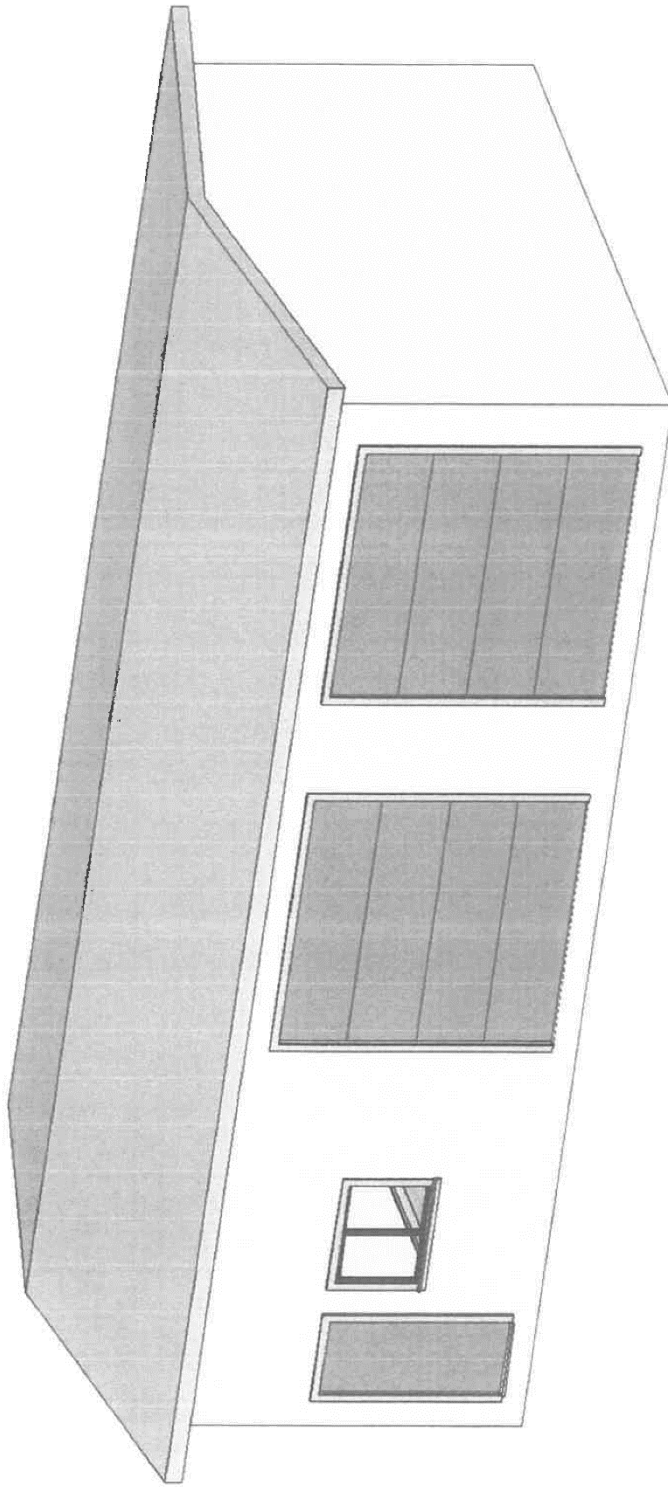
503 13th Ave. NE

Location / Zoning Map

SITE PLAN



ELEVATION



Proposed materials + color: Size: 42' x 24'
Siding: Metal, green 6008 sft
Roof: Metal, black